



CHESTERFIELD COUNTY
CHESTERFIELD, VIRGINIA 23832

AGENDA
January 22, 2020

BOARD OF SUPERVISORS

LESLIE A.T. HALEY
CHAIR
MIDLOTHIAN DISTRICT
KEVIN P. CARROLL
VICE CHAIR
MATOACA DISTRICT
JIM A. INGLE
BERMUDA DISTRICT
CHRISTOPHER M. WINSLOW
CLOVER HILL DISTRICT
JAMES M. HOLLAND
DALE DISTRICT

JOSEPH P. CASEY, Ph.D.
COUNTY ADMINISTRATOR

2:00 p.m. Work Session (Audio & Presentations) - Administration Building, Room 502

- 1. Approval of Minutes**
- 2. Requests to Postpone Agenda Items and Additions, Deletions or Changes in the Order of Presentation**
- 3. Work Sessions**
 - A. Every Day Excellence - Juvenile Probation
 - B. General Assembly Update
 - C. Real Estate Housing Market and Regional Housing Framework Plan Updates
 - D. Virginia Department of Transportation (VDOT) Update
 - E. Environmental Stewardship Website
 - F. FY2021 Budget Process
 - G. Update on Public Utilities Construction Contracts
- 4. Reports**
 - A. District Improvement Funds (DIF) Monthly Report
- 5. Fifteen-Minute Citizen Comment Period on Unscheduled Matters**
- 6. Closed Session**

- A. Closed Session 1) Pursuant to Section 2.2-3711(A)(19), Code of Virginia, 1950, as Amended, for Discussion of Plans and Reports Related to the Security of County-Owned Buildings in the Area of the 1916 Courthouse Complex, and the Safety of Persons Using Such Buildings; and 2) Pursuant to Section 2.2-3711(A)(5), Code of Virginia, 1950, as Amended, to Discuss or Consider Prospective Businesses or Industries or the Expansion of Existing Businesses or Industries Where No Previous Announcement Has Been Made of the Businesses' or Industries' Interest in Locating or Expanding Their Facilities in the Community

7. Recess for Dinner

6:00 p.m. Evening Session - Public Meeting Room

8. Invocation

The Honorable Kevin Carroll, Matoaca District Supervisor

9. Pledge of Allegiance

Eagle Scout Chase Payne

10. County Administration Update

11. Board Member Reports

12. Resolutions and Special Recognitions

- A. Recognizing Boy Scouts Upon Attaining the Rank of Eagle Scout
 - 1. Chase Alan Payne, Matoaca District
 - 2. Michael Aarness Clabough, Midlothian District
- B. Recognizing Miss Kenley Teller for her Athletic Achievements at the U.S. Para Swimming National Championship

13. New Business

- A. Appointments
 - 1. PlanRVA (Formerly Richmond Regional Planning District Commission)
 - 2. Capital Region Airport Commission
 - 3. Community Services Board
 - 4. Parks and Recreation Advisory Commission
- B. Consent Items
 - 1. Adoption of Resolutions

- a. Resolution Recognizing Ms. Tamara J. Vest, Chesterfield County Utilities Department, Upon Her Retirement
 - b. Resolution Recognizing Ms. Kelly Gregg, Emergency Communications Center (ECC), Upon Her Retirement
 - c. Resolution Recognizing Corporal Joseph D. DeVivo, II, Police Department, Upon His Retirement.
 - d. Resolution Supporting Construction of the Commonwealth Apartments Using Proceeds from Tax-Exempt Bonds Issued by the Virginia Housing Development Authority Under Their Mixed-Income Program
2. Real Property Requests
- a. Acceptance of Parcels of Land
 - 1. Along Lucks Lane from The Grove at Lucks Lane, LLC
 - 2. Adjacent to Manchester Middle School/Fire Station 2 from R. Larry Turner and Katie G. Turner
 - 3. Along Jefferson Davis Highway from John Allen Reason, Jr.
 - 4. Along Interstate 95 from Sina18, LLC
 - 5. Along Courthouse Road and Newbys Bridge Road from Banner Christian School
 - 6. Along Center Pointe Parkway from RP2B, LLC
 - 7. Adjacent to Charter Colony Parkway from Commonwealth Foundation for Cancer Research
 - b. Conveyance of Easements
 - 1. Conveyance of an Easement to Columbia Gas of Virginia, Inc. for the Chester Center for the Arts
 - c. Requests to Quitclaim
 - 1. Request to Quitclaim a Portion of a Variable Width Temporary Reduced Imperviousness BMP Easement Across the Property of Woodlands Real Estate, LLC
 - d. Requests for Permission
 - 1. To Install a Private Water Service Within a Private Easement to Serve Property at 6050 Newbys Bridge Road

3. Central Virginia All Hazards Incident Management Team (CVAHIMT) Memorandum of Understanding
4. Authorize the Receipt and Appropriation of Grant Funds from the Commonwealth of Virginia, Virginia 9-1-1 Services Board for the 2020 NG9-1-1 Migration Grant
5. Allocate Funds for the Purchase of a Special Purpose Park at the Ware Bottom Church Battlefield and Approve New Conservation Easement Holder
6. Authorization for 5G Air LLC to Enter Into a Leasehold Mortgage at the Chesterfield County Airport
7. Award of Contract for Correctional Nursing Services
8. Award of Construction Contract for County Project #19-0006, Falling Creek Wastewater Treatment Plant Digesters 1 and 2 Mixing Systems
9. Award of Construction Contract for County Project #16-0169, Johnson Creek Force Main, Gravity Sewer, and Waterline project
10. Award of Construction Contract for County Project #17-0235, Addison-Evans Water Treatment Plant Lime Feed System Replacement and Sodium Hypochlorite Facility Upgrades
11. Award of Construction Contract for County Project #14-0222, Addison-Evans Water Production and Laboratory Facility Motor Control Center Replacement
12. Appropriation of Funds and Authorization to Award a Construction Contract for the Otterdale Road and Old Hundred Road Roundabout Project
13. Authorize the Receipt and Appropriation of 2019 State Homeland Security Grant Funds from the Department of Homeland Security.
14. Acceptance of State Roads
15. Set Public Hearing on Code Amendment Relating to Mailing of Written Orders
16. Approval to Terminate the Lease with the Economic Development Authority of Chesterfield County (Authority) of a portion of the Stonebridge Development to Facilitate the Sale of the Property to Shamin Hotels, Inc.

14. Fifteen-Minute Citizen Comment Period on Unscheduled Matters

15. Deferred Items

- A. 19SN0628 - Dean L. Hawkins, LA

16. Requests for Manufactured Home Permits and Rezoning Placed on the Consent Agenda to be Heard in the Following Order:

- **Withdrawals/Deferrals**
 - **Cases Where the Applicant Accepts the Recommendation and There is No Opposition**
 - **Cases Where the Applicant Does Not Accept the Recommendation and/or There is Public Opposition Will Be Heard at Section 18**
- A. 19SN0597: SRBF, L.L.C. (project commonly known as Starview Village), Midlothian District
 - B. 20SN0526: 29:11 Chesterfield, LLC (project commonly known as Courthouse Landing), Dale District
 - C. 19SN0566: John S. Bolton (project commonly known as Winchester Green), Bermuda District
 - D. 19SN0616: Idlewood Properties Inc (project commonly known as Waterford), Clover Hill District
 - E. 20SN0520: Joni Chrystle Roberts, Clover Hill District
 - F. 20SN0521: Lisa Stinnette, Bermuda District
 - G. 20SN0527: Emerson Companies, LLC, Bermuda District
 - H. 20SN0546: Matthew T. Goodwin, Woodlands Real Estate, LLC and Ronald Milligan, Midlothian District
 - I. 20SN0549: Columbia Gas of Virginia, Midlothian District
 - J. 20SN0550: Chesterfield Economic Development Authority (project commonly known as Stonebridge), Midlothian District
 - K. 20SN0551: Jennifer Kielb, Midlothian District

17. Public Hearings

- A. To Consider the Exercise of Eminent Domain for the Acquisition of Permanent Sewer Easements, a Water Easement, and Temporary Construction Easements for the Johnson Creek Force Main Project
- B. To Consider the Conveyance of County Property at 2900 Bermuda Hundred Road to the Economic Development Authority of the County of Chesterfield
- C. To Consider the Exercise of Eminent Domain for the Acquisition of a Permanent Water Easement for the Cowan Road Waterline Improvements Project
- D. To Consider Code Amendment Relative to Upper Swift Creek Tree Preservation

- 18. Remaining Manufactured Home Permits and Zoning Requests**
- 19. Fifteen-Minute Citizen Comment Period on Unscheduled Matters**
- 20. Adjournment**
 - A. Adjournment and Notice of Next Scheduled Meeting of the Board of Supervisors



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 3.B.

Subject:

General Assembly Update

Board Action Requested:

Summary of Information:

Ms. Mary Ann Curtin, Director of Intergovernmental Relations, will present an update to the Board of Supervisors on the status of several bills before the General Assembly.

Attachments:

None

Preparer: Sara Hall, Clerk to the Board of Supervisors

Approved By:

A handwritten signature in black ink, appearing to be "Sara Hall", is written over a horizontal line.



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 3.C.

Subject:

Real Estate Housing Market and Regional Housing Framework Plan Updates

Board Action Requested:

Summary of Information:

Ms. Laura Lafayette, Chief Executive Officer, Richmond Association of Realtors, and Ms. Elizabeth Greenfield, Vice President of Government Affairs, will update the Board of Supervisors on Chesterfield's housing market, including trends in residential sales, and specifics relative to the Regional Housing Framework Plan.

Attachments:

1. Housing Update Presentation

Preparer: Sara Hall, Clerk to the Board of Supervisors

Approved By:

A handwritten signature in black ink, appearing to be "Sara Hall", is written over a horizontal line.



Real Estate Market Overview

Laura Lafayette
CEO, RAR & CVR MLS

Local Market Update – December 2019

A Research Tool Provided by Central Virginia Regional MLS.



Chesterfield County

Single Family Key Metrics	December			Year to Date		
	2018	2019	% Change	Thru 12-2018	Thru 12-2019	% Change
New Listings	298	322	+ 8.1%	7,811	7,694	- 1.5%
Pending Sales	305	309	+ 1.3%	5,764	5,985	+ 3.8%
Closed Sales	388	458	+ 18.0%	5,751	5,971	+ 3.8%
Days on Market Until Sale	37	41	+ 10.8%	34	34	0.0%
Median Sales Price*	\$254,000	\$275,000	+ 8.3%	\$260,000	\$270,000	+ 3.8%
Average Sales Price*	\$287,627	\$318,905	+ 10.9%	\$291,877	\$303,572	+ 4.0%
Percent of Original List Price Received*	98.4%	98.1%	- 0.3%	99.0%	98.9%	- 0.1%
Inventory of Homes for Sale	1,013	826	- 18.5%	—	—	—
Months Supply of Inventory	2.1	1.7	- 19.0%	—	—	—



REGIONAL
HOUSING
FRAMEWORK



Local Market Update – December 2019

A Research Tool Provided by Central Virginia Regional MLS.



Chesterfield County

Condo/Town	December			Year to Date		
Key Metrics	2018	2019	% Change	Thru 12-2018	Thru 12-2019	% Change
New Listings	66	62	- 6.1%	825	1,033	+ 25.2%
Pending Sales	45	41	- 8.9%	601	764	+ 27.1%
Closed Sales	57	66	+ 15.8%	560	753	+ 34.5%
Days on Market Until Sale	30	39	+ 30.0%	32	31	- 3.1%
Median Sales Price*	\$251,239	\$254,495	+ 1.3%	\$238,587	\$253,990	+ 6.5%
Average Sales Price*	\$248,828	\$245,785	- 1.2%	\$230,808	\$244,761	+ 6.0%
Percent of Original List Price Received*	100.6%	99.5%	- 1.1%	100.0%	100.2%	+ 0.2%
Inventory of Homes for Sale	133	149	+ 12.0%	—	—	—
Months Supply of Inventory	2.7	2.3	- 14.8%	—	—	—

* Does not account for sale concessions and/or downpayment assistance. | Percent changes are calculated using rounded figures and can sometimes look extreme due to small sample size.



PARTNERSHIP for
HOUSING
AFFORDABILITY

REGIONAL
HOUSING
FRAMEWORK



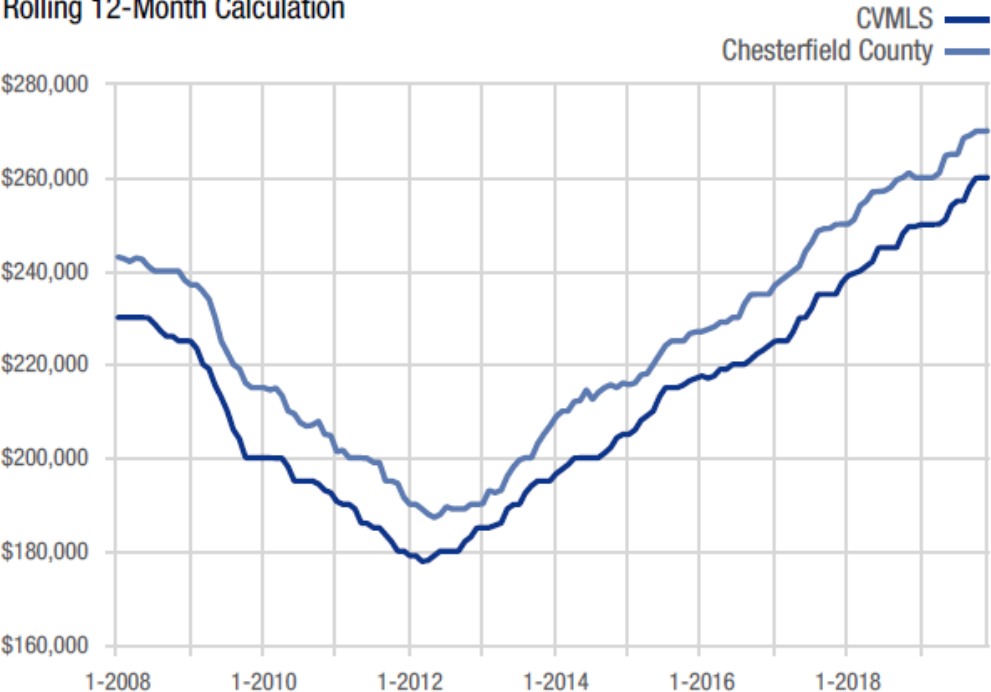
Local Market Update – December 2019

A Research Tool Provided by Central Virginia Regional MLS.

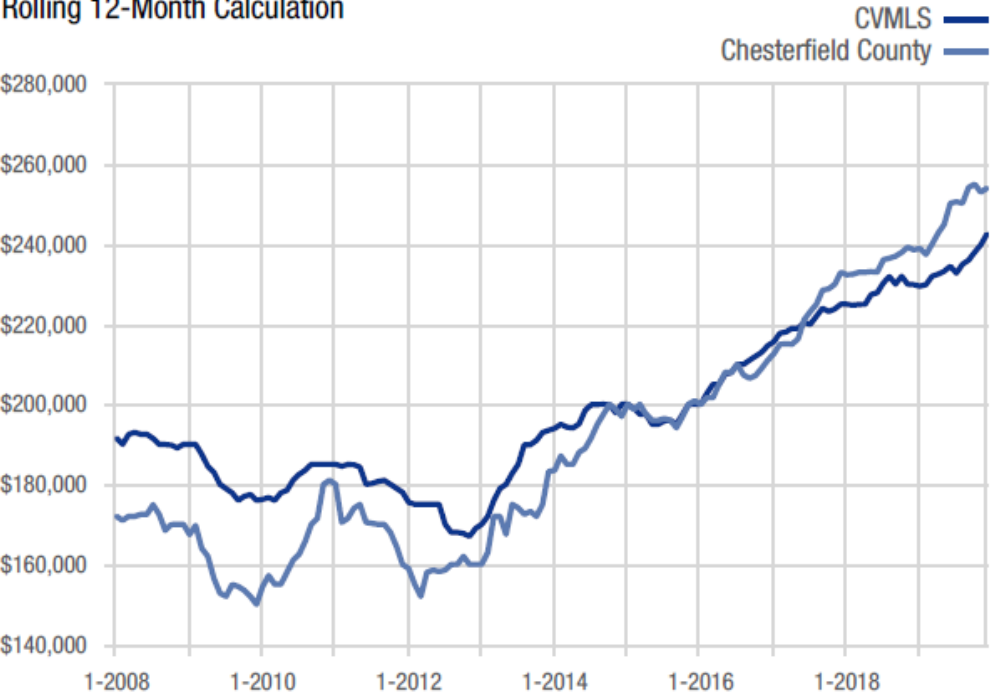


Chesterfield County

Median Sales Price - Single-Family
Rolling 12-Month Calculation



Median Sales Price - Condo/Town
Rolling 12-Month Calculation



A rolling 12-month calculation represents the current month and the 11 months prior in a single data point. If no activity occurred during a month, the line extends to the next available data point.



Regional Housing Framework Overview

Elizabeth Greenfield
Executive Director, PHA

RRHF Values



OPPORTUNITY

Housing is an essential foundation for families and individuals to thrive economically and socially.



QUALITY

All homes should meet the standards we have for our own family.



EQUITY

We will create a future where race and ethnicity are not predictive of outcomes.



REGIONALISM

Housing challenges and the policies we adopt in our own localities affect our neighbors.

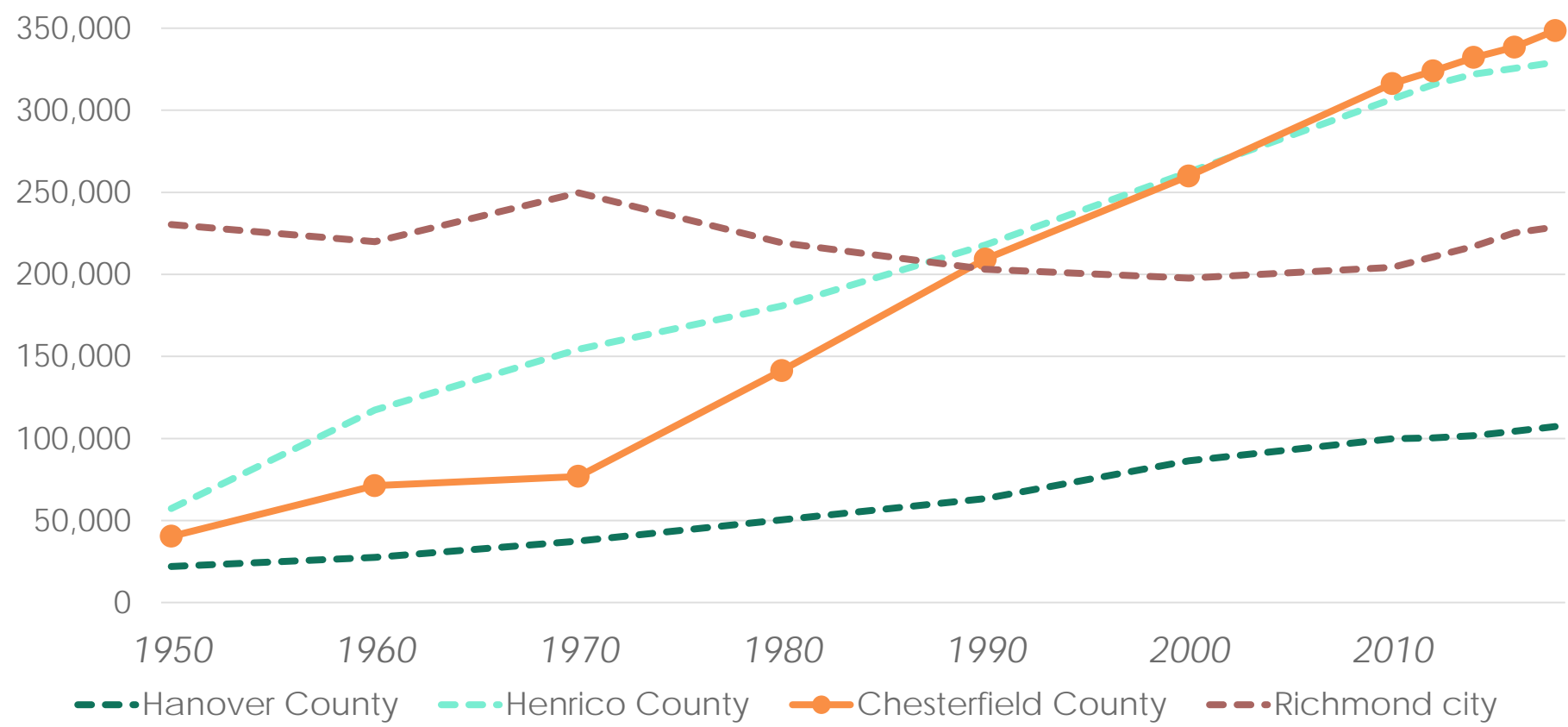


INNOVATION

We will embrace bold solutions.

The Region's Growth Isn't Stopping Anytime Soon.

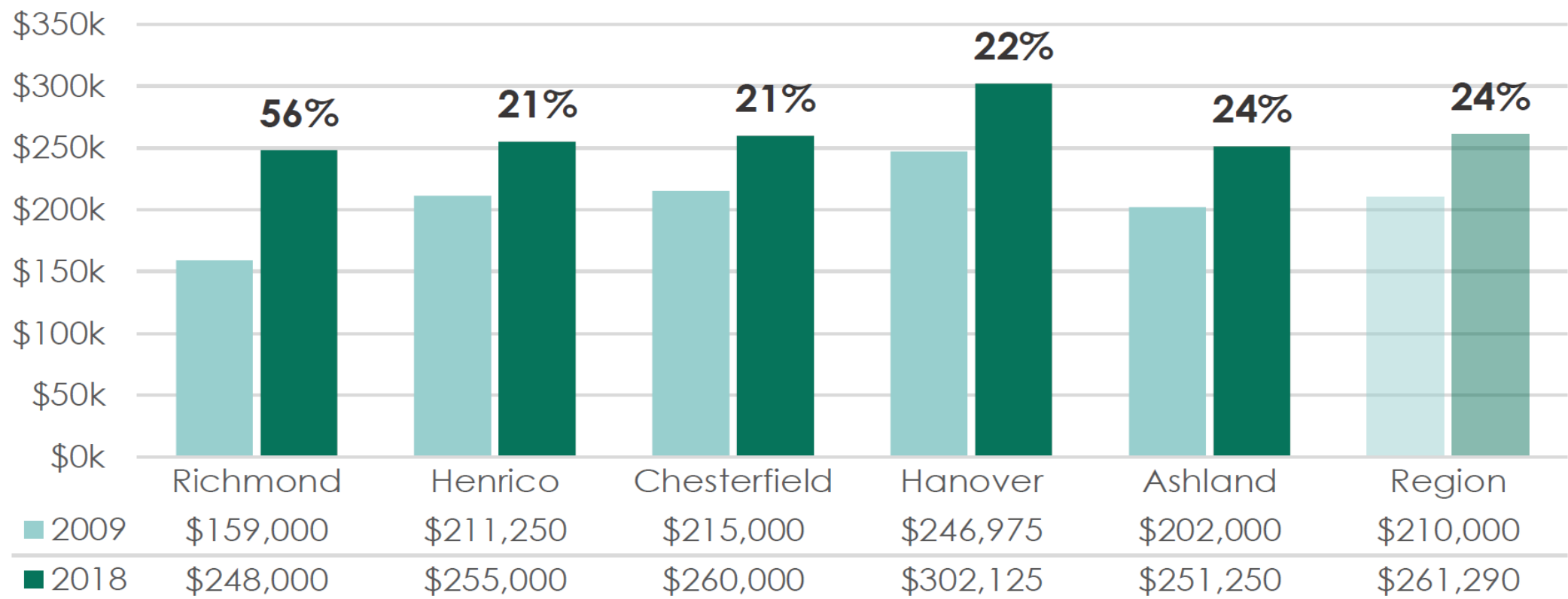
The time to plan for our future is now.



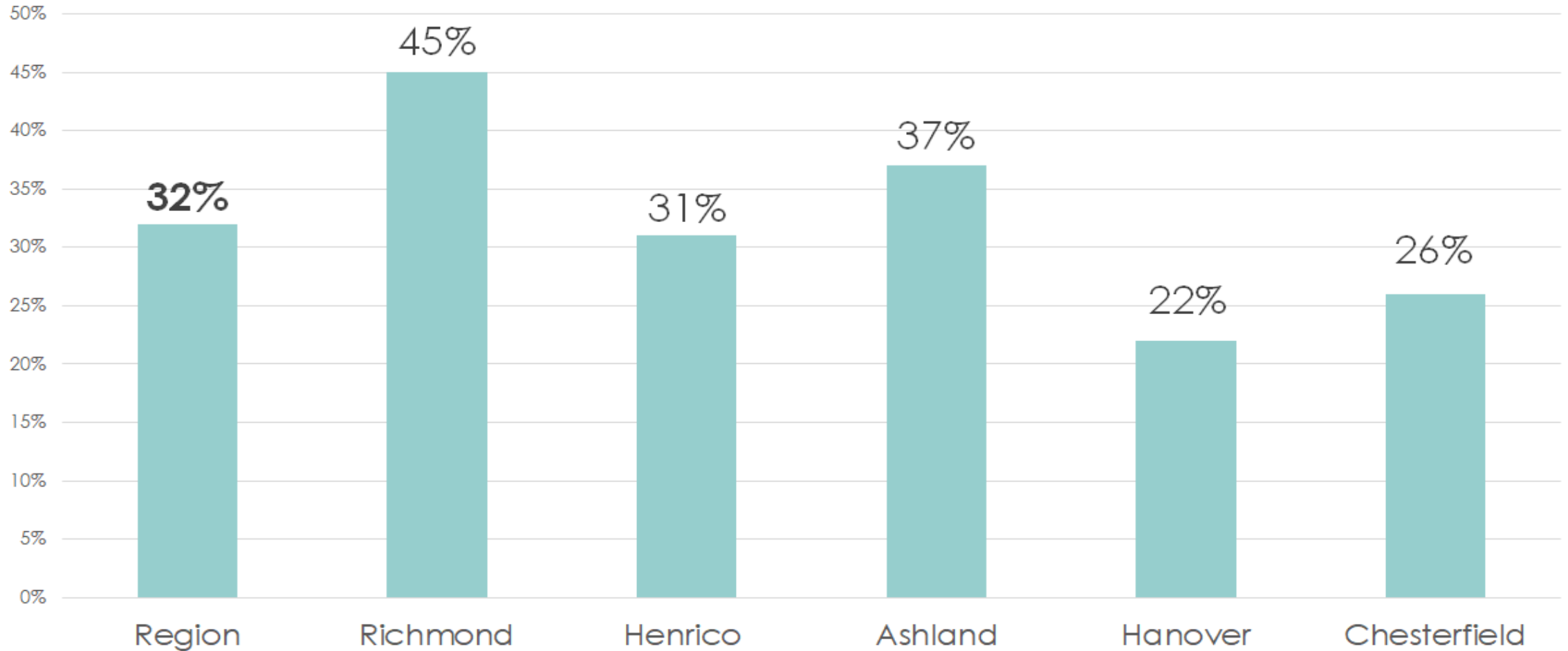
Source: University of Virginia Weldon
Cooper Center for Public Service

All Homes

Change in Median Single-Family Home Sales Price: 2009 to 2018

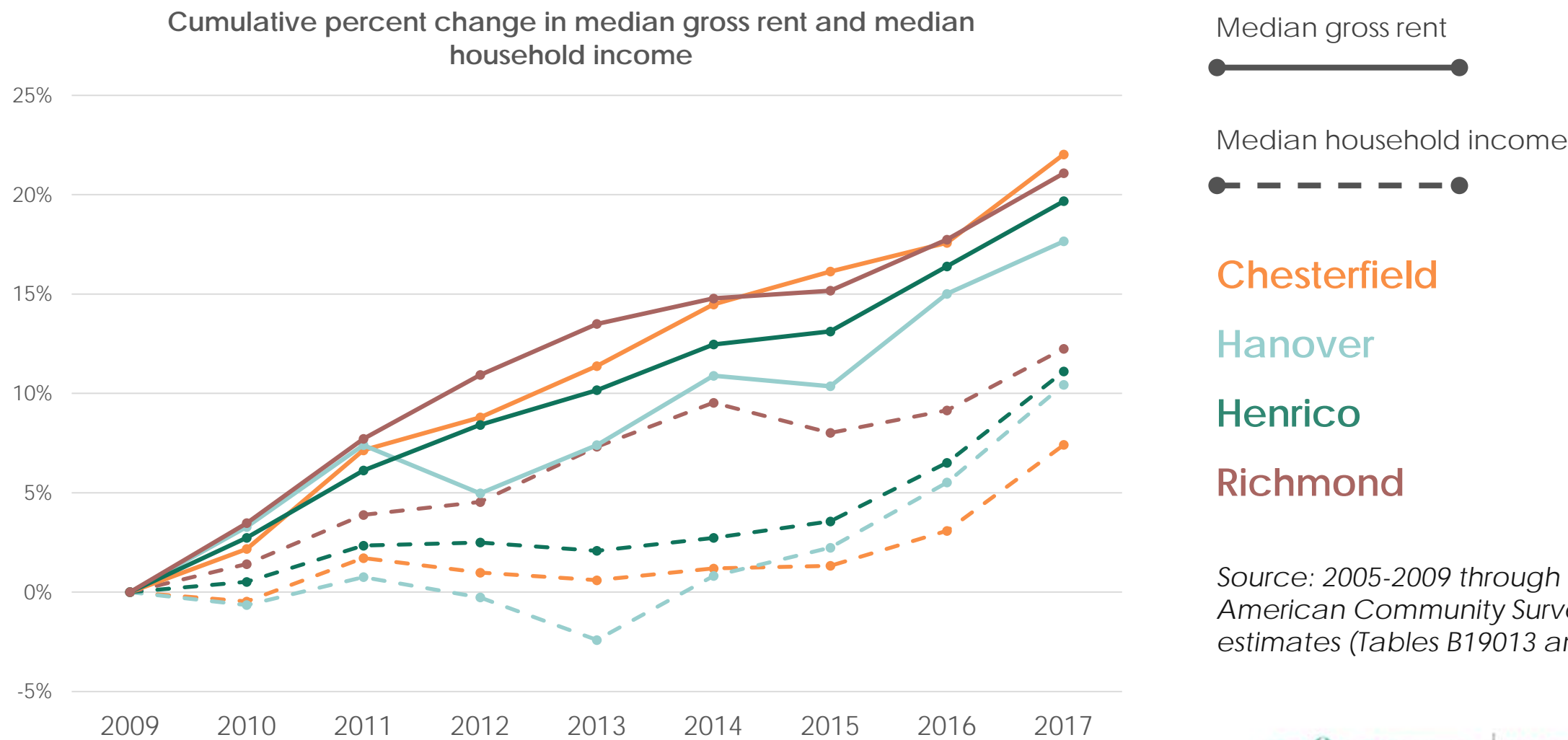


Percent of Cost-Burdened Households



Source: 2013-2017 American Community Survey,
5-year estimates (Tables B25074 and B25095)

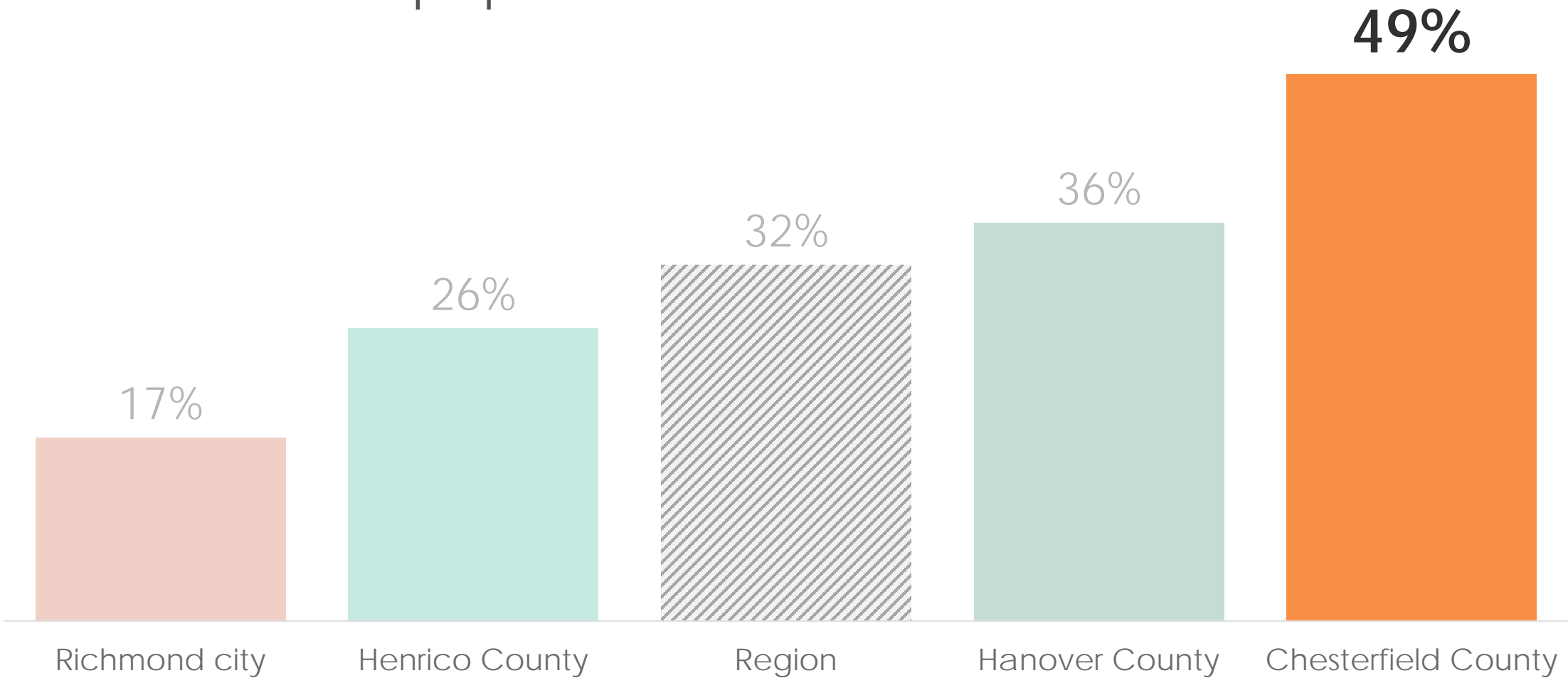
Rents Are Outpacing Household Incomes



Source: 2005-2009 through 2013-2017 American Community Survey, 5-year estimates (Tables B19013 and B25064)

Changing Demographics

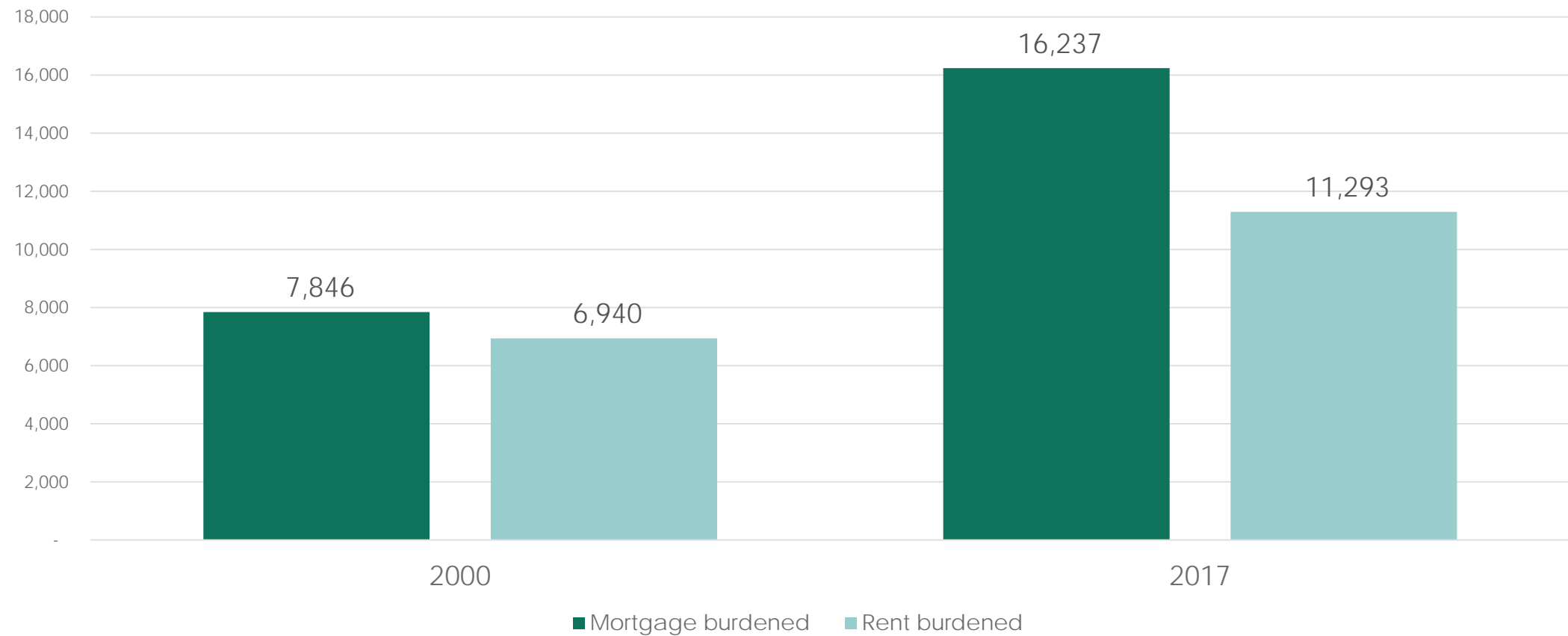
Increase in senior population since 2010



Source: 2008-2012 and 2013-2017 American Community Survey, 5-year estimates

Housing Cost Burdened Seniors

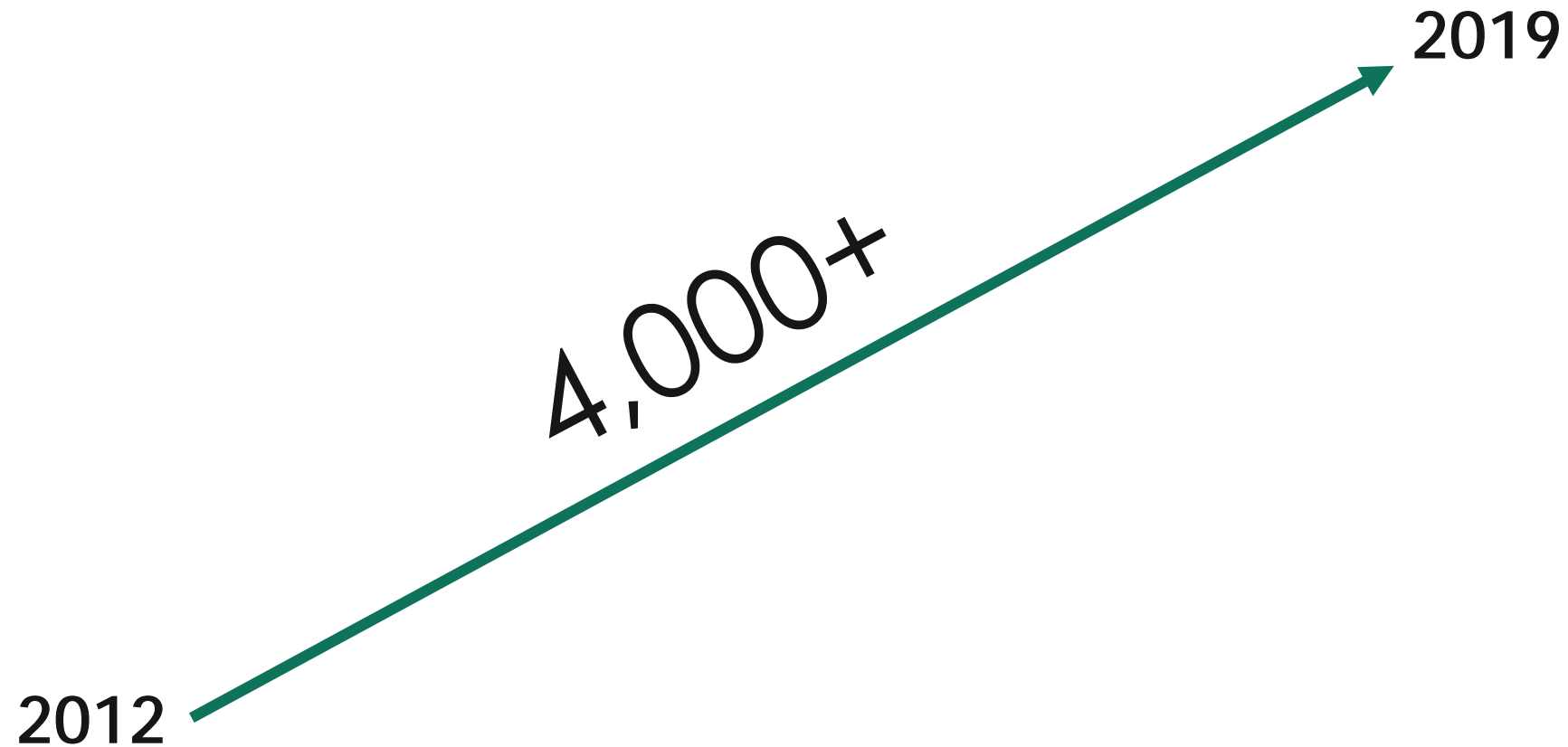
The number of mortgage-burdened seniors has more than doubled since 2000.



2000 Census; 2013-2017 American Community Survey, 5-year estimates

Multi-Generational Living

Seniors living with families and not the primary householder



Source: 2013-2017 American Community Survey,
5-year estimates

Goals & Solutions

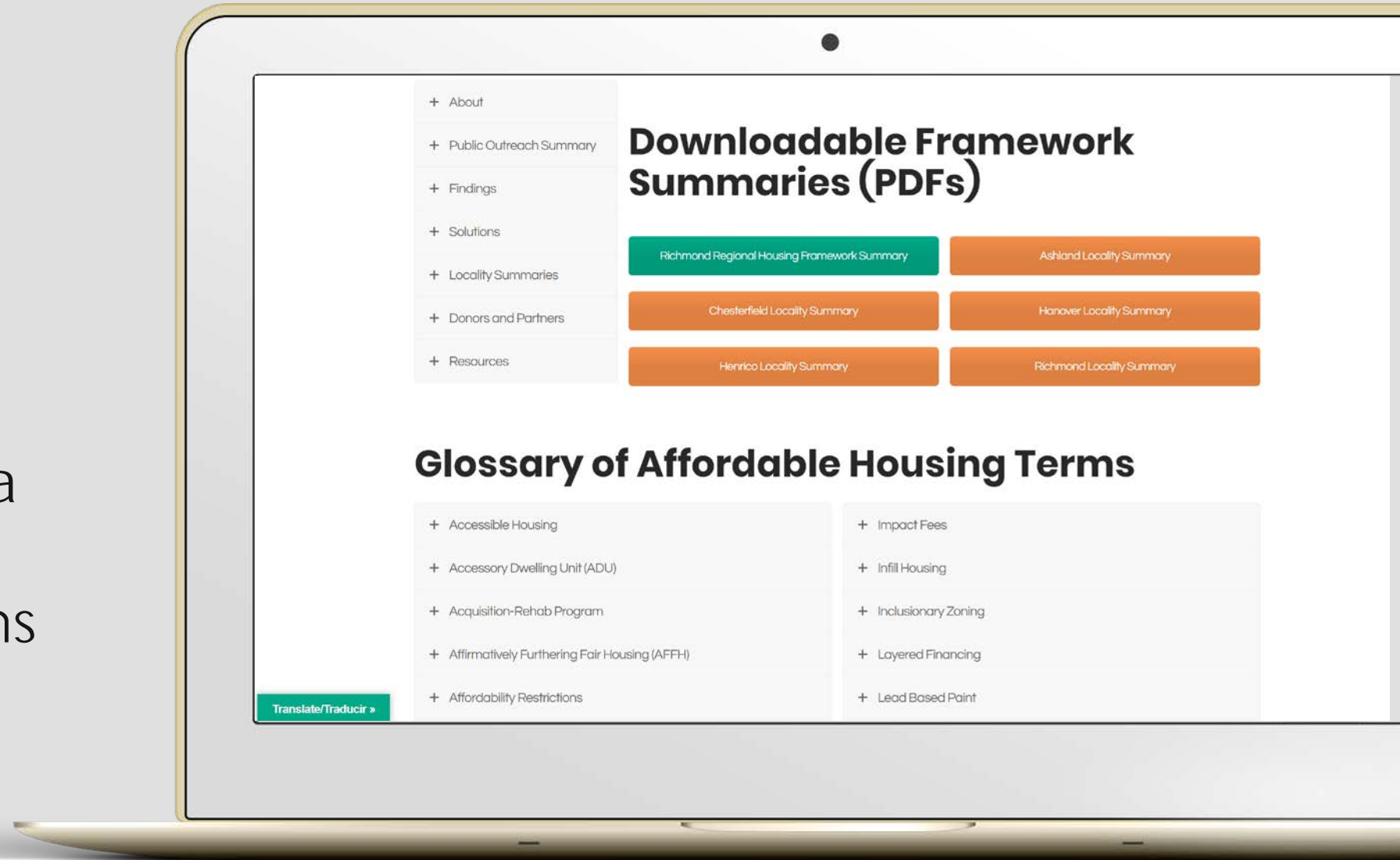
- Reduce barriers to accessory dwelling units
- Increase the # of non-traditional homeownership units
 - Co-housing, cooperatives, etc.
- Revitalize manufactured home communities
- Issue bonds to support housing & community revitalization efforts
- Preserve naturally occurring housing
- Where appropriate, increase the amount of land available for multi-family housing development in residential zones

Source: Chesterfield County

What's Next?

Explore the full Framework at **PHARVA.com**

- Full solutions
- Interactive data charts
- Glossary of terms





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 3.D.

Subject:

Virginia Department of Transportation (VDOT) Update

Board Action Requested:

Summary of Information:

Mr. Kyle Bates, P.E., Resident Engineer, will provide an update on VDOT's winter operations.

Attachments:

1. VDOT Presentation Chesterfield BOS
2. SHV_Chesterfield

Preparer: Jesse W Smith, Deputy County Administrator

Approved By:

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Chesterfield Residency

Kyle Bates, P.E.
Resident Engineer

About VDOT: Quick statewide facts

- Third largest state maintained highway system in the country
- 7,700 employees
- About 58,000 miles of pavement

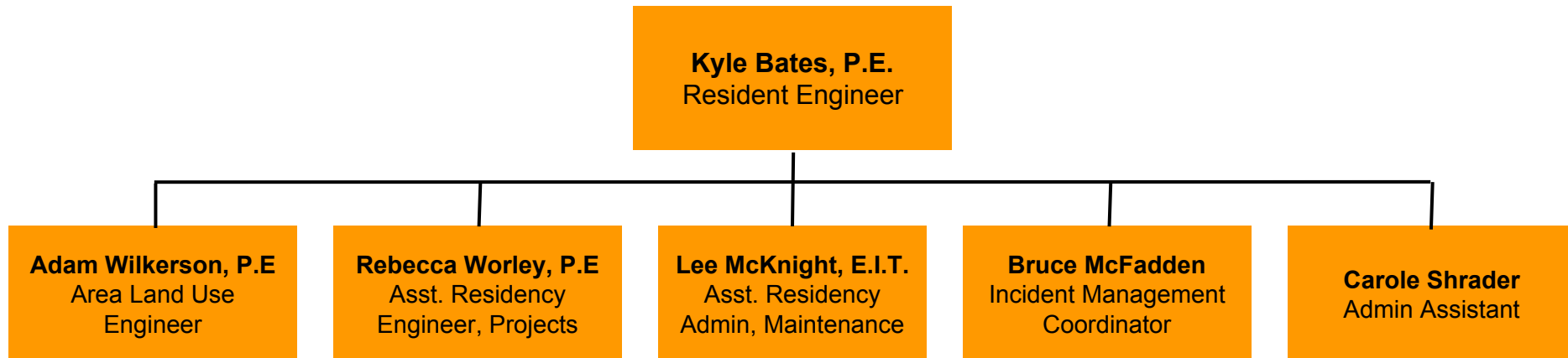


VDOT's Nine Districts



-

Chesterfield Residency Organization



Chesterfield County

- **Maintain 4,400 Lane Miles**
 - Interstate – 150 Lane Miles
 - Primary – 580 Lane Miles
 - Secondary – 3,700 Lane Miles
- **Maintain 360 Structures and Bridges**
- **2nd Largest Road Network in Virginia**

VDOT Maintenance Services

- **Highway Maintenance**
 - Mowing
 - Sight Distance Improvements
 - Drainage Improvements
 - Pavement Repair
 - Concrete/Sidewalk Repair
 - Snow Removal
 - Incident Response
 - State Force Rural Rustic
 - State Force Construction



VDOT Snow Removal

- **24/7 Operation**
- **Approximately 180 pieces of equipment (State Forces & Contractors)**
- **Pretreat bridges, overpasses, & critical Routes**
- **Priority Designation**
 - Interstates, primaries, high volume secondaries
 - Low volume secondaries, subdivision streets
- **Goal – Roadways passable within 48 hours of end of storm**

Incident Management

- **Interstate North**
 - 6 total monitors
- **Incident Management Coordinator**
 - Responsible for all incidents within Amelia, Chesterfield, and Powhatan
 - On Call 24/7
- **TRIP Program**
 - 90 minutes, \$2,500 - \$3,500 bonus

VDOT Paving

- **Annual Resurfacing Schedule**
 - Prioritized by pavement ratings & field reviews
 - Funding distributed to interstates, primaries, & secondaries based on deficient lane miles
- **Paving Schedule**
<http://www.viriniadot.org/projects/paving-schedule.asp>
- **Pavement Ratings**
<https://vdot.maps.arcgis.com/apps/webappviewer/index.html?id=1318d0d044124500b7363fc89f74ea8b>

VDOT Mowing

- **Contractor Mowing**
 - Primary & Secondary
- **State Forces Mowing**
 - Supplement Contractor Mowing
 - Sight Distance and Safety Concerns
- **Plant Growth Regulator**

VDOT Essential Contracts

- **Mowing**
- **Asphalt Paving/Patching**
- **Pothole Repair**
- **Tree Removal/Trimming**
- **Incidental Concrete Work**
- **Sweeping**
- **Stormwater Basin Maintenance**
- **Drop Inlet & Pipe Cleaning**

VDOT Engineering Services

- **Speed Studies**
- **Safety Studies**
- **Operational Analysis**
- **Pavement Marking Studies**
- **Hydraulic Analysis**
- **Land Use**
 - **New Entrances**
 - **New Subdivisions**
 - **Street Acceptance**
 - **Site Plan Reviews**

VDOT Resources

- **Virginia Traffic Information**
 - <http://www.511virginia.org/>
- **Board of Supervisors Manual**
 - http://www.virginiadot.org/business/resources/local_assistance/BOSManual_2017.pdf
- **Smart Scale**
 - <http://smartscale.org/>
- **Report a Road Problem**
 - <https://my.vdot.virginia.gov/>

VDOT Customer Service

**FOR VDOT MAINTENANCE
ISSUES OR CONCERNS
CALL 1-800-367-ROAD
OR 804-674-2800**





Special Hauling Vehicles Chesterfield County

Kyle Bates, P.E.
Resident Engineer

Special Hauling Vehicles (SHV)

- Over last 20 years, commercial truck manufacturers have developed freight vehicles with 4+ axles, carrying up to 40 tons legally, depending on axel spacing
- Federal Highway Administration (FHWA) standards dictate that states post for SHV's
- VDOT must have all structures posted by Dec. 31, 2022

TYPICAL HAULING VEHICLES



SPECIAL HAULING VEHICLES (SHV)



Chesterfield County Structures

Route	Feature Carried	Feature Crossed
641	DUNDAS ROAD	CSX TRNS & USDGSC SERVIC



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 3.E.

Subject:

Environmental Stewardship Website

Board Action Requested:

Summary of Information:

Ms. Susan Pollard, Director of Communications and Media, will provide the Board of Supervisors with an update on the new Environmental Stewardship website.

Chesterfield has unveiled its new Environmental Stewardship web portal highlighting all the work the county is doing to protect the ecosystem and natural resources.

In collaboration with different departments within the county and partner organizations, the Environmental Stewardship web portal is a one-stop-shop for all of Chesterfield's environmental initiatives, divided into four major categories:

Clean Water and Air

Healthy Land and Wildlife

Sustainability

Awards, Accreditations and Regulations

Each category summarizes the county's efforts and provides links for citizens to learn more. The Environmental Stewardship web portal is a living resource that will be expanded alongside Chesterfield's environmental efforts.

[Environmental Stewardship Web Portal](#)

Attachments:

1. 3E - ESWP Presentation - Jan. 21, 2020

Preparer: Susan Pollard, Director

Approved By:

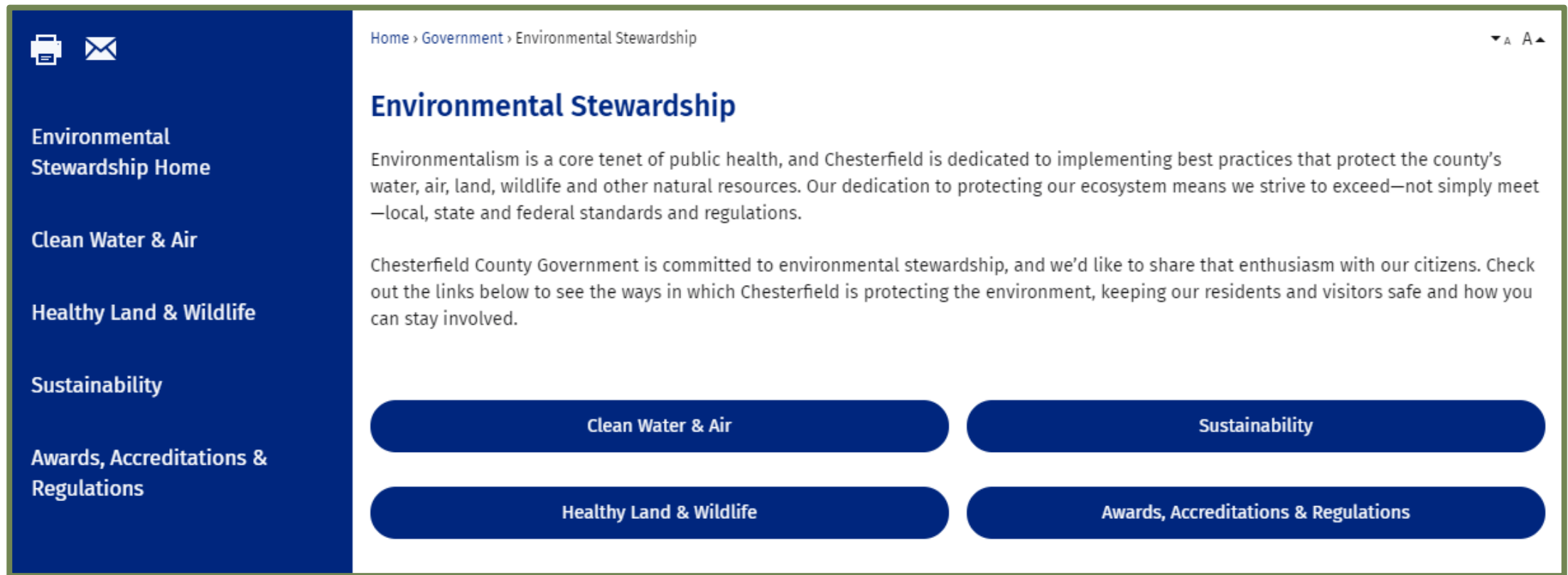




Chesterfield County **Environmental Stewardship** **Web Portal**

Susan Pollard, Director of Communications and Media

Lauren Henry, Public Information and Creative Content Manager



Protecting Our Citizens by Protecting Our Natural Resources

- ❖ Four Categories: (1) Clean Water and Air, (2) Healthy Land and Wildlife, (3) Sustainability (4) Awards, Accreditations and Regulations
- ❖ Web portal a tool that provides holistic access to information in accessible, conversational language
- ❖ Topics presented with brief summaries and accompanying links

Partner Departments and Organizations

- ❖ A collaborative effort driven by our partners' initiatives
- ❖ A roadmap to the county's environmental efforts
- ❖ Partners update content on their webpages, while Communications and Media updates links and descriptions on the web portal

Partner Departments and Organizations

Environmental stewardship can only be done effectively if we are all doing our part and working towards the same goal. Chesterfield would not be able to do so much for the environment without the continued dedication and teamwork of so many of its departments and partner organizations:

Chesterfield County Departments

- [Community Enhancement](#)
- [Cooperative Extension](#)
- [Environmental Engineering](#)
- [General Services](#)
- [Parks and Recreation](#)
- [Risk Management](#)
- [Utilities](#)

Partner Organizations

- [Central Virginia Waste Management Authority](#) (CVWMA)
- [Chesterfield Historical Society of Virginia](#) (CHSV)
- [Friends of the Lower Appomattox River](#) (FOLAR)
 - [Heather Barrar](#) – Regional Trails Program Director
 - [Wendy Austin](#) – Executive Director
- [James River Advisory Council](#) (JRAC)
- [Keep Virginia Beautiful](#)

Clean Water and Air

Current Partner Departments:

- ❖ Environmental Engineering
- ❖ Utilities
- ❖ Cooperative Extension
- ❖ General Services
- ❖ Parks and Recreation

Clean Water and Air



Clean Water

The well-being of our residents depends on the cleanliness and ongoing protection of our water. The county is fortunate to have approximately 1,300 miles of streams, three reservoirs and about 124 miles of riverfront along the Appomattox and James Rivers. Take a look at all the ways Chesterfield preserves, protects and restores the integrity of our water sources.

Clean Air

The quality of our air is directly linked to our quality of life. Every day, the average person inhales thousands of liters of air, so keeping that air clean is integral to maintaining public health. Air quality can be adversely affected by a number of pollutants, which can lead to serious health and environmental impacts. Chesterfield County remains vigilant in its efforts to mitigate these impacts. Here's how the county works to keep our air clean.

The Water Quality Report

- ❖ Web portal provides quick access to county's water conservation efforts
- ❖ Citizens can learn about drinking water safety or read Water Quality Report
- ❖ Web portal links to the report on the Utilities webpage, which Utilities maintains

Utilities

Are you in-the-know about where your **drinking water** comes from? What about how our Utilities Department keeps the water in your pipes safe? Visit the [Drinking Water and Water Resources page](#) or read a learning resource for teachers and children created by the American Water Works Association: [The Story of Drinking Water](#).

Chesterfield County is extremely proud of the quality water we provide, and we are one of only a handful of utilities across the nation that has never exceeded a Safe Drinking Water Act primary maximum containment level (MCL). We are also in full compliance with all state and federal drinking water standards. Every year, our Utilities Department prepares a **Water Quality Report** summarizing a year's worth of testing that is done to ensure your drinking water meets those standards. Read our most recent [Water Quality Report](#) to learn more.



Utilities Home

Swift Creek Reservoir

Water & Wastewater
Systems

Flushing Water Lines at
Hydrants

Water Quality Report

Drinking Water

[Home](#) > [Government](#) > [Departments](#) > [Utilities](#) > [Drinking Water & Water Resources](#) > Water Quality Report



Water Quality Report

Chesterfield County's state-certified water quality laboratory tests the water from tap water samples collected throughout the county daily. The Addison-Evans Water Production and Laboratory Facility performs an average of 58,000 tests per year. Our consistent, high-quality water meets or exceeds all applicable federal, state and county requirements. We publish an annual [Water Quality Report \(PDF\)](#) that is updated in May.

Hard Copy

To receive a hard copy, email [Courtney Battista](#) or call 804-748-1876.

En Español

Para asistencia en español, llame al 804-748-1291.

Water Quality Report

- [Water Quality Report \(PDF\)](#)

ANNUAL WATER QUALITY REPORT

REPORTING YEAR 2018



Presented By
Chesterfield County Department of Utilities

PWS ID#: VA4041845

Sampling Results

During the past year, water delivered to homes or businesses complied with all state and federal primary drinking water regulations. The tables below show what substances were detected in drinking water during 2018. Although all the substances listed are below the maximum contaminant limit set by the U.S. Environmental Protection Agency (U.S. EPA), we believe it is important that you know exactly what was detected and how much of the substance was present in the water.

Certain substances are monitored less than once per year due to the fact that the concentrations of these substances do not change frequently, as required by the state. In these cases, the most recent sample data are included, along with the year in which the sample was taken.

We participated in the fourth stage of the U.S. EPA's Unregulated Contaminant Monitoring Rule (UCMR4) program by performing additional tests on our drinking water. UCMR4 benefits the environment and public health by providing the U.S. EPA with data on the occurrence of contaminants suspected to be in drinking water in order to determine if the U.S. EPA needs to introduce new regulatory standards to improve drinking water quality.

REGULATED SUBSTANCES											
SUBSTANCE (UNIT OF MEASURE)	YEAR SAMPLED	ARWA		Addison-Evans		Richmond				VIOLATION	TYPICAL SOURCE
		AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH		
Alpha Emitters (pCi/L)	2013	15	0	0.7	NA	ND	NA	ND	NA	No	Erosion of natural deposits
Barium (ppm)	2018	2	2	0.029	NA	0.036	NA	0.032	NA	No	Discharge of drilling wastes; discharge from metal refineries; erosion of natural deposits
Beta/Photon Emitters* (pCi/L)	2013	50	0	2.0	NA	2.6	NA	2.0	NA	No	Decay of natural and man-made deposits
Chloramines* (ppm)	2018	[4]	[4]	2.88	ND-4.8	2.88	ND-4.8	2.88	ND-4.8	No	Water additive used to control microbes
Chlorite (ppm)	2018	1	0.8	0.34	0.03-0.34	ND	NA	ND	NA	No	Byproduct of drinking water disinfection
Combined Radon (pCi/L)	2013	5	0	0.7	NA	ND	NA	ND	NA	No	Erosion of natural deposits
Fluoride (ppm)	2018	4	4	0.79	0.56-0.79	1.07	0.47-1.07	0.84	ND-0.84	No	Erosion of natural deposits; water additive which promotes strong teeth; discharge from fertilizer and aluminum factories
Halooacetic Acids (HAA) (ppb)	2018	60	NA	28.2	8.8-38	27.3	8.3-42	24.2	5.3-31	No	Byproduct of drinking water disinfection
Nitrate (ppm)	2018	10	10	0.12	NA	ND	NA	0.29	NA	No	Runoff from fertilizer use; leaching from septic tanks, sewage; erosion of natural deposits
THM's (Total Trihalomethanes) (ppb)	2018	80	NA	40.0	11-67	41.0	12-73	32.5	18-47	No	Byproduct of drinking water disinfection
Total Coliform Bacteria (No. positive samples)	2018	TT	NA	1.89	NA	1.89	NA	1.89	NA	No	Naturally present in the environment
Total Organic Carbon* (removal ratio)	2018	TT	NA	1.39	1.11-1.49	1.20	1.02-1.33	1.6	0.9-2.4	No	Naturally present in the environment
Turbidity* (NTU)	2018	TT	NA	0.55	0.01-0.55	0.08	0.01-0.08	0.26	ND-0.26	No	Soil runoff
Turbidity (Lowest monthly percent of samples meet the limit)	2018	TT - 99% of samples meet the limit	NA	95.56	NA	100	NA	100	NA	No	Soil runoff

Tap water samples were collected for lead and copper analyses from sample sites throughout the community											
SUBSTANCE (UNIT OF MEASURE)	YEAR SAMPLED	ARWA		Addison-Evans		Richmond				VIOLATION	TYPICAL SOURCE
		AMOUNT DETECTED (90TH PERCENTILE)	SITES ABOVE AL/TOTAL SITES	AMOUNT DETECTED (90TH PERCENTILE)	SITES ABOVE AL/TOTAL SITES	AMOUNT DETECTED (90TH PERCENTILE)	SITES ABOVE AL/TOTAL SITES	AMOUNT DETECTED (90TH PERCENTILE)	SITES ABOVE AL/TOTAL SITES		
Copper (ppm)	2016	1.3	1.3	0.095	0/50	0.123	0/50	0.120	0/50	No	Corrosion of household plumbing systems; Erosion of natural deposits
Lead (ppb)	2016	15	0	ND	0/50	ND	0/50	ND	0/50	No	Corrosion of household plumbing systems; Erosion of natural deposits

SECONDARY SUBSTANCES											
SUBSTANCE (UNIT OF MEASURE)	YEAR SAMPLED	ARWA		Addison-Evans		Richmond				VIOLATION	TYPICAL SOURCE
		AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH		
Sulfate (ppm)	2018	250	NA	26.7	NA	54.6	NA	34.0	NA	No	Water additive to remove particles

UNREGULATED SUBSTANCES											
SUBSTANCE (UNIT OF MEASURE)	YEAR SAMPLED	ARWA		Addison-Evans		Richmond				VIOLATION	TYPICAL SOURCE
		AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH		
Bromodichloromethane (ppb)	2018	4.7	2.4-8.4	5.8	2.3-9.8	5.4	3.2-9.0	5.4	3.2-9.0	No	Byproduct of drinking water disinfection
Chlorodibromomethane (ppb)	2018	0.6	ND-1.3	0.8	ND-1.8	0.7	ND-1.4	0.7	ND-1.4	No	Byproduct of drinking water disinfection
Chloroform (ppb)	2018	27.8	6.8-58	32.1	7.2-63	24.3	11-39	24.3	11-39	No	Byproduct of drinking water disinfection

UNREGULATED CONTAMINANT MONITORING RULE - PART 4 (UCMR4)											
SUBSTANCE (UNIT OF MEASURE)	YEAR SAMPLED	ARWA		Addison-Evans		Richmond				VIOLATION	TYPICAL SOURCE
		AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH	AMOUNT DETECTED	RANGE LOW-HIGH		
Bromochloroacetic Acid (ppb)	2018	1.9	0.95-2.9	2.2	1.5-3.0	2.1	ND-3.7	2.1	ND-3.7	No	Byproduct of drinking water disinfection
Bromodichloroacetic Acid (ppb)	2018	1.6	0.95-2.5	1.8	1.0-2.7	1.7	ND-2.9	1.7	ND-2.9	No	Byproduct of drinking water disinfection
Chlorodibromoacetic Acid (ppb)	2018	0.4	0.31-0.64	0.56	0.36-0.72	0.31	ND-0.48	0.31	ND-0.48	No	Byproduct of drinking water disinfection
Dichloroacetic Acid (ppb)	2018	17.9	12-26	23.2	20-28	13.7	4.1-19	13.7	4.1-19	No	Byproduct of drinking water disinfection
HAA5 (ppb)	2018	30.9	23-46	40	34-50	24.9	10-33	24.9	10-33	No	Byproduct of drinking water disinfection
HAA6Br (ppb)	2018	4.0	2.3-6.0	4.6	3.1-6.4	4.1	0.5-7.0	4.1	0.5-7.0	No	Byproduct of drinking water disinfection
HAA9 (ppb)	2018	34	27-52	43.3	34-58	29	11-39	29	11-39	No	Byproduct of drinking water disinfection
Manganese (ppb)	2018	18	11-18	1.1	0.9-1.1	0.91	0.46-0.91	0.91	0.46-0.91	No	Erosion of natural deposits
Monochloroacetic Acid (ppb)	2018	1.6	ND-4.5	2.6	ND-3.8	ND	NA	ND	NA	No	Byproduct of drinking water disinfection
Trichloroacetic Acid (ppb)	2018	11.4	8.8-20	14.8	10-22	11.2	6.2-15	11.2	6.2-15	No	Byproduct of drinking water disinfection

Healthy Land and Wildlife

Current Partner Departments:

- ❖ Cooperative Extension
- ❖ Environmental Engineering
- ❖ Community Enhancement
- ❖ General Services
- ❖ Parks and Recreation

Healthy Land and Wildlife



Healthy Land

Ensuring our soil is free of pollutants and our land is free of litter is vital to total environmental health. Chesterfield works hard to provide residents with the resources they need to make sure their own land is healthy and thriving, prevent dangerous land pollutants from entering our waterways and help organize community clean-up efforts to keep the county beautiful.

Healthy Wildlife

Wildlife is a vital part of Earth's ecosystem. Plants and animals play an important role in maintaining the delicate balance of nature. Protecting their natural habitats is beneficial to humans as it enriches our planet and raises awareness of the need to conserve natural resources. Here's how Chesterfield is working to keep our wildlife safe and protected.

Bumblebee Jamboree

- ❖ Web portal briefly describes Cooperative Extension's work with Bumblebee Jamboree
- ❖ Citizens can click on link for a video and more information
- ❖ So, when Cooperative Extension updates page for 2020 event, the web portal will not be out-of-date

Healthy Wildlife

Wildlife is a vital part of Earth's ecosystem. Plants and animals play an important role in maintaining the delicate balance of nature. Protecting their natural habitats is beneficial to humans as it enriches our planet and raises awareness of the need to conserve natural resources. Here's how Chesterfield is working to keep our wildlife safe and protected.

Cooperative Extension

Each year, the Chesterfield County master Gardeners and Virginia Cooperative Extension work with community partners to host **Bumblebee Jamboree**, an event dedicated to pollinator conservation. Watch a video and [learn more about activities from past events](#).

Like bumblebees, butterflies contribute to our ecosystem as pollinators. To attract **Monarch butterflies** to our area during their annual migration, we planted milkweed at North Courthouse Road Library. To learn more about Monarch butterflies, milkweed and how you can become involved in conservation efforts, visit [Monarch Watch](#).

Home » Government » Departments » Cooperative Extension » Events & Programs » Bumblebee Jamboree

Bumblebee Jamboree

Bumblebee Jamboree

Cooperative Extension Home

Bumblebee Jamboree

Chesterfield County Farmer's Market

Get A Healthier Lawn With Grass Roots

Sustainable Landscaping

Learn Your Landscape

Calendar

Events & Classes

Bumblebee Jamboree

Bumblebee Jamboree

Watch later Share

BUMBLEBEE Jamboree

Bumblebee Jamboree is metro Richmond's premier National Pollinator Week event hosted by the Chesterfield County Master Gardeners and Virginia Cooperative Extension, along with other community partners tied to pollinator conservation.

Sustainability

Current Partner Departments:

- ❖ Cooperative Extension
- ❖ Environmental Engineering
- ❖ General Services
- ❖ Parks and Recreation
- ❖ Risk Management

Sustainability



Sustainability

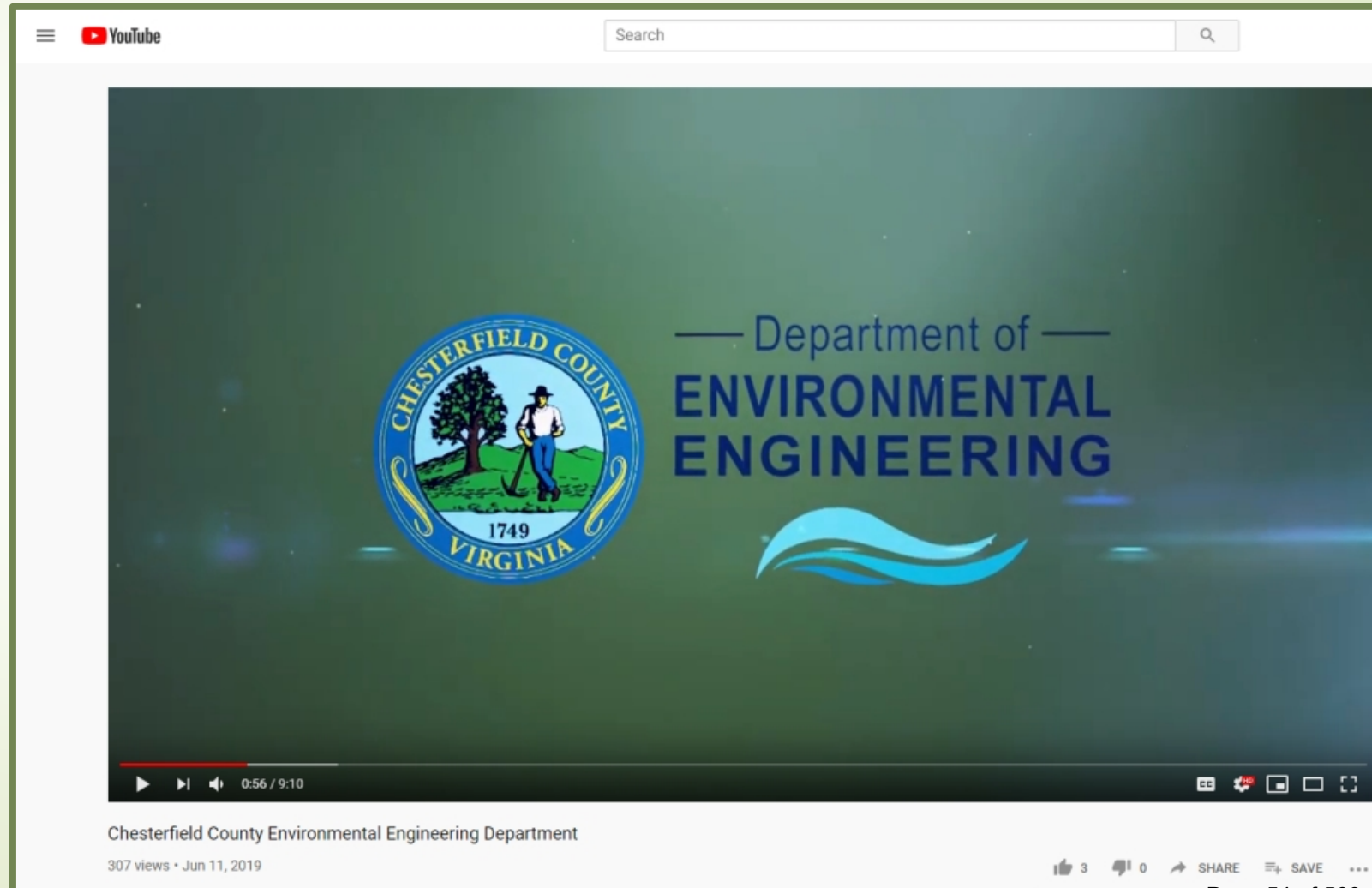
Our county is consciously working towards stronger environmental responsibility, using resources and undertaking sustainable initiatives with an eye to the future. That means evaluating our energy use, making the choice to reduce, reuse and recycle, and making every effort to protect our environment. See all the ways Chesterfield is staying committed to sustainable practices.

Environmental Engineering Video

- ❖ Web portal links to a YouTube video on County channel highlighting Environmental Engineering's:
 - ❖ Day-to-day work
 - ❖ Education and outreach efforts
 - ❖ Citizen involvement
 - ❖ Workshops

Environmental Engineering

Sustainability is vital to the work of our **Environmental Engineering** department. Watch a [video](#) on the [work they do](#) and their [education and outreach efforts](#) in the community. Let Environmental Engineering teach you how to [make a difference](#), including rain barrel workshops.



Awards, Accreditations and Regulations

Current Partner Departments:

- ❖ General Services
- ❖ Parks and Recreation
- ❖ Utilities
- ❖ Risk Management
- ❖ Environmental Engineering

Awards, Accreditations and Regulations



Awards, Accreditations and Regulations

Chesterfield County has been recognized in its efforts to go above and beyond to protect the environment. From achieving accreditation for its arboretum to receiving the Governor's Environmental Excellence Awards, we are dedicated to excellence in environmental stewardship.

Green Fleet Awards

- ❖ Chesterfield County's Fleet Services ranked 45th Best Green Fleet for 2019
- ❖ Links to news release announcing the award, as well as additional honors earned by Fleet Services

[General Services](#)

[Governor's Environmental Excellence Award](#)

- 2019: Silver | Cfield Unplugged Energy Management & Sustainability Program

[Green Fleet Awards](#)

- 2019: Chesterfield Fleet ranked #45 Best Green Fleet in the United States

The screenshot shows a news release on the Chesterfield County News Flash website. The page has a blue header with a printer and email icon. The main content area is white with a blue sidebar on the left. The news release is titled "Chesterfield Fleet Services Recognized with Three International Awards" and is dated August 28, 2019. It mentions that the fleet services were recognized at the Board of Supervisors' afternoon session for their Exemplifying Everyday Excellence. The release lists three honors: The 100 Best Fleets (Ranked #47 in 2019), Green Fleet Awards (Ranked #45 in 2019), and Government Fleet Magazine (2019 Leading Fleets - Notable Fleet). It also includes quotes from Sarah Bishop, Fleet Services business analyst, and Aaron Kendrick, Fleet Services business manager, praising the staff's dedication and the recognition.

Home » News Flash

County News

Posted on: August 28, 2019

Chesterfield Fleet Services Recognized with Three International Awards

General Services

August 28, 2019

CHESTERFIELD COUNTY, VA — Today, Chesterfield County Fleet Services was recognized at the Board of Supervisors' afternoon session for their exemplifying Everyday Excellence. Fleet Services has received the following honors:

- The 100 Best Fleets – Ranked #47 in 2019
- Green Fleet Awards – Ranked #45 in 2019
- Government Fleet Magazine – 2019 Leading Fleets – Notable Fleet

"It's a great achievement; it's something we can all be proud of," Sarah Bishop, Fleet Services business analyst, said. "I believe that the awards generate from the staff and the employees and it goes to show what a great staff and organization we are and how dedicated each employee is."

Collectively, the Fleet Services' staff has more than 918 years of dedicated service to Chesterfield County. In 2019, the county submitted evidence of this continued dedication for the first time, and that hard work has manifested itself in the three international recognitions.

"I think it really highlights the good work that our technicians are doing here," Aaron Kendrick, Fleet Services business manager, said. "These are dedicated professionals, they work so hard, and so it's really great to get that recognition so that other people can see the good work we're doing here."

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- Bermuda District News
- Board of Supervisors - Public Hearings / Public Notices
- Chesterfield LIVE!
- Clover Hill District News
- Community Activities Highlights
- Community Engagement and Volunteerism
- Community Enhancement News
- Community



Chesterfield County **Environmental Stewardship** **Web Portal**

Susan Pollard, Director of Communications and Media

Lauren Henry, Public Information and Creative Content Manager



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 3.F.

Subject:

FY2021 Budget Process

Board Action Requested:

Hold a work session on the FY2021 Budget Process.

Summary of Information:

A work session on the FY2021 operating and Capital Improvement Program (CIP) budget process has been scheduled for this date.

There is no action requested of the Board during the work session. Budget public hearings on the operating budget and the CIP are scheduled for March 25, 2020, followed by budget adoption on April 8th.

Attachments:

1. FY21 Budget Kick Off 012220

Preparer: Matt Harris

Approved By:

A handwritten signature in black ink, appearing to be "Matt Harris", is written over a horizontal line.

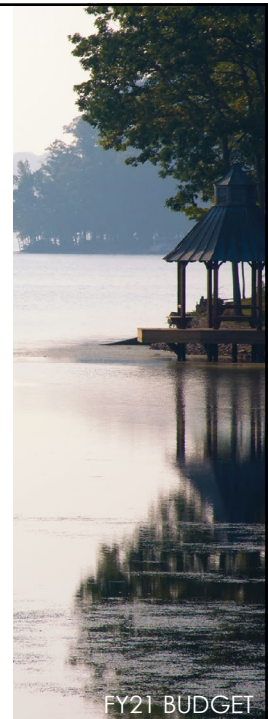
FY21 BUDGET KICKOFF WORK SESSION

JANUARY 22, 2020



AGENDA

- Process Overview
- Thematic Preview for 21
- Calendar/Next Steps



PROCESS OVERVIEW



- Year-round exercise
- 'Off season' focused on priority setting/calibration
- Heavy focus on multi-year financial planning

TOP PRIORITIES FOR CHESTERFIELD COUNTY

- ✓ PUBLIC SAFETY
- ✓ EDUCATION
- ✓ INFRASTRUCTURE/MAINTAINING OUR EXISTING ASSETS
- ✓ TRANSPORTATION

PRIORITIES AND ACCOMPLISHMENTS

[illegible]

THE FIVE-YEAR PLAN HAS EVOLVED

FY16

Adopted County and Schools Five-Year Plan, FY2016-2020

Local Revenue	FY16	FY17	FY18	FY19	FY20
County	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000
Schools	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000
Total	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000

The Five Year Plan is a critical tool for the County and Schools to plan for the future. It provides a framework for the County and Schools to allocate resources and to ensure that they are meeting the needs of the community. The Five Year Plan is a living document that is updated annually to reflect changes in the community and in the County and Schools' needs.

➔ **FY20**

WE BUDGET HORIZONTALLY

<p>GENERAL GOVERNMENT FIVE-YEAR PLAN SUMMARY</p> <p>Summary of the General Government Five-Year Plan, showing the projected revenue and expenditures for the years 2016 through 2020. The plan is based on the assumption that the County will maintain its current level of service and that the Schools will continue to provide the same level of education.</p>	<p>Adopted FY2020 - 2024 General Government Five-Year Plan</p> <p>Summary of the Adopted FY2020 - 2024 General Government Five-Year Plan, showing the projected revenue and expenditures for the years 2020 through 2024. The plan is based on the assumption that the County will maintain its current level of service and that the Schools will continue to provide the same level of education.</p>	<p>Adopted FY2020 - 2024 General Government Five-Year Plan</p> <p>Summary of the Adopted FY2020 - 2024 General Government Five-Year Plan, showing the projected revenue and expenditures for the years 2020 through 2024. The plan is based on the assumption that the County will maintain its current level of service and that the Schools will continue to provide the same level of education.</p>
<p>FY2020 Enhancement Details</p> <p>Summary of the FY2020 Enhancement Details, showing the projected revenue and expenditures for the years 2020 through 2024. The plan is based on the assumption that the County will maintain its current level of service and that the Schools will continue to provide the same level of education.</p>	<p>FY2020 Enhancement Details</p> <p>Summary of the FY2020 Enhancement Details, showing the projected revenue and expenditures for the years 2020 through 2024. The plan is based on the assumption that the County will maintain its current level of service and that the Schools will continue to provide the same level of education.</p>	<p>FY2020 Enhancement Details</p> <p>Summary of the FY2020 Enhancement Details, showing the projected revenue and expenditures for the years 2020 through 2024. The plan is based on the assumption that the County will maintain its current level of service and that the Schools will continue to provide the same level of education.</p>

OPERATING THEMES PREVIEW



Addressing staffing/personnel challenges

- Completion of career development plans (public safety + non-public safety)
- Targeted retention efforts
- Workload supports, particularly in non-frontline areas

Evolving Community Needs

- Transportation Options
- Program and service offerings for changing demographics

Changing technology landscape

- Subscription services
- Ongoing support/maintenance

CIP THEMES PREVIEW



Continued focus on care and maintenance of existing infrastructure

- MM funding in compliance w/financial policy – 2.5% reinvestment
- Replacement/renovation of older facilities – Beulah Renovation

Focus on Technology Improvements

- Courts AV upgrades
- Mental Health Electronic Health Record (EHR)
- GIS upgrades

Planning for the future

- Future land acquisition
- Dedicated trail/sidewalk construction funding
- Special Area Plans
- 2020 Referendum framework...

REFERENDUM REVIEW



2004

\$341.7M approved for schools (5 new + 13 reno/additions), public safety, library, transportation and park improvements

2013

- Initial \$304M expanded to \$402M to accommodate full school rebuilds
- \$49M approved to replace the county's emergency communications system

POTENTIAL
2020

- Focusing on maintaining our existing assets and infrastructure while addressing the needs of a growing population
- Projects to include schools, public safety facilities, libraries, parks, transportation and other county facilities

REFERENDUM REVIEW

2013 Bond Referendum Status

Project Name	Status
Monacan High School Renovation	Completed (9/2016)
Providence Middle School Renovation	Completed (1/2018)
Beulah Elementary School Replacement	Completed (9/2018)
Enon Elementary School Replacement	Completed (1/2019)
Old Hundred Elementary School	Completed (9/2019)
Manchester Middle School Replacement	In Progress (9/2020)
Matoaca Elementary School Replacement	In Progress (9/2020)
Harrowgate Elementary Replacement	In Progress (9/2020)
Eltrick Elementary Replacement	In Progress (9/2021)
Reams Elementary School Replacement	In Progress (9/2021)
Crestwood Elementary Replacement	In Progress (9/2021)
Communications System	In Progress (9/2022)



FY21 BUDGET

REVENUE + ECONOMIC UPDATE



FY21 BUDGET

- Steady growth expected for real estate taxes; residential reval at 3.8% for TY20
- State and national economic fundamentals remain solid
- Using conservative estimates for consumer-driven revenues (personal property taxes, local sales and use tax, transient occupancy tax)
- Will continue to refine projections for upcoming revenue work session

Total, **Projected**
YoY Growth + 3.9%

SCHOOLS BUDGET UPDATE

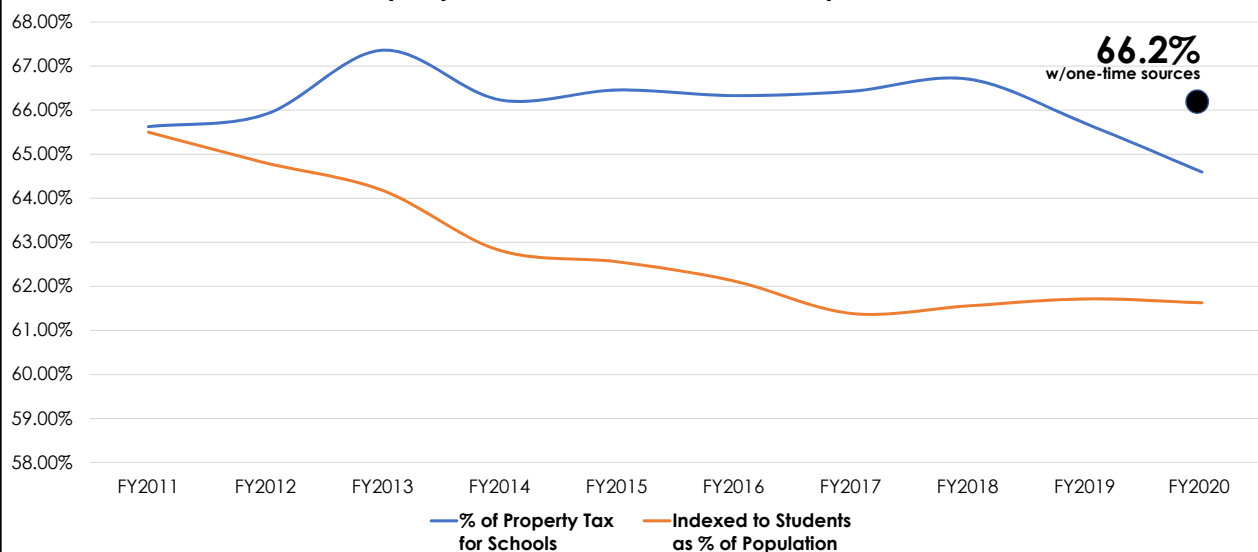
- 1/21 work session **first step** on their process
- Much closer to square one...
- Revenue estimates **VERY** aggressive
- Preliminary school layout uses 83% of all available revenue; \$14M more than already revised target
- Though, stretched horizontally, program goals much more within reach



FY21 BUDGET

SCHOOLS BUDGET UPDATE

Property Taxes Indexed to Student Population



CALENDAR & NEXT STEPS

- **January 31st** – County/School Liaison Meeting
- **February 19th** – “Joint” CIP Work Session, Revenue Work Session, Utilities Proposed Budget, Set Maximum Tax Rate
- **March 11th** – Proposed Budget Work Session, Schools Operating Budget Presentation
- Throughout Process; social media outreach, community meetings/workshops **3/12-3/24**
- **April 8th** – Budget Adoption



FY21 BUDGET KICKOFF WORK SESSION

JANUARY 22, 2020





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 3.G.

Subject:

Update on Public Utilities Construction Contracts

Board Action Requested:

Summary of Information:

Attachments:

1. Utilities Update on Construction Contracts BOS Work Session 012220

Preparer: George Hayes, Director

Approved By:



Capital Improvement Projects Update



Chesterfield County Department of Utilities

Presented by George B. Hayes, P.E., Director

Falling Creek Wastewater Treatment Plant

Digester 1 and Digester 2 Mixing Systems



Background

- Digesters were constructed in 1963.
- Last upgrade was in 2000.

Need for Project

- Vital to the solid portion of the treatment process. Adequate mixing ensures that the biological treatment process is maintained to be in compliance with permit requirements and regulations.
- The existing mixing system is at the end of its useful life and needs to be replaced, typical life expectancy of this equipment is 15 to 20 years.

Recommended Award

- Contractor: Waco, Inc.
- Amount: \$1,378,765

Addison-Evans Water Treatment Plant

Motor Control Center (MCC)



Background

- MCC was constructed in 1966.

Need for Project

- Existing MCC is at the end of its useful life and needs to be replaced. The typical life expectancy of this equipment is 20 years and a majority of the replacement parts are becoming unavailable.
- Failure to replace the MCC could result in prolonged periods of the Addison-Evans Water Treatment Plant being out of service while parts are procured.

Recommended Award

- Southern Building Systems, Inc.
- Amount: \$3,883,804

Proctors Creek Wastewater Treatment Plant – 27 MGD

Addison-Evans Water Treatment Plant

Lime Feed System Replacement



Sodium Hypochlorite Facility Upgrade



Background

- Lime feed system was constructed in 1974.
- Sodium Hypochlorite was constructed in 1999.

Need for Project

- Lime is used to adjust pH and improve water quality.
- Sodium Hypochlorite is used for water disinfection.
- The typical life expectancy of these systems are 15 to 20 years due to the corrosive environment.
- Failure to replace and upgrade the existing systems could result in prolonged periods of the Addison-Evans Water Treatment Plant being out of service.

Recommended Award

- Contractor: Harlan Construction Co., Inc.
- Amount: \$1,818,660

Johnson Creek Force Main, Gravity Sewer and Waterline Project

Background

Johnson Creek WWPS Line Work

- Johnson Creek Wastewater Pump Station was constructed in 1975.



Need for Project

- The pump station has reached the end of its useful life, and the capacity of the service area has reached the capacity of the pump station.
- The replacement Johnson Creek Pump Station construction contract was awarded in August of 2019.
- Failure to upgrade the existing line to serve the new pump station could result in sanitary sewer overflows and violations of the Clean Water Act.

Recommended Award

- Contractor: Garney Companies, Inc.
- Amount: \$3,667,344
- Companion agenda item to proceed with eminent domain on remaining needed easements.

Proctor's Creek Wastewater Treatment Plant – 27 MGD



Capital Improvement Projects Update



Questions?



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 4.A.

Subject:

District Improvement Funds (DIF) Monthly Report

Board Action Requested:

Accept the attached District Improvement Funds (DIF) Monthly Report.

Summary of Information:

The attached report details approved and proposed uses of DIF for FY2020. Acceptance of the report will serve as approval for staff to expend DIF funds for the proposed uses as listed.

Attachments:

1. 12220 DIF report

Preparer: Christopher "Matt" Harris, Deputy County Administrator

Approved By:





CHESTERFIELD COUNTY

Monthly Report on District Improvement Funds

Report Date: January 22, 2020

Prepared By: Budget and Management

The County annually budgets \$33,500 in discretionary funds, referred to as District Improvement Funds (DIF), for each of the five magisterial districts that are used to improve the quality of life in each district. The DIF allocations can be used for public improvements, purchase of county-owned equipment, public events or programs, public school programs, and other legally allowable expenses. In addition, if funds remain in DIF accounts at the end of each fiscal year, up to \$37,500 may be reserved per district at year-end to be utilized in a future year. With approval of this report, the Board consents to the use of available reserve balance, if needed.

This report shows the cumulative use of District Improvement Funds for FY2020 as well as the current funding available for each district. Requests to use funds for the current month are detailed below and listed as a *proposed* use on the summary chart for that district. Upon Board of Supervisors acceptance of this report each month, staff will execute proposed DIF requests.

There is one DIF use proposed this month. Acceptance of this report by the Board constitutes Board approval of these requests.

January 2020 Request:

- Transfer up to \$1,388.13 from the Bermuda District Improvement Fund to Streetlights for new streetlight installation in the Meadowville Landing-Riversbend subdivision.

DIF Balances To Date:

Bermuda – Current Balance **\$24,917.69** (FY20 funding plus available reserves)

Request Date	Use	Amount
9/25/2019	Meadowville Landing-Riversbend subdivision streetlights	\$2,170.32
9/25/2019	Thomas Dale High School electronic sign	\$26,082.00
10/23/2019	Enon Volunteer Fire Department HVAC system replacement	\$5,000.00
10/23/2019	Falling Creek Ironworks Foundation monument in memory of Bryan H. Walker	\$900.00
11/13/2019	Marguerite Christian Athletic Association concession building at Dodd Park	\$500.00
12/11/2019	Bellwood Elementary School KaBoom playground equipment	\$800.00
12/11/2019	Thomas Dale High School electronic sign	\$5,000.00
<i>Proposed</i>	<i>Meadowville Landing-Riversbend subdivision streetlights</i>	<i>\$1,388.13</i>
	Total FY2020 Bermuda uses	\$41,840.45

Clover Hill – Current Balance \$27,837.88 (FY20 funding plus available reserves)

Request Date	Use	Amount
7/24/2019	Providence Elementary School playground equipment	\$3,000.00
8/28/2019	North Courthouse Road Library juvenile collection	\$5,000.00
10/23/2019	W. W. Gordon Elementary School teacher registration fees for "Get Your LEAD On" conference	\$1,500.00
12/11/2019	Swift Creek Middle School cross country and track uniforms	\$800.00
	Total FY2020 Clover Hill uses	\$10,300.00

Dale – Current Balance \$60,657.82 (FY20 funding plus available reserves)

Request Date	Use	Amount
7/24/2019	Lloyd C. Bird High School stadium field	\$2,000.00
10/23/2019	Lloyd C. Bird High School Makerspace laser cutter replacement	\$1,495.00
11/13/2019	Hopkins Road Elementary School blacktop	\$2,000.00
	Total FY2020 Dale uses	\$5,495.00

Matoaca – Current Balance \$32,275.00 (FY20 funding plus available reserves)

Request Date	Use	Amount
8/28/2019	Grange Hall Elementary School Kindergarten playground equipment	\$3,625.00
10/23/2019	Spring Run Elementary School online Lexia® Core5® Reading program	\$1,000.00
12/11/2019	Matoaca High School softball dugout	\$5,000.00
12/11/2019	Matoaca Park press box improvements	\$8,550.00
12/11/2019	Ettrick Park press box improvements	\$8,550.00
12/11/2019	Ettrick Elementary School Early Learning Literacy Program part-time temporary worker	\$12,000.00
	Total FY2020 Matoaca uses	\$38,725.00

Midlothian – Current Balance \$59,517.00 (FY20 funding plus available reserves)

Request Date	Use	Amount
12/11/2019	J.B. Watkins Elementary School PBIS program book vending machine	\$1,596.00
12/11/2019	Robious Athletic Complex scoreboards	\$9,887.00
	Total FY2020 Midlothian uses	\$11,483.00



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 6.A.

Subject:

Closed Session 1) Pursuant to Section 2.2-3711(A)(19), Code of Virginia, 1950, as Amended, for Discussion of Plans and Reports Related to the Security of County-Owned Buildings in the Area of the 1916 Courthouse Complex, and the Safety of Persons Using Such Buildings; and 2) Pursuant to Section 2.2-3711(A)(5), Code of Virginia, 1950, as Amended, to Discuss or Consider Prospective Businesses or Industries or the Expansion of Existing Businesses or Industries Where No Previous Announcement Has Been Made of the Businesses' or Industries' Interest in Locating or Expanding Their Facilities in the Community

Board Action Requested:

Summary of Information:

Closed Session 1) Pursuant to Section 2.2-3711(A)(19), Code of Virginia, 1950, as Amended, for Discussion of Plans and Reports Related to the Security of County-Owned Buildings in the Area of the 1916 Courthouse Complex, and the Safety of Persons Using Such Buildings; and 2) Pursuant to Section 2.2-3711(A)(5), Code of Virginia, 1950, as Amended, to Discuss or Consider Prospective Businesses or Industries or the Expansion of Existing Businesses or Industries Where No Previous Announcement Has Been Made of the Businesses' or Industries' Interest in Locating or Expanding Their Facilities in the Community

Attachments:

None

Preparer: Jeffrey Mincks

Approved By:

A handwritten signature in black ink, appearing to be "Jeffrey Mincks", is written over a horizontal line.



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 12.A.

Subject:

Recognizing Boy Scouts Upon Attaining the Rank of Eagle Scout

1. Chase Alan Payne, Matoaca District
2. Michael Aarness Clabough, Midlothian District

Board Action Requested:

Resolution Recognizing Boy Scouts Upon Attaining the Rank of Eagle Scout

Summary of Information:

Staff has received requests for the Board to adopt resolutions recognizing Mr. Chase Alan Payne and Mr. Michael Aarness Clabough, both sponsored by Mt. Pisgah United Methodist Church, upon attaining the rank of Eagle Scout. They will be present at the meeting, accompanied by members of their families, to accept their resolutions.

Attachments:

1. Resolution - Eagle Scouts

Preparer: Sara Hall, Clerk to the Board of Supervisors

Approved By:

WHEREAS, the Boy Scouts of America was incorporated by Mr. William D. Boyce on February 8, 1910, and was chartered by Congress in 1916; and

WHEREAS, the Boy Scouts of America was founded to build character, provide citizenship training and promote physical fitness; and

WHEREAS, after earning at least 21 merit badges in a wide variety of skills including leadership, service and outdoor life, serving in a leadership position in a troop, carrying out a service project beneficial to their community, being active in the troop, demonstrating Scout spirit, and living up to the Scout Oath and Law, Mr. Chase Alan Payne and Mr. Michael Aarness Clabough, both sponsored by Mr. Pisgah United Methodist Church, have accomplished those high standards of commitment and have reached the long-sought goal of Eagle Scout, which is received by only four percent of those individuals entering the Scouting movement; and

WHEREAS, growing through their experiences in Scouting, learning the lessons of responsible citizenship, and endeavoring to prepare themselves for a role as leaders in society, Chase and Michael have distinguished themselves as members of a new generation of prepared young citizens of whom we can all be very proud.

NOW, THEREFORE, BE IT RESOLVED that the Chesterfield County Board of Supervisors, this 22nd day of January, publicly recognizes Mr. Chase Alan Payne, and Mr. Michael Aarness Clabough, extends congratulations on their attainment of Eagle Scout, and acknowledges the good fortune of the county to have such outstanding young men as its citizens.



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 12.B.

Subject:

Recognizing Miss Kenley Teller for her Athletic Achievements at the U.S. Para Swimming National Championship

Board Action Requested:

Adoption of attached resolution.

Summary of Information:

Staff has received a request for the Board to adopt a resolution recognizing Miss Tenley Keller for her athletic achievements at the U.S. Para Swimming National Championship. Miss Teller is a resident of the Matoaca District. She will be present at the meeting, accompanied by members of her family, to accept the resolution.

Attachments:

1. Kenley Scout Teller Resolution

Preparer: Sara Hall, Clerk to the Board of Supervisors

Approved By:

RECOGNIZING MS. KENLEY SCOUT TELLER FOR HER ATHLETIC ACHIEVEMENTS AT THE
U.S. PARA SWIMMING NATIONAL CHAMPIONSHIP

WHEREAS, Ms. Kenley Scout Teller was born in 2010 at Fort Polk, Louisiana, to Aaron C. and Mary E. Teller; and

WHEREAS, Ms. Teller has a rare genetic condition called popliteal-ptyerygium syndrome that required her to endure many surgeries, including a double leg amputation; and

WHEREAS, Ms. Teller is 9 years old and is a fourth-grader at the Steward School in Richmond, Virginia; and

WHEREAS, her father, a member of U.S. Army, is stationed at Fort Lee, Virginia, while her mother serves as the Inmate Programs Manager for the Chesterfield County Sheriff's Office; and

WHEREAS, Ms. Teller has had a natural attraction to water throughout her life, participated on her first swim team at age 6, and has a reputation as natural fighter who has never allowed immense obstacles stand in the way of achieving great success; and

WHEREAS, Ms. Teller set her first two Junior Nationals records at age 7, followed by six more records at age 8; and

WHEREAS, Ms. Teller, at age 9, qualified for and competed in the U.S. Para Swimming National Championship from Dec. 6 through 8, 2019, in Lewisville, Texas, and became the youngest ever to participate in this prestigious meet hosted by USA Paralympic Swimming and the only Virginia athlete to compete; and

WHEREAS, Ms. Teller, medaled in the S8 50 Meter Backstroke and set three additional personal records, including shaving 12 seconds off her previous best in the 100 Meter Freestyle and 11 seconds off her 100 Meter Breaststroke; and

WHEREAS, USA Paralympic Swimming also awarded Ms. Teller with its 2019 Amazing Grace Award recognizing a developing athlete who demonstrates courage, friendliness, determination and cheer.

NOW, THEREFORE, BE IT RESOLVED that the Chesterfield County Board of Supervisors, this 22nd day of January 2020, publicly recognizes and congratulates Ms. Teller for her outstanding athletic achievement and, more so, for being an outstanding role model for all children and adults facing great personal challenges.

AND BE IT FURTHER RESOLVED that a copy of this resolution be presented to Ms. Teller and that this resolution be permanently recorded among the papers of this Board of Supervisors of Chesterfield County, Virginia.



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.A.1.

Subject:

PlanRVA (Formerly Richmond Regional Planning District Commission)

Board Action Requested:

Nominate/appoint Mr. Jim Ingle as Executive Committee Member, Ms. Gloria Freye, as the Planning Commission representative, and Mr. Jesse Smith, as an alternate, to PlanRVA (Formerly Richmond Regional Planning District Commission).

Summary of Information:

The terms of Mr. Jim Ingle, Ms. Gloria Freye and Mr. Jesse Smith to serve are effective immediately and will expire December 31, 2023.

Attachments:

None

Preparer: Sara Hall, Clerk to the Board of Supervisors

Approved By:





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.A.2.

Subject:

Capital Region Airport Commission

Board Action Requested:

Nominate and appoint Mr. Chris Winslow, board member, and Mr. Jim Williams, county representative and nominate and reappoint Ms. Leslie Haley, board member, and Mr. Holland, board member, to serve on the Capital Region Airport Commission whose terms are effective immediately and will expire 12/31/23.

Summary of Information:

The Capital Region Airport Commission is composed of representatives of the Counties of Chesterfield, Hanover and Henrico and the City of Richmond, the Commission is the administrative authority which governs the operation of Richmond International Airport.

Attachments:

None

Preparer: Sara Hall, Clerk to the Board of Supervisors

Approved By:





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.A.3.

Subject:

Community Services Board

Board Action Requested:

Nominate and appoint Mr. Gibbons Sloan and Mr. Christian Finkbeiner as At-Large Members and nominate and reappoint Ms. Talisha McAuley-Davis, Mr. Patrick Knightly, Mr. Nicholas Pappas, Mr. Harvey Powers and Mr. Ricky Russell as At-Large Members to the Chesterfield Community Services Board with terms effective January 1, 2020 through December 31, 2022. Mr. Gibbons Sloan is filling the vacancy created by the resignation of Mr. Tyler Craddock, At-Large Member, Bermuda District for the duration of his term.

Summary of Information:

The Chesterfield Community Services Board is designated as an Administrative/Policy Board for the provision of public mental health, intellectual/developmental disabilities and substance use disorder services. Mr. Gibbons Sloan resides in the Bermuda District and would serve as a Member At-Large. Mr. Christian Finkbeiner resides in the Clover Hill District and would serve as a Member-At-Large. Both Mr. Sloan's and Mr. Finkbeiner's background and expertise would be valuable to the Board should the Board of Supervisors so choose to appoint them. Mr. Ingle and Mr. Winslow concur with these appointments. The following are members of the Community Services Board who have expressed a willingness to continue for another term: Ms. Talisha McAuley-Davis, Member At-Large, Dale District; Mr. Patrick Knightly, Member At-Large, Midlothian District; Mr. Nicholas Pappas, Member At-Large, Dale District; Mr. Harvey Powers, Member At-Large, Matoaca District; and Mr. Ricky Russell, Member At-Large, Clover Hill District. Each candidate has specific expertise and experience that has proven to be beneficial to the Board. Board members concur with these reappointments.

Under the existing Rules of Procedure, appointments to boards and committees are nominated at one meeting and appointed at the subsequent meeting unless the Rules of Procedure are suspended by a unanimous vote of the Board members present. Nominees are voted on in the order they are nominated.

Attachments:

None

Preparer: Kelly Fried, Executive Director

Approved By:





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.A.4.

Subject:

Parks and Recreation Advisory Commission

Board Action Requested:

Request support and approval from the respective districts for the Board of Supervisors to appoint for a 4-year term, individuals for the Parks and Recreation Advisory Commission (PRAC).

Summary of Information:

The following individuals are recommended to serve a 4-year term on the Parks and Recreation Advisory Commission (PRAC) which serves as a liaison between the County Parks & Recreation Department and the County citizens whom it serves. PRAC receives input from County citizens and provides advice to County staff based on citizen input. The following individuals are requested to be reappointed by District: Bermuda District – Cathy Cheely and Brenda White; Clover Hill District – Mary Ellin Arch and Shayne McDavid; Matoaca District – Raymond Marsh and William Pipp; Midlothian District – Robert McCurry and John Simpson. The Dale District appointment recommended is Reuben Turner (replacing Mr. Harris) and one position would remain vacant as the other current member does not desire to be reappointed (Terrell) and no additional applications were received for the Dale District for consideration. The School Board Representative that has been approved for reappointment is David Glass.

Staff supports all these appointment recommendations.

Attachments:

None

Preparer: James Worsley, Director

Approved By:



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.1.a.

Subject:

Resolution Recognizing Ms. Tamara J. Vest, Chesterfield County Utilities Department, Upon Her Retirement

Board Action Requested:

Adoption of the attached resolution

Summary of Information:

Ms. Tamara J. Vest retired from the Utilities Department on December 31, 2019, after providing over 21 years of service to the citizens of Chesterfield County.

Attachments:

1. Ms. Tamara J. Vest Retirement Resolution

Preparer: Jeff Franklin, Assistant Director

Approved By:



RECOGNIZING MS. TAMARA J. VEST UPON HER RETIREMENT

WHEREAS, Ms. Tamara J. Vest retired from the Chesterfield County Utilities Department on December 31, 2019; and

WHEREAS, Ms. Vest began her public-service career with the Chesterfield County Commissioner of the Revenue on November 16, 1998, as a customer service representative who was responsible for answering inbound calls from customers and providing information about tax services; and

WHEREAS, Ms. Vest worked as an emergency communications officer and a public safety records specialist for two years, and during that time, she served as the primary contact for emergency and non-emergency requests where she assisted saving lives and protecting property by facilitating the flow of information between callers and Fire and EMS, Police, and Animal Services; and

WHEREAS, Ms. Vest returned to the Commissioner of the Revenue as a tax assessment specialist and then held the position as auditor for personal property tax and then the position of business tax assessment specialist from August 4, 2012, to April 30, 2019, and during that time, she succeeded in understanding property, licenses, and tax laws; and

WHEREAS, as a business tax assessment specialist, she ensured all customers' needs were served in an expeditious, courteous, and prompt manner; and

WHEREAS, Ms. Vest learned to complete the DMV audit, keyed refunds and exonerations, completed daily address change reports and personal property duplicate payment reports; and

WHEREAS, Ms. Vest received complimentary emails, letters, and calls from customers regarding the excellent customer service that she provided to them; and

WHEREAS, Ms. Vest transferred to the Utilities Department where she exhibited a willingness to learn new procedures and was diligent in answering incoming calls, establishing new service, disconnecting service, and providing customers with instructions on Utilities processes; and

WHEREAS, Ms. Vest has been an asset to the county because of her dedication to customer service, her high degree of integrity, and her willingness to learn new processes; and

WHEREAS, Ms. Vest was committed to supporting excellence in local government and exhibited knowledge, pride, and quality in the work she has performed at the Commissioner of the Revenue and Utilities Department.

NOW, THEREFORE, BE IT RESOLVED that the Chesterfield County Board of Supervisors recognizes Ms. Tamara J. Vest and extends on behalf of its members and the citizens of Chesterfield County appreciation for her more than 21 years of service to the county.



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.1.b.

Subject:

Resolution Recognizing Ms. Kelly Gregg, Emergency Communications Center (ECC), Upon Her Retirement

Board Action Requested:

Adoption of the attached resolution.

Summary of Information:

Ms. Kelly Gregg will retire from the Emergency Communications Center on March 1, 2020 after 30 years of dedicated service to Chesterfield County.

Attachments:

1. Kelly Gregg Resolution

Preparer: Tommy Tucker, Director

Approved By:

RECOGNIZING MS. KELLY GREGG UPON HER RETIREMENT

WHEREAS, Ms. Kelly Gregg began her public service with the County as a Dispatcher March 5, 1990 in the Emergency Communications Center, and faithfully served Chesterfield County for 30 years until March 1, 2020; and

WHEREAS, Ms. Gregg was able to adapt to the ever-changing environment and growth within Chesterfield County and the Emergency Communications Center, and participated in upgrades of the enhanced 9-1-1 system, county's radio system, and Computer-Aided Dispatch System throughout her career; and

WHEREAS, Ms. Gregg has served in the Dispatcher Center as a Cross-trained Dispatcher and Trainer, Completed the Employee Leadership Institute, and received three official life saves; and

WHEREAS, Ms. Gregg was an active member of the Bensley-Bermuda Volunteer Rescue Squad and a practicing EMT prior to being hired in the Emergency Communications Center (ECC) and continued as a member for over 16 years while working in the ECC.

WHEREAS, Ms. Gregg displayed a helpful, courteous, and caring attitude while working with internal and external customers; and

WHEREAS, Ms. Gregg has provided a high level of commitment to her work performance as a thorough and conscientious employee; and

WHEREAS, Ms. Gregg has provided the Emergency Communications Center and Chesterfield County with many years of loyal and dedicated service; and

WHEREAS, Chesterfield County and the Board of Supervisors thank Ms. Gregg for her diligent service.

NOW, THEREFORE, BE IT RESOLVED that the Chesterfield County Board of Supervisors, January 22, 2020 publicly recognizes Ms. Gregg, and extends on behalf of its members and the citizens of Chesterfield County, appreciation for her service to the county, congratulations upon her retirement, and best wishes for a long and happy retirement.

AND, BE IT FURTHER RESOLVED that a copy of the resolution be presented to Ms. Gregg and that the resolution be permanently recorded among the papers of the Board of Supervisors of Chesterfield County, Virginia.



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.1.c.

Subject:

Resolution Recognizing Corporal Joseph D. DeVivo, II, Police Department, Upon His Retirement.

Board Action Requested:

Adoption of the attached resolution.

Summary of Information:

Corporal Joseph D. DeVivo, II, will retire from the Police Department on February 1, 2020 after providing over 24 years of service to the residents of Chesterfield County.

Attachments:

1. Resolution - Corporal Joseph D. DeVivo, II

Preparer: Jeffrey Katz, Chief of Police

Approved By:

RECOGNIZING CORPORAL JOSEPH D. DEVIVO, II, UPON HIS RETIREMENT

WHEREAS, Corporal Joseph D. DeVivo, II, will retire from the Chesterfield County Police Department on February 1, 2020 after providing over 24 years of quality service to the residents of Chesterfield County; and

WHEREAS, Corporal's DeVivo's service to the citizens of Chesterfield County began in 1995 as a Sheriff's Deputy with the Chesterfield County Sheriff's Office; and

WHEREAS, Corporal DeVivo transferred to the Police Department and continued to faithfully serve in the positions of Patrol Officer, Senior Police Officer, Career Police Officer, Sergeant, and Corporal; and

WHEREAS, during his tenure, Corporal DeVivo has also served as a Field Training Officer, General Instructor, Defensive Tactics Instructor, Firearms Instructor, and Critical Incident Training Instructor; and

WHEREAS, Corporal DeVivo has served as various assignments to include Community Policing Officer, Street Drug Enforcement Unit Member, Special Enforcement Team Sergeant and Administrative Sergeant; and

WHEREAS, Corporal DeVivo is a commercial pilot and serves as a member of the Richmond Metro Aviation Unit, where he is the only flight instructor for the unit; and

WHEREAS, for his devotion to duty and his willingness to help improve the quality of life for the residents of Chesterfield County, Officer DeVivo was selected as the 2001 Officer of the Year; and

WHEREAS, Officer DeVivo received a Unit Citation for dedication, commitment and professionalism displayed while serving as a member of the Ettrick Task Force, whose main goal was the reduction of crime in the Ettrick area; and

WHEREAS, Senior Officer DeVivo was awarded the Mason T. Chalkley Award for Excellence for exceptional performance, dedication and devotion to duty; and

WHEREAS, Senior Officer DeVivo was awarded a Unit Citation as a member of the Police Honor Guard. The unit was recognized for the diligence and professionalism displayed during funeral and memorial services held in multiple states following the line-of-duty death of a Chesterfield County Police Officer; and

WHEREAS, Sergeant DeVivo has received numerous Chief's Commendation awards while serving as a member of the Street Enforcement Team. He was recognized for his diligence, teamwork, dedication and outstanding performance; and

WHEREAS, Corporal DeVivo is recognized for his strong work ethic, teamwork, and excellent communications and human relations skills, all of which he has utilized within the Police Department and in assisting residents of Chesterfield County during his career; and

WHEREAS, Corporal DeVivo has received numerous letters of commendation, thanks and appreciation for services rendered; and

WHEREAS, Corporal DeVivo has provided the Chesterfield County Police Department with many years of loyal and dedicated service; and

WHEREAS, Chesterfield County and the Board of Supervisors will miss Corporal DeVivo's diligent service.

NOW, THEREFORE, BE IT RESOLVED that the Chesterfield County Board of Supervisors, this 22nd day of January 2020, publicly recognizes Corporal Joseph D. DeVivo, II, and extends on behalf of its members and the residents of Chesterfield County, appreciation for his service to the county, congratulations upon his retirement, and best wishes for a long and happy retirement.

AND, BE IT FURTHER RESOLVED that a copy of this resolution be presented to Corporal DeVivo, and that this resolution be permanently recorded among the papers of this Board of Supervisors of Chesterfield County, Virginia.



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.1.d.

Subject:

Resolution Supporting Construction of the Commonwealth Apartments Using Proceeds from Tax-Exempt Bonds Issued by the Virginia Housing Development Authority Under Their Mixed-Income Program

Board Action Requested:

Adoption of attached resolution that will allow construction financing through the VHDA mixed-income program.

Summary of Information:

Commonwealth Apartments is a proposed 234-unit apartment complex located at the south end of Commonwealth Centre Parkway next to Route 288 at 5411 Commonwealth Center Parkway. The developer for the apartments, Commonwealth Center Apartments, LLC, has applied for financing through VHDA's mixed-income program. To qualify for VHDA financing, state law requires that the Board of Supervisors pass a resolution supporting development of the mixed-income project.

The benefit of this program to Chesterfield County is its inclusion of affordable housing as a percentage of the total housing allowed. The HUD median household income for Chesterfield County for FY 2018 is \$83,200. For this loan, the requirement is for at least 20 percent of the dwellings to be leased to persons making no more than \$66,560 (80 percent of the County's median income), and the remaining 80 percent of the dwelling units will not be restricted.

For the developer to obtain this financing, the Chesterfield County Board of Supervisors shall by resolution make a determination that providing residential housing and supporting facilities that serve people of low to moderate income will be enhanced if a portion of the units therein are occupied or held available for occupancy by people who are not of low and moderate income.

Background information including location map, site plan, elevations and unit information is attached.

There are no costs to the county associated with the mixed-income project and no county debt will be created through the VHDA financing applied for by the developer.


Staff recommends that the Board adopt the attached resolution.

Attachments:

1. Resolution

Preparer: Andrew Gillies, Director of Planning

Approved By:



A RESOLUTION CONCERNING
THE COMMONWEALTH APARTMENTS PROJECT

WHEREAS, the Board of Supervisors of the County of Chesterfield, Virginia, desires to make the determination required by Section 36-55.30:2.B of the Code of Virginia of 1950, as amended, in order for the Virginia Housing Development Authority to finance the economically mixed project (the "Project") described on Exhibit A attached hereto:

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE COUNTY OF CHESTERFIELD, VIRGINIA THAT:

1. the ability to provide residential housing and supporting facilities that serve persons or families of lower or moderate income will be enhanced if a portion of the units in the Project are occupied or held available for occupancy by persons and families who are not of low and moderate income; and

2. private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in the surrounding area of the Project and this Project will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area.

Adopted by the Board of Supervisors of the County of Chesterfield, Virginia, on the ____ day of _____, 2018.

EXHIBIT A



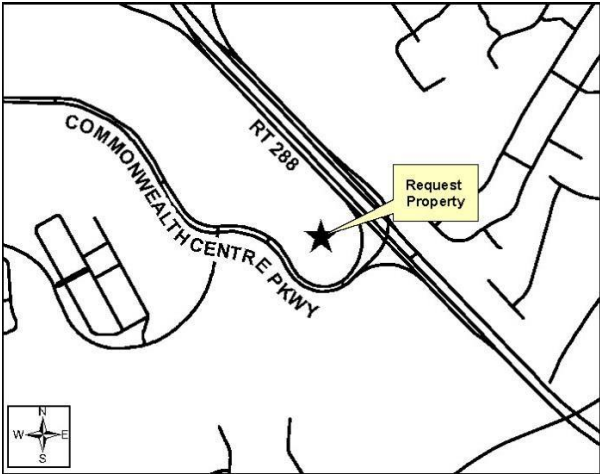
1

Elevation Concept - Building 3/4

Architectural View of Proposed Apartments

GENERAL INFORMATION	
Location	5411 Commonwealth Centre Parkway, Tax ID 737-676-1223
Existing Zoning and Land Use	I-1 with CUPD; Vacant and adjacent to office uses
Size	11.22 Acres
Number of Apartment Units	234 Units: (138) 1-bedroom, (96) 2-bedroom

Location
Map





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.a.1.

Subject:

Along Lucks Lane from The Grove at Lucks Lane, LLC

Board Action Requested:

Accept the conveyance of 4 parcels of land containing a total of 0.158 acres along Lucks Lane from The Grove at Lucks Lane, LLC and authorize the County Administrator to execute the deed.

Summary of Information:

Staff requests that the Board of Supervisors accept the conveyance of 4 parcels of land containing a total of 0.158 acres along Lucks Lane from The Grove at Lucks Lane, LLC. This conveyance is for the development of The Grove at Lucks Lane and has been reviewed by the site plan team.

Approval is recommended.

Clover Hill District

Attachments:

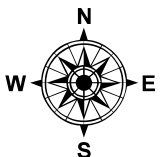
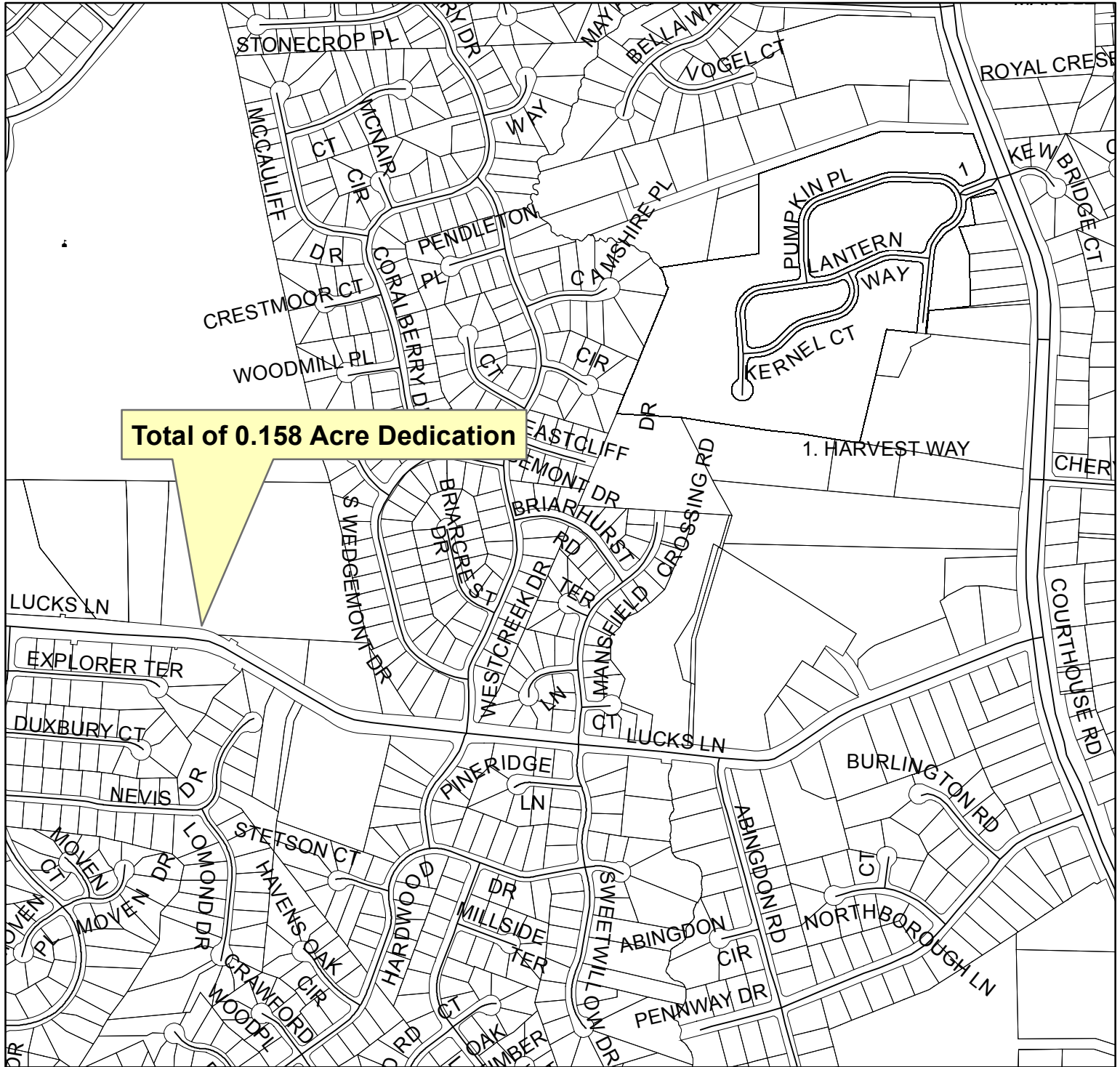
1. Grove at Lucks dedication
2. Grove at Lucks Plat

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

Acceptance of Parcels of Land Along Lucks Lane from The Grove at Lucks Lane, LLC



1 inch = 683 feet

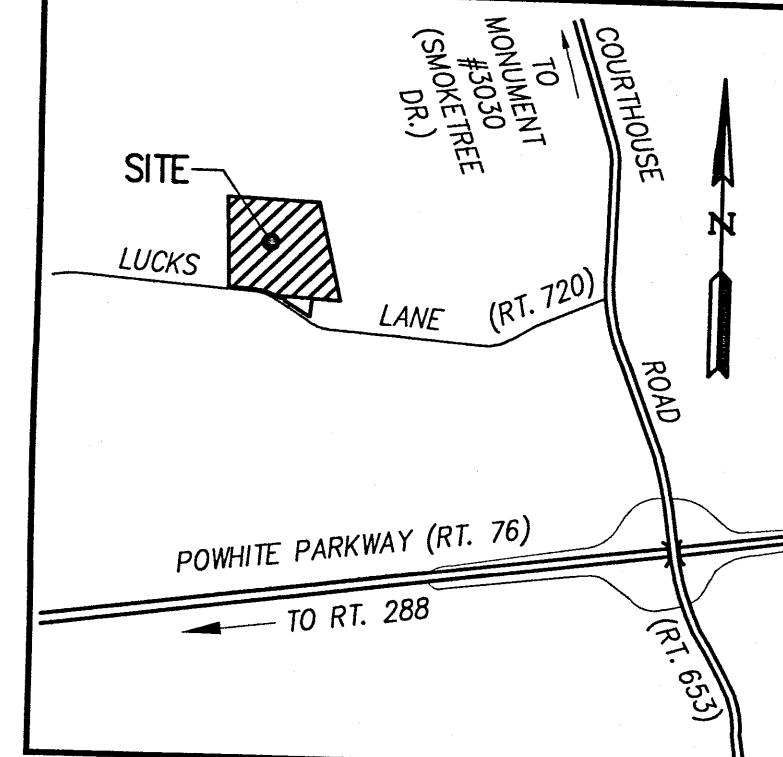
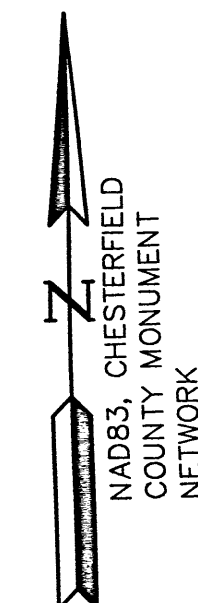


[Duty] 12/13/2019

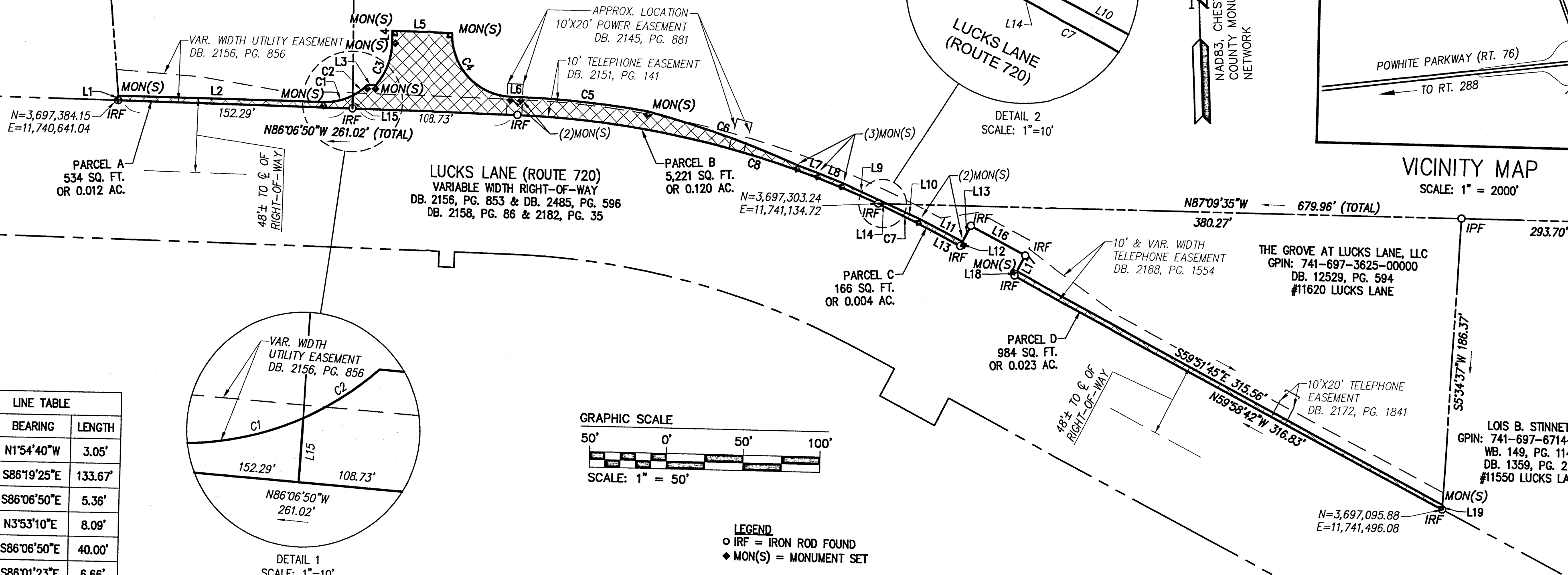
HO Y. LEE, BAIK W. LEE
& CHAE RHIM,
TRUSTEES OF THE
FIRST KOREAN
CHURCH OF RICHMOND
GPIN: 740-697-4076-00000
DB. 4538, PG. 158
#11730 LUCKS LANE

THE GROVE AT LUCKS LANE LLC
GPIN: 740-697-6972-00000
DB. 12512, PG. 427
#11720 LUCKS LANE

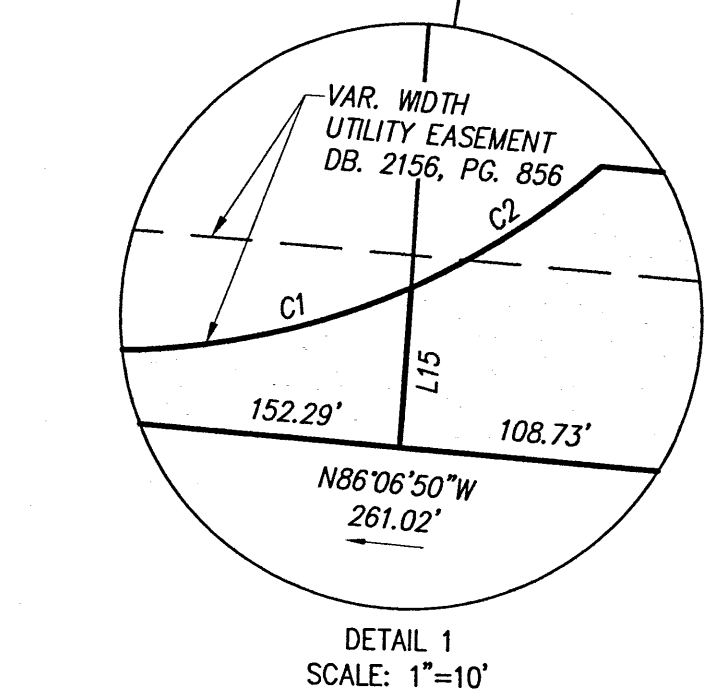
THE GROVE AT LUCKS LANE, LLC
GPIN: 741-697-2269-00000
DB. 12529, PG. 594
#11700 LUCKS LANE



VICINITY MAP
SCALE: 1" = 2000'

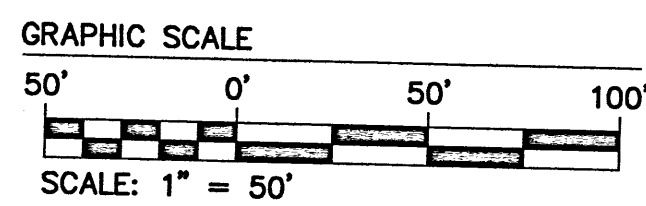


LINE TABLE		
LINE	BEARING	LENGTH
L1	N1°54'40"W	3.05'
L2	S86°19'25"E	133.67'
L3	S86°06'50"E	5.36'
L4	N3°53'10"E	8.09'
L5	S86°06'50"E	40.00'
L6	S86°01'23"E	6.66'
L7	S68°03'06"E	14.47'
L8	S66°53'20"E	17.01'
L9	S63°31'41"E	31.65'
L10	S63°31'41"E	23.33'
L11	S60°30'31"E	31.24'
L12	S30°01'18"W	3.25'
L13	N59°58'42"W	21.05'
L13	N30°01'18"E	11.75'
L14	S87°09'35"E	5.99'
L15	N2°50'31"E	8.35'
L16	S59°58'48"E	40.00'
L17	S30°01'18"W	11.57'
L18	N30°01'18"E	3.43'
L19	S5°34'37"W	3.07'



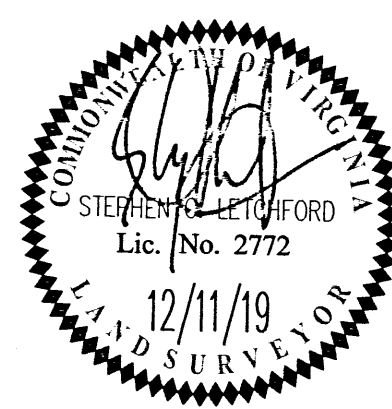
DETAIL 1
SCALE: 1"=10'

CURVE TABLE						
CURVE #	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	28°24'42"	39.50'	19.59'	10.00'	19.39'	N79°28'14"E
C2	17°07'25"	39.50'	11.81'	5.95'	11.76'	N56°42'11"E
C3	39°19'21"	43.50'	29.85'	15.54'	29.27'	N23°32'50"E
C4	89°54'33"	39.50'	61.98'	39.44'	55.82'	S41°04'06"E
C5	7°34'01"	629.50'	83.14'	41.63'	83.08'	S82°14'22"E
C6	9°11'05"	648.17'	103.90'	52.06'	103.79'	S68°50'11"E
C7	3°35'58"	617.96'	38.82'	19.42'	38.82'	N61°46'41"W
C8	22°32'09"	617.96'	243.06'	123.12'	241.50'	N74°50'45"W



LEGEND
○ IRF = IRON ROD FOUND
◆ MON(S) = MONUMENT SET

- NOTES:
1. THE BOUNDARY INFORMATION SHOWN IS COMPILED FROM DEEDS AND PLATS RECORDED IN THE CLERKS OFFICE OF THE CIRCUIT COURT OF CHESTERFIELD COUNTY VIRGINIA.
 2. LOCATION INFORMATION SHOWN IS BASED ON AN ACTUAL GROUND BASED FIELD SURVEY COMPLETED JANUARY 2019 BY AES, CONSULTING ENGINEERS PERSONNEL, UNDER MY DIRECT SUPERVISION.
 3. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, THEREFORE PROPERTIES SHOWN MAY BE SUBJECT TO EASEMENTS, SERVITUDES AND COVENANTS OF RECORD, OTHER THAN THOSE SHOWN.
 4. HORIZONTAL DATUM IS NAD83, BASED ON CHESTERFIELD COUNTY MONUMENT NETWORK, AS DETERMINED BY GPS SOLUTION USING KEYNETGPS AND CLOSEST MONUMENT #3030 OBSERVED. UNITS: U.S. SURVEY FOOT
 5. COORDINATES SHOWN ARE FOR GIS PURPOSES ONLY.



CO PROJ # 13-0277
CO SITE # 19PR0219

DEDICATION PLAT

ACROSS THREE PARCELS OF LAND
ALONG THE NORTH SIDE OF LUCKS LANE
FOR A TOTAL OF
0.158 ACRES OF LAND TO BE DEDICATED TO
CHESTERFIELD COUNTY, VIRGINIA

Scale: 1"=50'
Clover Hill District

September 27, 2019
Chesterfield County, Virginia

AES
CONSULTING ENGINEERS

Hampton Roads | Central Virginia | Middle Peninsula

4120 Cox Road, Suite D
Glen Allen, VA 23060
Phone: (804) 330-8040
www.aesva.com



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.a.2.

Subject:

Adjacent to Manchester Middle School/Fire Station 2 from R. Larry Turner and Katie G. Turner

Board Action Requested:

Accept the conveyance of a parcel of land containing 0.26 acres adjacent to Manchester Middle School/Fire Station 2 from R. Larry Turner and Katie G. Turner and authorize the County Administrator to execute the deed.

Summary of Information:

Staff requests that the Board of Supervisors accept the conveyance of a parcel of land containing 0.26 acres south of Hull Street Road and adjacent to Manchester Middle School/Fire Station 2 from R. Larry Turner and Katie G. Turner. This property has been recommended for acquisition by the Site Selection Team and a current survey and Phase I ESA have been completed.

Approval is recommended.

District: Midlothian

Attachments:

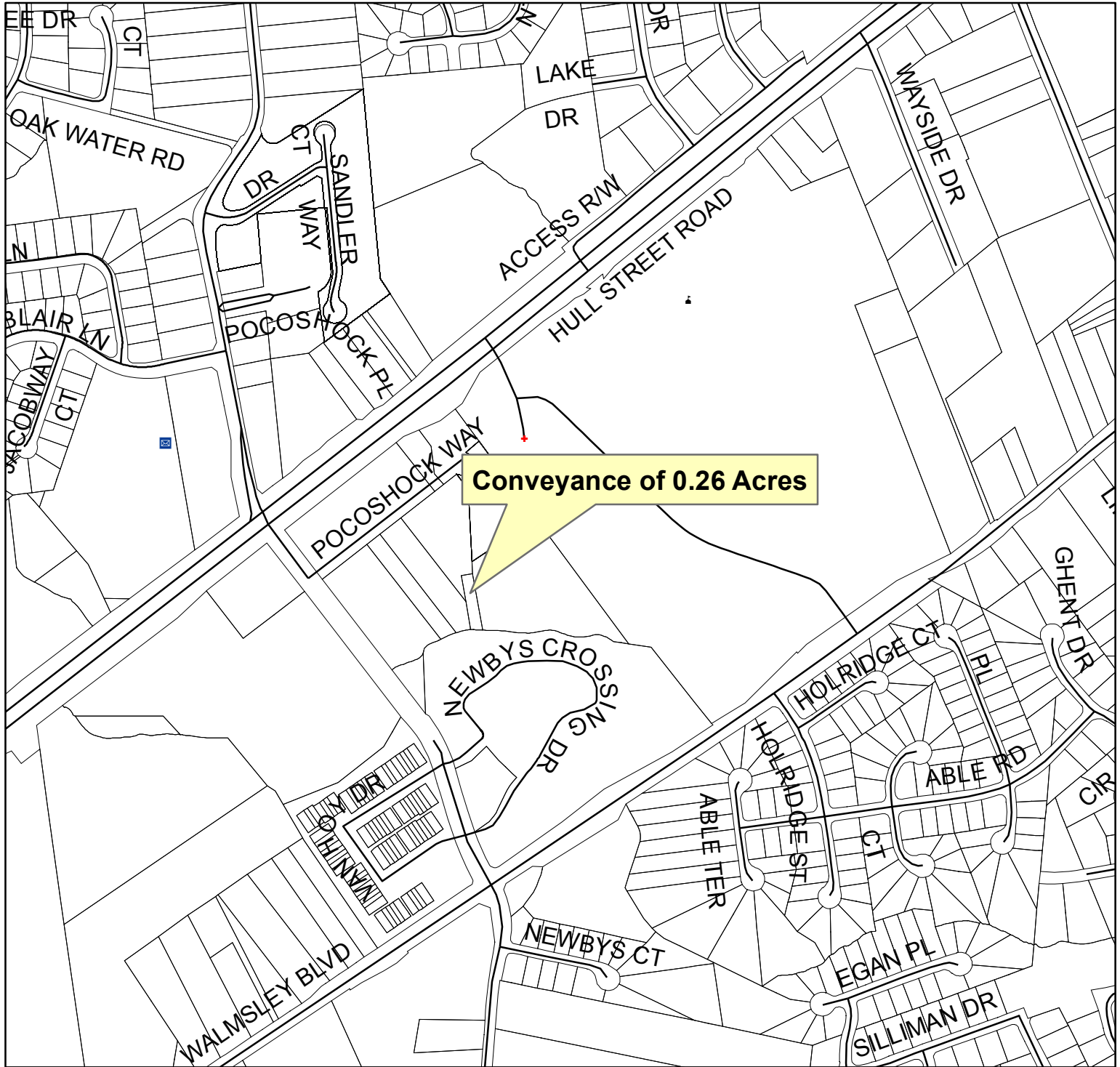
1. Turner convey sketch
2. Turner convey

Preparer: John Harmon, Real Property Manager

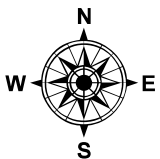
Approved By:

VICINITY SKETCH

Acceptance of a Parcel of Land south of Hull Street Road from R. Larry Turner and Katie G. Turner



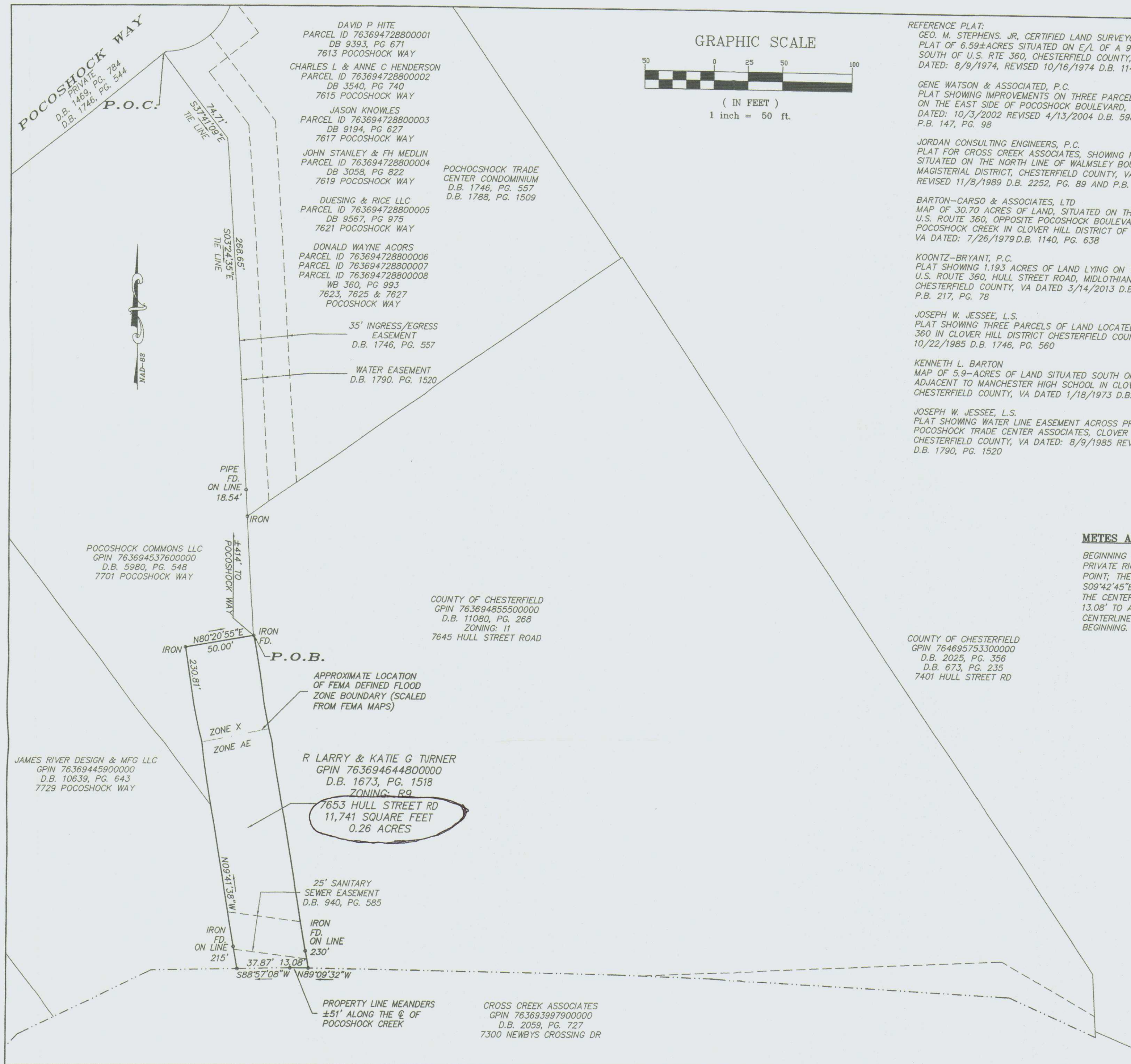
Conveyance of 0.26 Acres



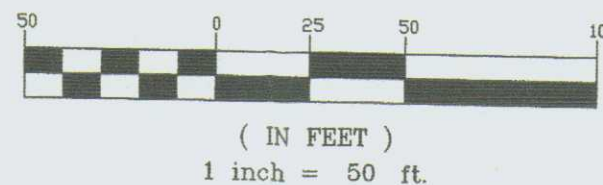
1 inch = 583 feet



[Duty] 01/02/2020



GRAPHIC SCALE



REFERENCE PLAT:

GEO. M. STEPHENS, JR., CERTIFIED LAND SURVEYOR
PLAT OF 6.59±ACRES SITUATED ON E/L OF A 90' PRIVATE ROAD
SOUTH OF U.S. RTE 360, CHESTERFIELD COUNTY, VA
DATED: 8/9/1974, REVISED 10/16/1974 D.B. 1141, PG. 535

GENE WATSON & ASSOCIATED, P.C.
PLAT SHOWING IMPROVEMENTS ON THREE PARCELS OF LAND SITUATED
ON THE EAST SIDE OF POCOSHOCK BOULEVARD, CHESTERFIELD, VA
DATED: 10/3/2002 REVISED 4/13/2004 D.B. 5980, PG. 548 AND
P.B. 147, PG. 98

JORDAN CONSULTING ENGINEERS, P.C.
PLAT FOR CROSS CREEK ASSOCIATES, SHOWING FIVE PARCELS OF LAND
SITUATED ON THE NORTH LINE OF WALMSLEY BOULEVARD, CLOVER HILL
MAGISTERIAL DISTRICT, CHESTERFIELD COUNTY, VA DATED: 9/21/1989
REVISED 11/8/1989 D.B. 2252, PG. 89 AND P.B. 69, PG. 12

BARTON-CARSO & ASSOCIATES, LTD.
MAP OF 30.70 ACRES OF LAND, SITUATED ON THE SOUTHERN SIDE OF
U.S. ROUTE 360, OPPOSITE POCOSHOCK BOULEVARD AND EAST OF
POCOSHOCK CREEK IN CLOVER HILL DISTRICT OF CHESTERFIELD COUNTY,
VA DATED: 7/26/1979 D.B. 1140, PG. 638

KOONTZ-BRYANT, P.C.
PLAT SHOWING 1.193 ACRES OF LAND LYING ON THE SOUTH LINE OF
U.S. ROUTE 360, HULL STREET ROAD, MIDLOTHIAN DISTRICT
CHESTERFIELD COUNTY, VA DATED 3/14/2013 D.B. 10178, PG. 249 AND
P.B. 217, PG. 78

JOSEPH W. JESSEE, L.S.
PLAT SHOWING THREE PARCELS OF LAND LOCATED SOUTH OF U.S. R.T.E.
360 IN CLOVER HILL DISTRICT CHESTERFIELD COUNTY, VA DATED:
10/22/1985 D.B. 1746, PG. 560

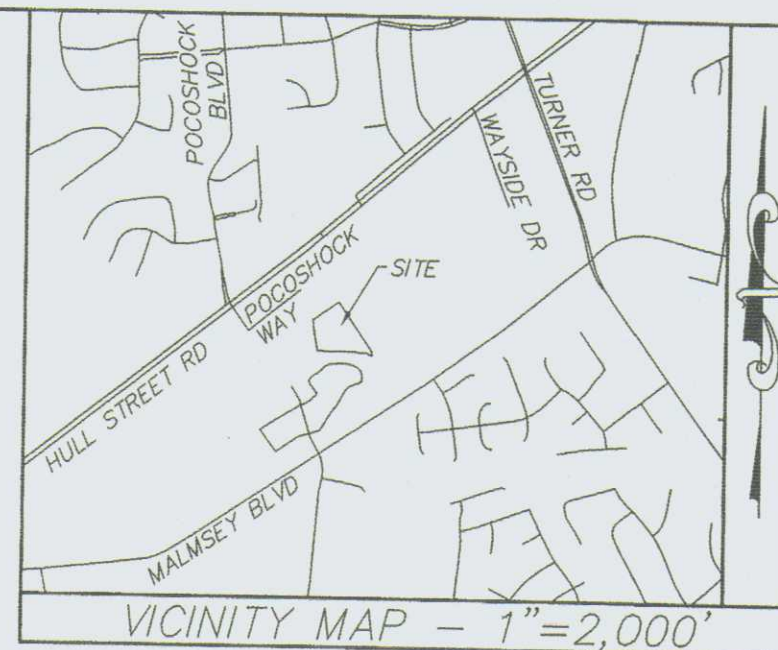
KENNETH L. BARTON
MAP OF 5.9-ACRES OF LAND SITUATED SOUTH OF U.S. RTE 360 AND
ADJACENT TO MANCHESTER HIGH SCHOOL IN CLOVER HILL DISTRICT OF
CHESTERFIELD COUNTY, VA DATED 1/18/1973 D.B. 1144, PG. 601

JOSEPH W. JESSEE, L.S.
PLAT SHOWING WATER LINE EASEMENT ACROSS PROPERTY OF
POCOSHOCK TRADE CENTER ASSOCIATES, CLOVER HILL DISTRICT
CHESTERFIELD COUNTY, VA DATED: 8/9/1985 REVISED 1/14/1986
D.B. 1790, PG. 1520

COUNTY OF CHESTERFIELD
GPIN 764695753300000
D.B. 2025, PG. 356
D.B. 673, PG. 235
7401 HULL STREET RD

METES AND BOUNDS

BEGINNING AT A POINT OF COMMENCEMENT ON THE SOUTHERN LINE OF POCOSHOCK WAY, A
PRIVATE RIGHT OF WAY, THENCE LEAVING SAID SOUTHERN LINE S37°41'09"E, 74.71' TO A
POINT; THENCE S03°24'35"E, 353.34' TO A POINT, SAID POINT OF BEGINNING; THENCE
S09°42'45"E, 238.83' TO THE CENTERLINE OF POCOSHOCK CREEK, THENCE MEANDERING ALONG
THE CENTERLINE OF POCOSHOCK CREEK ±51'; WITH THE FOLLOWING COURSE, N89°09'32"W,
13.08' TO A POINT; THENCE S88°57'08"W, 37.87' TO A POINT; THENCE LEAVING SAID
CENTERLINE N09°41'38"W, 230.81' TO A POINT; THENCE N80°20'55"E, 50.00' TO THE POINT OF
BEGINNING. SAID PARCEL CONTAINING 0.26 ACRES OR 11,741.73 SQUARE FEET.



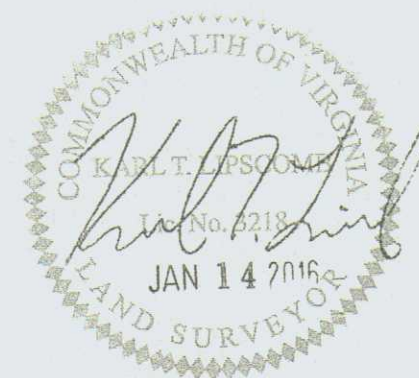
THIS IS TO CERTIFY THAT ON THE 20TH DAY OF
OCTOBER, 2015, I SURVEYED THE PROPERTY SHOWN
ON THIS PLAT. THE TITLE LINES AND WALLS OF THE
BUILDINGS ARE AS SHOWN ON THIS PLAT, THE
BUILDINGS ARE STRICTLY WITHIN THE TITLE LINES
AND THERE ARE NO ENCROACHMENTS OF OTHER
BUILDINGS ON THE PROPERTY.

THIS SURVEY IS SUBJECT TO ANY EASEMENT OF
RECORD AND OTHER PERTINENT FACTS WHICH A TITLE
SEARCH MIGHT DISCLOSE.

NOTE: THIS PROPERTY IS NOT WITHIN
A FEMA DEFINED FLOOD PLAIN
(FLOOD ZONE AE & X)
PANEL NO. 51041C0133D
PANEL NO. 51041C0134D
EFFECTIVE DATE: DECEMBER 18, 2012

THIS SURVEY WAS MADE FOR THE PURPOSE OF
IDENTIFYING LEGAL BOUNDARIES. THIS SURVEY DOES
NOT PURPORT TO IDENTIFY ENVIRONMENTAL FEATURES
SUCH AS WETLANDS OR POLLUTANTS WHICH AN
ENVIRONMENTAL ASSESSMENT WOULD IDENTIFY.

EXEMPT PLAT
THIS PLAT DEPICTS NO CHANGES FROM THE PRESENT
COUNTY PROPERTY MAP



0.26 ACRE OF LAND SITUATED SOUTH OF
POCOSHOCK WAY
MIDLOTHIAN DISTRICT
CHESTERFIELD COUNTY, VIRGINIA
SCALE 1" = 50' JANUARY 13, 2016

Townes
SITE ENGINEERING

9850 LORI ROAD, SUITE 201
CHESTERFIELD, VIRGINIA 23832
PHONE: (804) 748-9011 FAX: (804) 748-2590

DRAWN BY: SDF



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.a.3.

Subject:

Along Jefferson Davis Highway from John Allen Reason, Jr.

Board Action Requested:

Accept the conveyance of a parcel of land containing 0.1435 acres along Jefferson Davis Highway from John Allen Reason, Jr. and authorize the County Administrator to execute the deed.

Summary of Information:

Staff requests that the Board of Supervisors accept the conveyance of a parcel of land containing 0.1435 acres along Jefferson Davis Highway from John Allen Reason, Jr. This conveyance is a condition of zoning case 91SN0213 and has been reviewed by Transportation and Planning.

Approval is recommended.

District: Bermuda

Attachments:

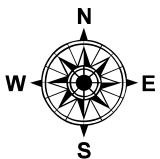
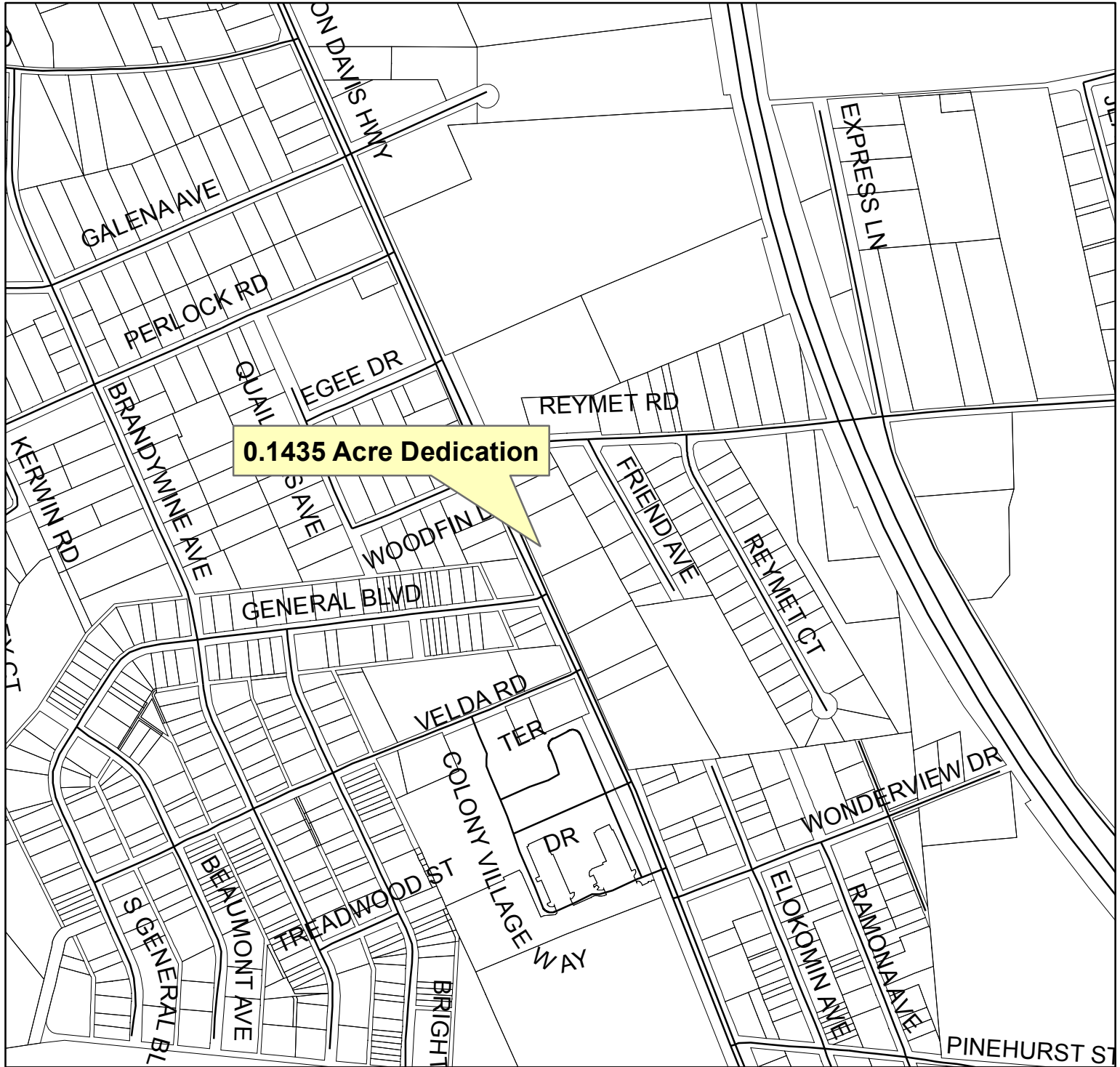
1. john reason
2. reason rw plat

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

Acceptance of a Parcel of Land Along Jefferson Davis Highway from John Allen Reason, Jr.



1 inch = 583 feet



[Duty] 12/12/2019

THIS PROPERTY IS IN H.U.D. DEFINED FLOOD
HAZARD AREA. ZONE: X, AS SHOWN ON FIRM
COMMUNITY PANEL #45025C0251C, DATED 09-16-2011.

SURVEY BY FIELD MEASURE TO
MONUMENTS OF OCCUPATION AS FOUND.

#10001
GPIN 794 667 9305 00000
N/F HUFF BERNARD R.
DB 2207 PG 1654
PLAT DB 2207 PG 1656

PLAT SHOWING IMPROVEMENTS ON
#9927 JEFF DAVIS HIGHWAY
AND A 0.1435 ACRE PARCEL
TO BE DEDICATED TO CHESTERFIELD COUNTY
IN THE BERMUDA DISTRICT OF
CHESTERFIELD COUNTY, VIRGINIA

JEFFERSON DAVIS HWY
(US RT 1)

CO. PROJ#91-0139
CO SITE#91PRO231

<i>HARVEY L. PARKS, INC.</i>	
4508 W. HUNDRED ROAD	
CHESTER, VA.	
804-748-8641	
EMAIL: surveys@harveyparks.com	FAX: 796-5742
DATE: REV: 12-16-19	SCALE: 1"=40'
DRAWN BY: H.T.J.	
CHECKED BY: R.L.O.	
F.BK.: 624, PG. 21	62421.dwg



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.a.4.

Subject:

Along Interstate 95 from Sina18, LLC

Board Action Requested:

Accept the conveyance of a parcel of land containing 0.0513 acres along Interstate 95 from Sina18, LLC and authorize the County Administrator to execute the deed.

Summary of Information:

Staff requests that the Board of Supervisors accept the conveyance of a parcel of land containing 0.0513 acres along Interstate 95 from Sina18, LLC. This conveyance is for the development of Springhill Suites @ Redwater Creek Road and has been reviewed by the site plan team.

Approval is recommended.

District: Bermuda

Attachments:

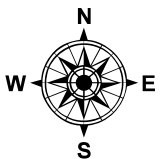
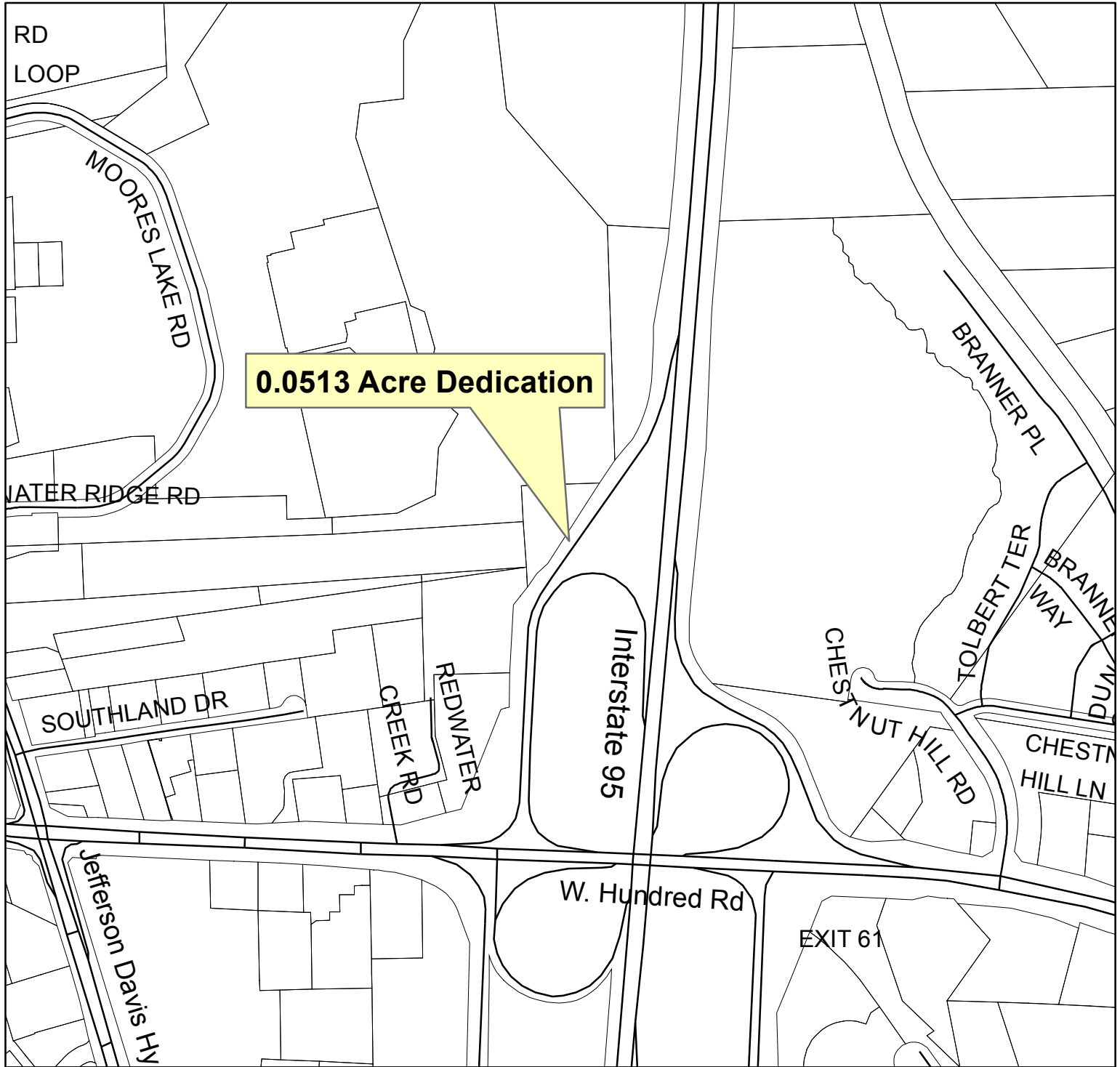
1. sina18sketch
2. sina18 plat

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

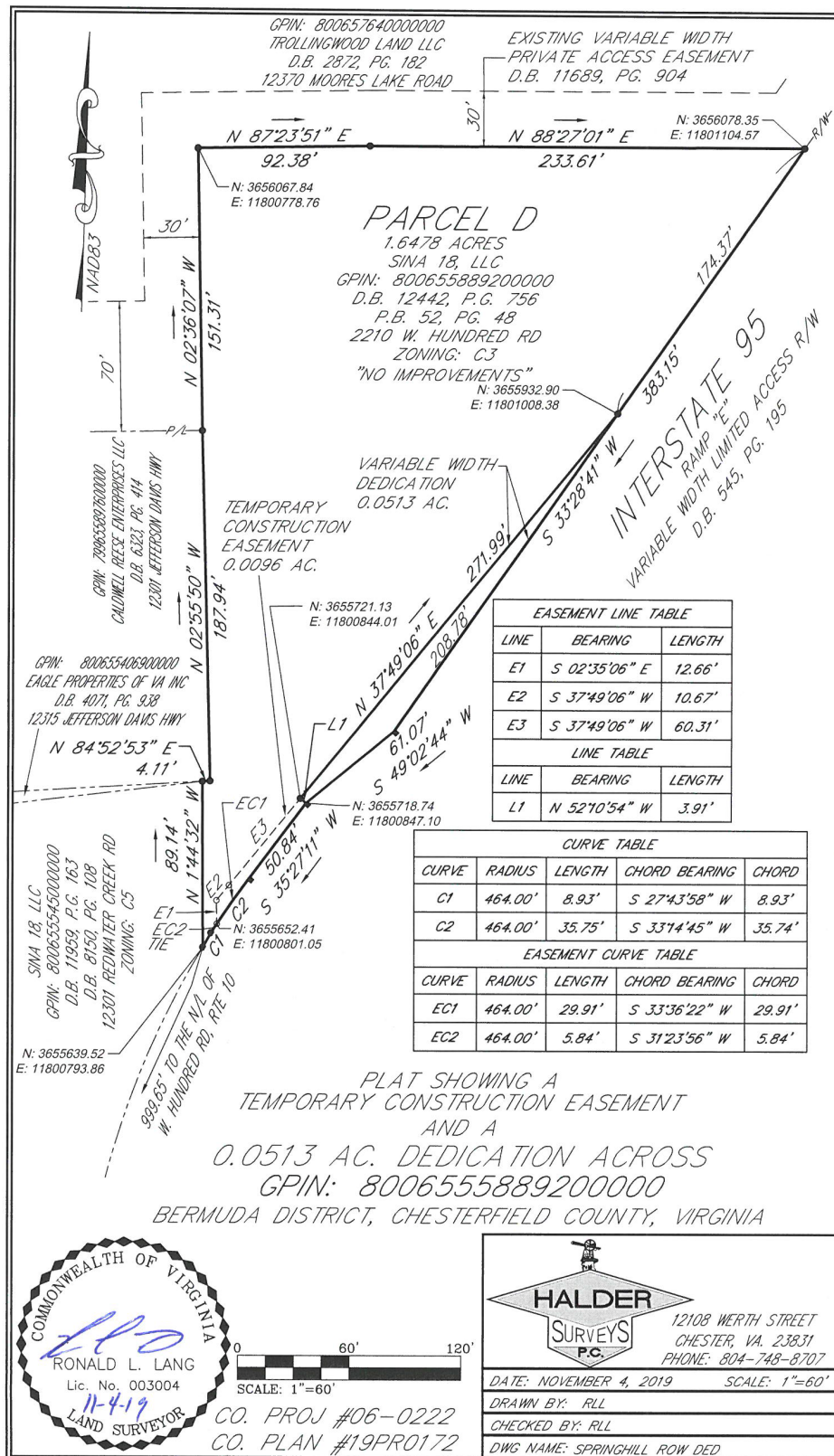
Acceptance of a Parcel of Land Along Interstate 95 from Sina18, LLC



1 inch = 583 feet



[DutyJ 11/26/2019]





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.a.5.

Subject:

Along Courthouse Road and Newbys Bridge Road from Banner Christian School

Board Action Requested:

Accept the conveyance of 4 parcels of land containing a total of 1.603+/- acres along Courthouse Road and Newbys Bridge Road from Banner Christian School and authorize the County Administrator to execute the deed.

Summary of Information:

Staff requests that the Board of Supervisors accept the conveyance of 4 parcels of land containing a total of 1.603+/- acres along Courthouse Road and Newbys Bridge Road from Banner Christian School. This conveyance is for the development of Banner Christian School Recreation Field and has been reviewed by the site plan team.

Approval is recommended.

District: Dale

Attachments:

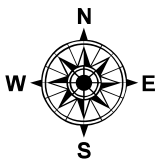
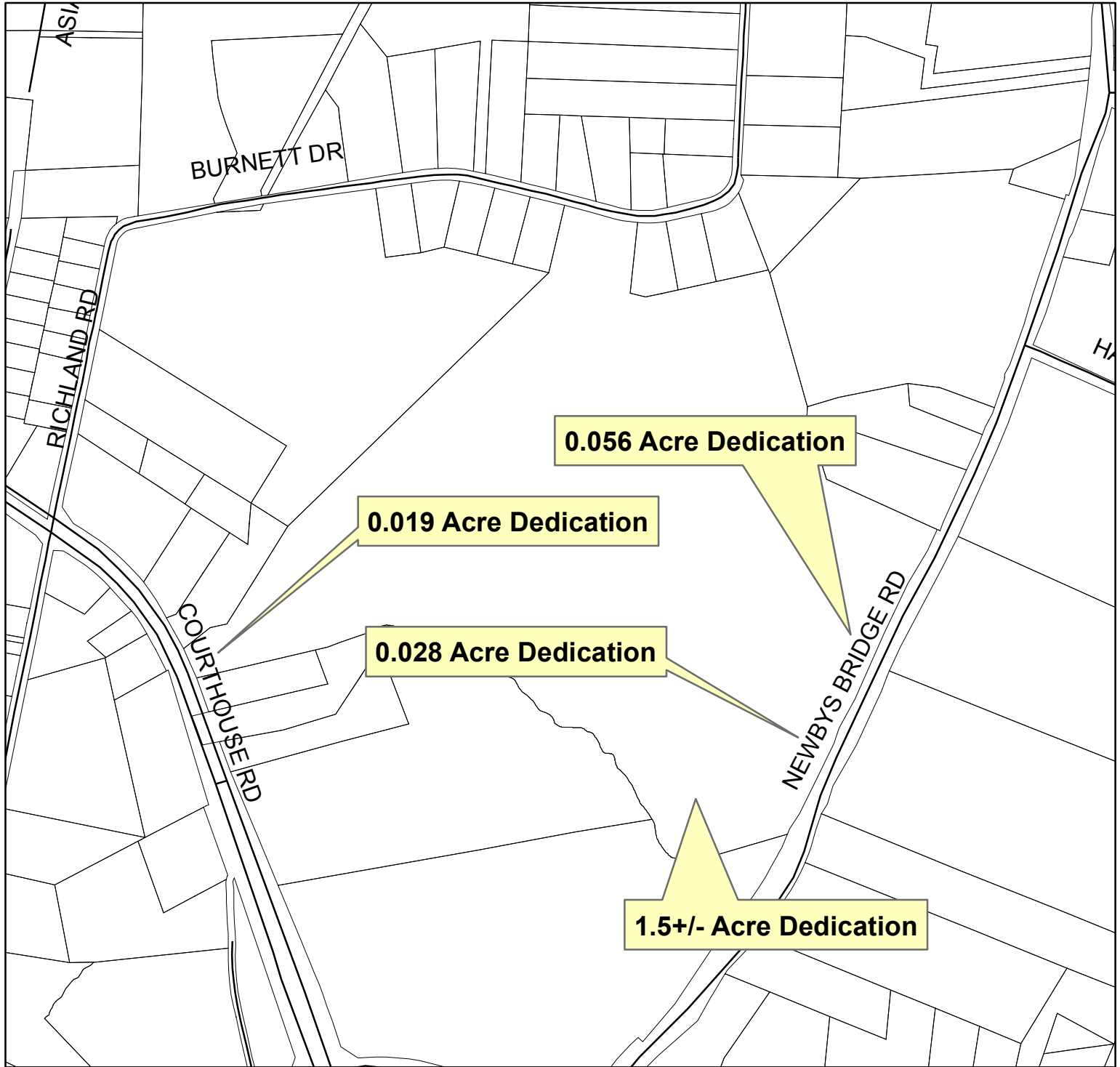
1. banner christian rw
2. Banner rwPlat-1
3. banner rw plat 3
4. banner rw plat 2

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

Acceptance of Parcels of land along Courthouse Road and Newbys Bridge Road from Banner Christian School



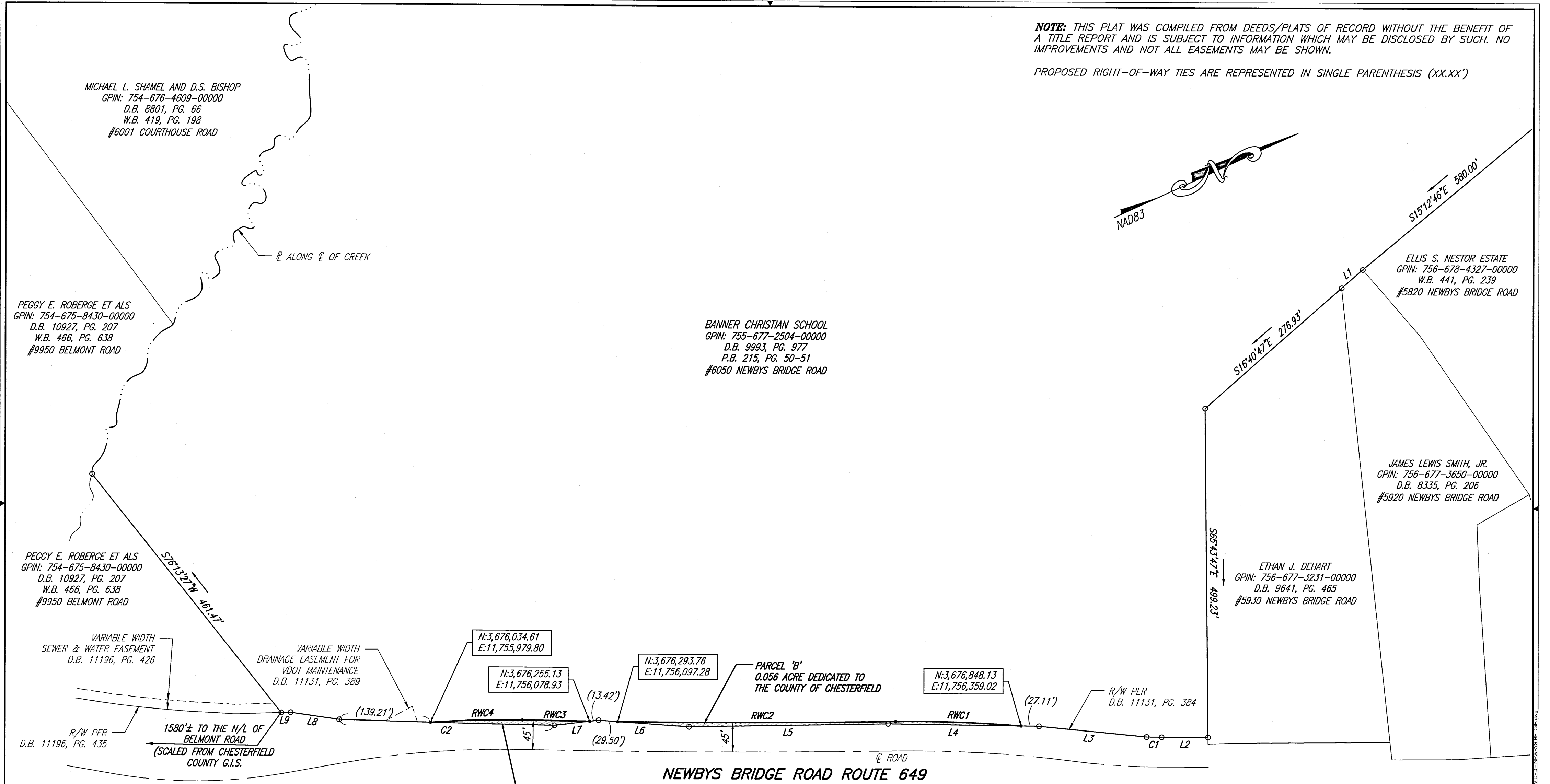
1 inch = 583 feet



[Duty] 11/26/2019

NOTE: THIS PLAT WAS COMPILED FROM DEEDS/PLATS OF RECORD WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO INFORMATION WHICH MAY BE DISCLOSED BY SUCH. NO IMPROVEMENTS AND NOT ALL EASEMENTS MAY BE SHOWN.

PROPOSED RIGHT-OF-WAY TIES ARE REPRESENTED IN SINGLE PARENTHESIS (XX.XX')



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S16°53'10"E	42.80'
L2	S25°02'21"W	70.61'
L3	S30°24'47"W	164.29'
L4	S25°37'32"W	229.41'
L5	S23°47'01"W	302.51'
L6	S28°46'18"W	138.06'
L7	S17°59'53"W	67.61'
L8	S33°06'07"W	74.59'
L9	S22°58'40"W	14.15'

RIGHT-OF-WAY CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
RWC1	1950.00'	191.00'	S26°42'53"W	190.92'	5°36'43"
RWC2	16954.90'	422.24'	S24°37'20"W	422.23'	1°25'37"
RWC3	16954.90'	102.15'	S25°39'10"W	102.15'	0°20'43"
RWC4	1495.00'	139.74'	S23°08'50"W	139.69'	5°21'20"

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	1095.00'	22.77'	S25°38'06"W	22.77'	1°11'29"
C2	16962.50'	327.21'	S26°13'35"W	327.20'	1°06'19"



CO. SITE PLAN #18PR0191
CO. PROJECT #13-0112

COMPILED PLAT SHOWING
TWO PARCELS CONTAINING 0.084 ACRE OF LAND
BEING PORTIONS OF GPIN: 755-677-2504-00000 TO
BE DEDICATED TO THE COUNTY OF CHESTERFIELD
DALE DISTRICT
CHESTERFIELD COUNTY, VIRGINIA

PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.cc

DATE: 10-25-2019
SCALE: 1" = 100'
JOB: 53150076.00
DRAWN BY: WRL
CHECKED BY: CMF
SHEET 1 OF 1



CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	16962.50'	327.21'	N26°13'35"E	327.20'	1°06'19"

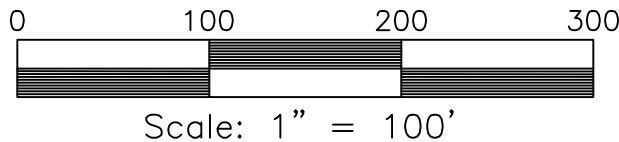
LINE TABLE		
LINE	BEARING	DISTANCE
L1	S28°46'18"W	138.06'
L2	S17°59'53"W	67.61'
L3	S33°06'07"W	74.59'
L4	N22°58'40"E	14.15'

RIGHT-OF-WAY LINE TABLE		
LINE	BEARING	DISTANCE
RWL1	S73°55'15"W	44' ±
RWL2	N73°55'15"E	48' ±

RIGHT-OF-WAY CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
RWC1	884.00'	625.64'	N85°48'14"W	612.67'	40°33'02"
RWC2	974.00'	692.74'	S85°42'14"E	678.23'	40°45'03"

NOTE: THIS PLAT WAS COMPILED FROM DEEDS/PLATS OF RECORD WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO INFORMATION WHICH MAY BE DISCLOSED BY SUCH. NO IMPROVEMENTS AND NOT ALL EASEMENTS MAY BE SHOWN.

PROPOSED RIGHT-OF-WAY TIES ARE REPRESENTED IN SINGLE PARENTHESIS (XX.XX')



CO. SITE PLAN #18PR0191
CO. PROJECT #13-0112

COMPILED PLAT SHOWING
1.5± ACRES OF LAND TO BE
DEDICATED TO CHESTERFIELD COUNTY,
BEING A PORTION OF GPIN: 755-677-2504-00000

DALE DISTRICT
CHESTERFIELD COUNTY, VIRGINIA

PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.cc

DATE: 11-13-2019
SCALE: 1" = 100'
JOB: 53150076.00
DRAWN BY: JRG
CHECKED BY: CMF
SHEET 1 OF 1



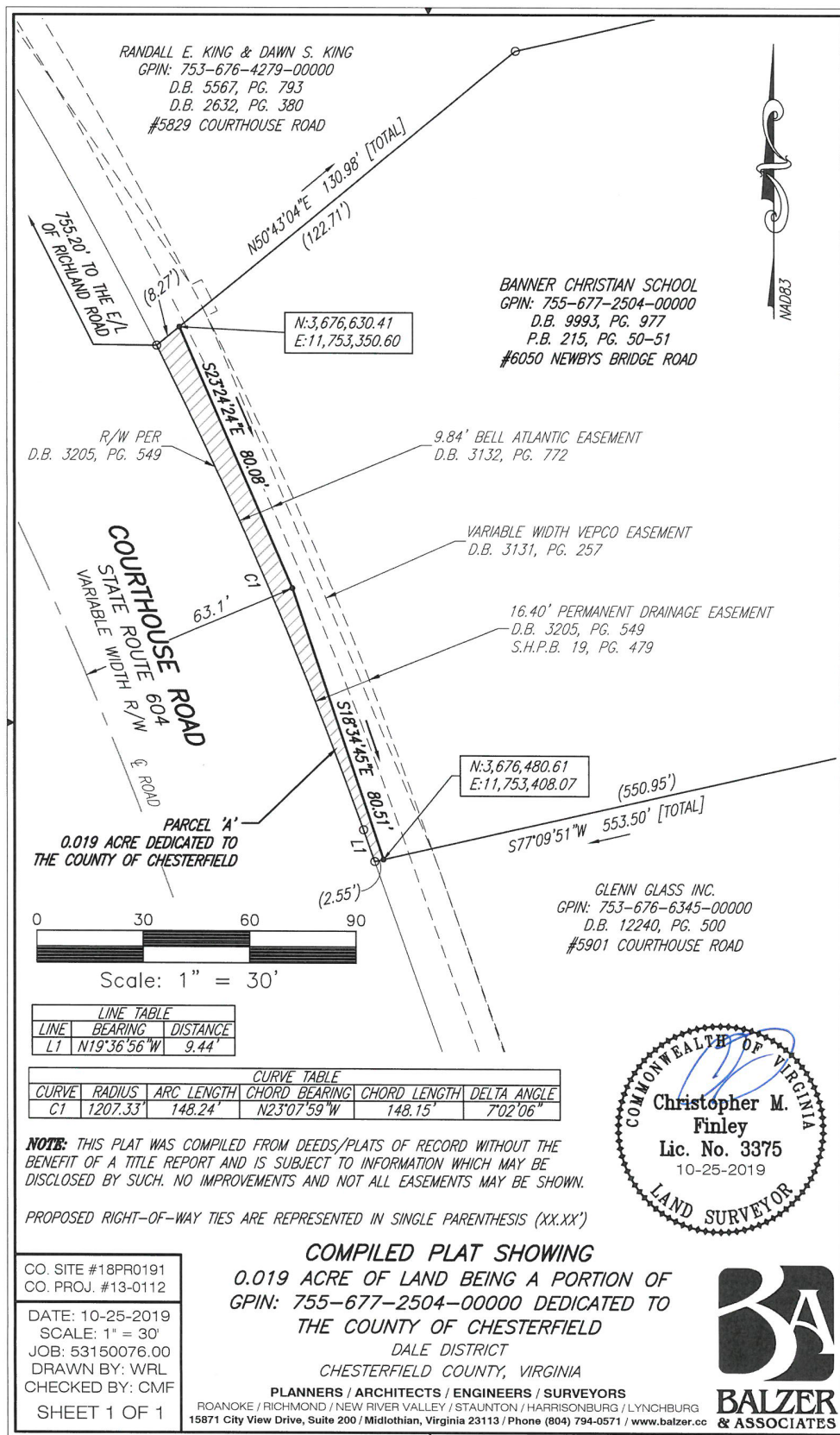
PEGGY E. ROBERGE
FRANK H. HARPER, TRUSTEE
STEPHEN M. STELLS
WILLIAM R. CAWTHORN
CEAN W. CAWTHORN
GPIN: 754-675-8430-00000
D.B. 10927, PG. 207
D.B. 776 PG. 67
D.B. 1994 PG. 1532
W.B. 466, PG. 638
W.B. 247 PG. 204
W.B. 277 PG. 794
#9950 BELMONT ROAD

MICHAEL L. SHAMEL AND DIANE S. BISHOP
GPIN: 754-676-4609-00000
D.B. 8801, PG. 66
W.B. 419, PG. 198
#6001 COURTHOUSE ROAD

BANNER CHRISTIAN SCHOOL
GPIN: 755-677-2504-00000 PART
D.B. 9993, PG. 977
P.B. 215, PG. 50-51
#6050 NEWBYS BRIDGE ROAD
2.6± ACRES

PARCEL "A"
1.5± ACRE DEDICATED TO THE
COUNTY OF CHESTERFIELD

BANNER CHRISTIAN SCHOOL
GPIN: 755-677-2504-00000 PART
D.B. 9993, PG. 977
P.B. 215, PG. 50-51
#6050 NEWBYS BRIDGE ROAD
90.5± ACRES





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.a.6.

Subject:

Along Center Pointe Parkway from RP2B, LLC

Board Action Requested:

Accept the conveyance of a parcel of land containing 2.336 acres along Center Pointe Parkway from RP2B, LLC and authorize the County Administrator to execute the deed.

Summary of Information:

Staff requests that the Board of Supervisors accept the conveyance of a parcel of land containing 2.336 acres along Center Pointe Parkway from RP2B, LLC. This conveyance is for the development of Center Pointe Parkway Road Improvements and has been reviewed by the site plan team.

Approval is recommended.

District: Clover Hill

Attachments:

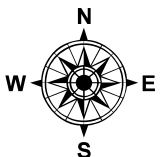
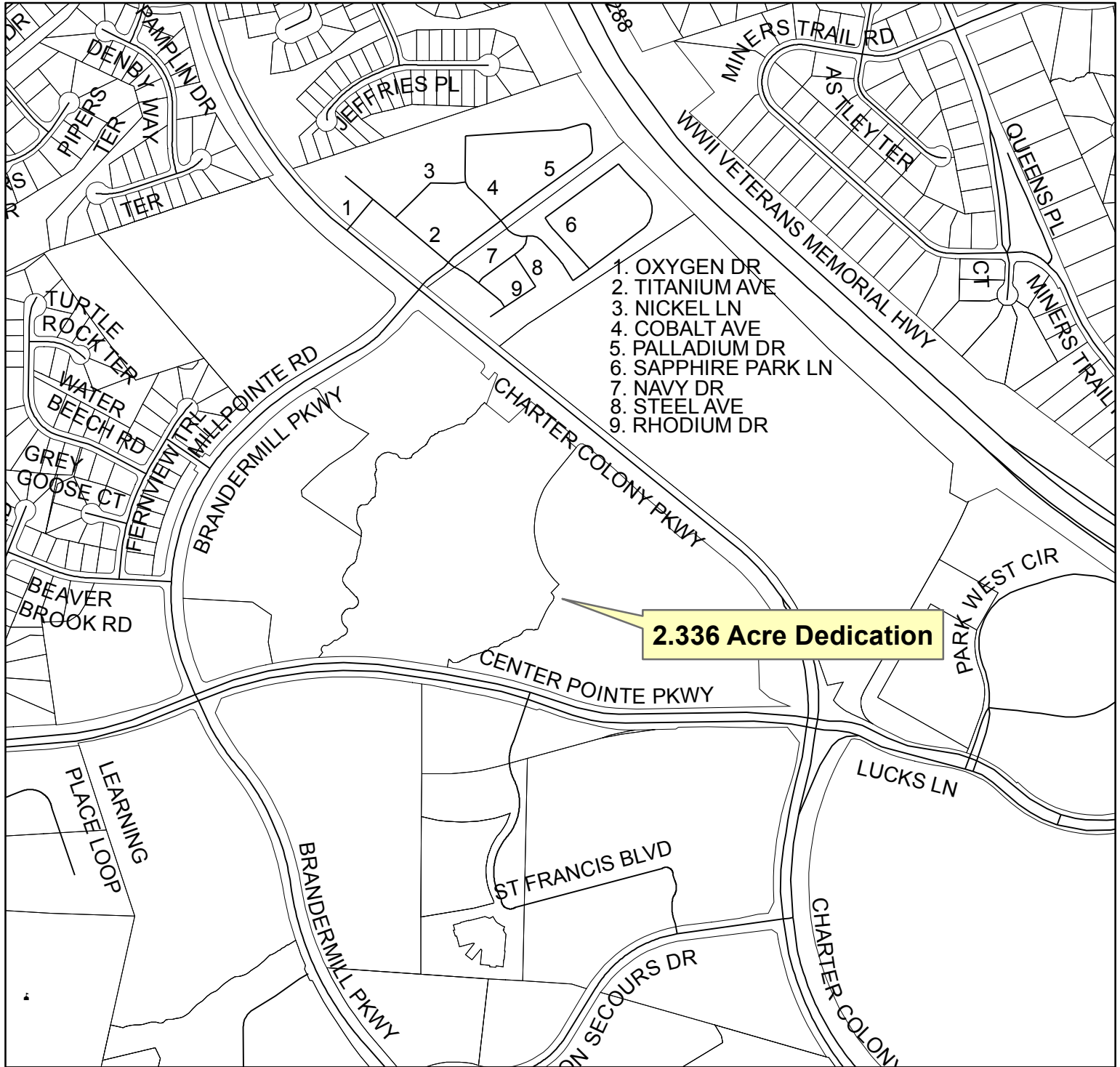
1. RP2b ded
2. RP2B Plat-1

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

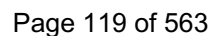
Acceptance of a Parcel of Land Along Center Pointe Parkway from RP2B, LLC



1 inch = 667 feet



[DutyJ 01/07/2020]





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.a.7.

Subject:

Adjacent to Charter Colony Parkway from Commonwealth Foundation for Cancer Research

Board Action Requested:

Accept the conveyance of a parcel of land containing 1.110 acres adjacent to Charter Colony Parkway from Commonwealth Foundation for Cancer Research and authorize the County Administrator to execute the deed.

Summary of Information:

Staff requests that the Board of Supervisors accept the conveyance of a parcel of land containing 1.110 acres adjacent to Charter Colony Parkway from Commonwealth Foundation for Cancer Research. This conveyance is for the development of Center Pointe Parkway Road Improvements and has been reviewed by the site plan team.

Approval is recommended.

District: Clover Hill

Attachments:

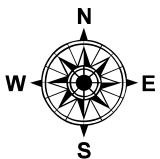
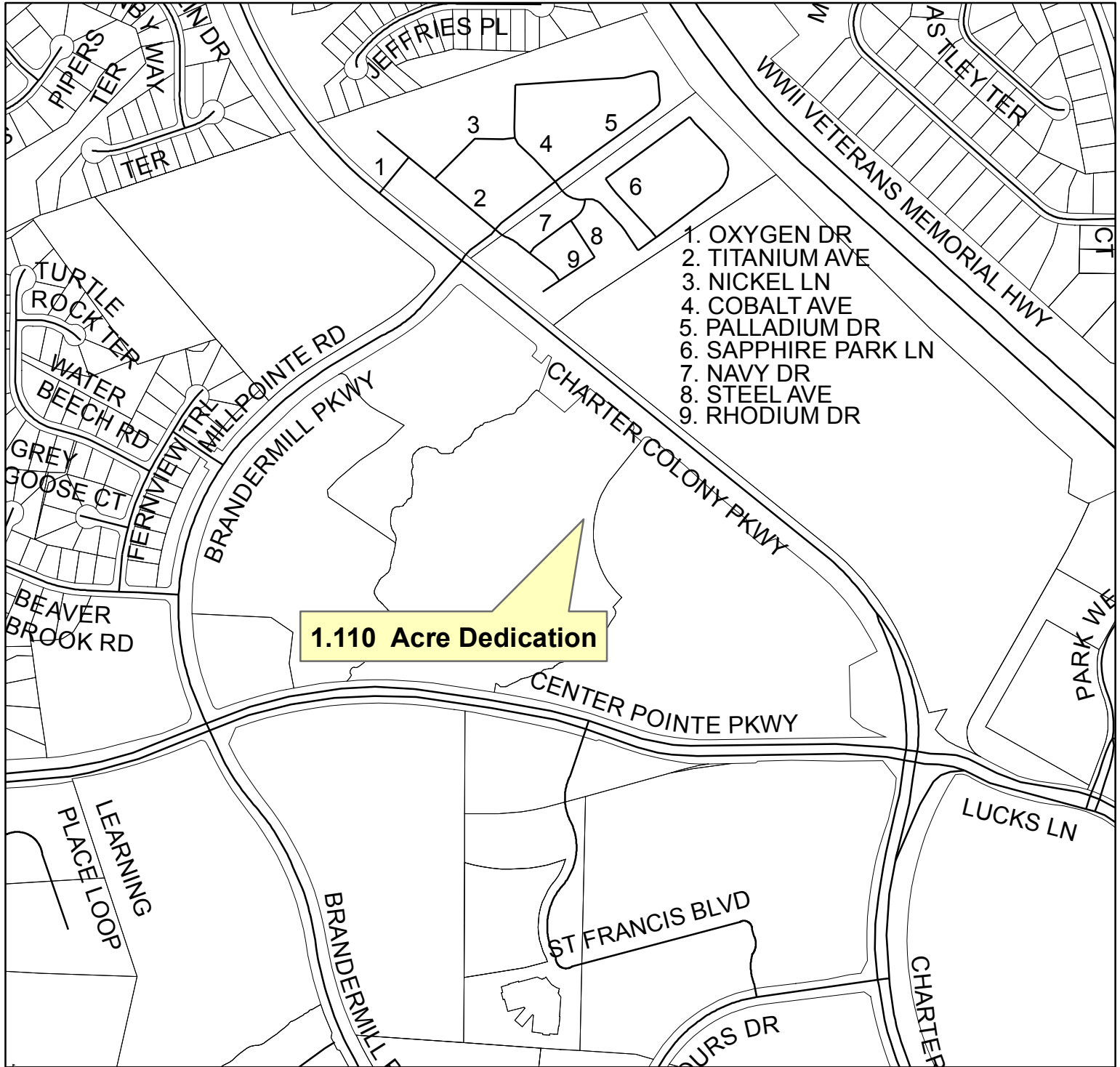
1. commonwealth found dedication
2. Comm Fund Plat-1

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

Acceptance of a Parcel of Land Adjacent to Charter Colony Parkway from Commonwealth Foundation for Cancer Research



1 inch = 583 feet



[DutyJ 01/07/2020]





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.b.1.

Subject:

Conveyance of an Easement to Columbia Gas of Virginia, Inc. for the Chester Center for the Arts

Board Action Requested:

Authorize the Chairman of the Board of Supervisors and the County Administrator to execute an agreement with Columbia Gas of Virginia, Inc., for conveyance of an easement for gas service to the Chester Center for the Arts.

Summary of Information:

Staff recommends that the Board of Supervisors authorize the Chairman of the Board of Supervisors and the County Administrator to execute an agreement with Columbia Gas of Virginia, Inc., for conveyance of an easement for gas service to the Chester Center for the Arts. This request has been reviewed by county staff.

Approval is recommended.

DISTRICT: Bermuda

Attachments:

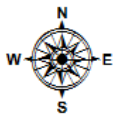
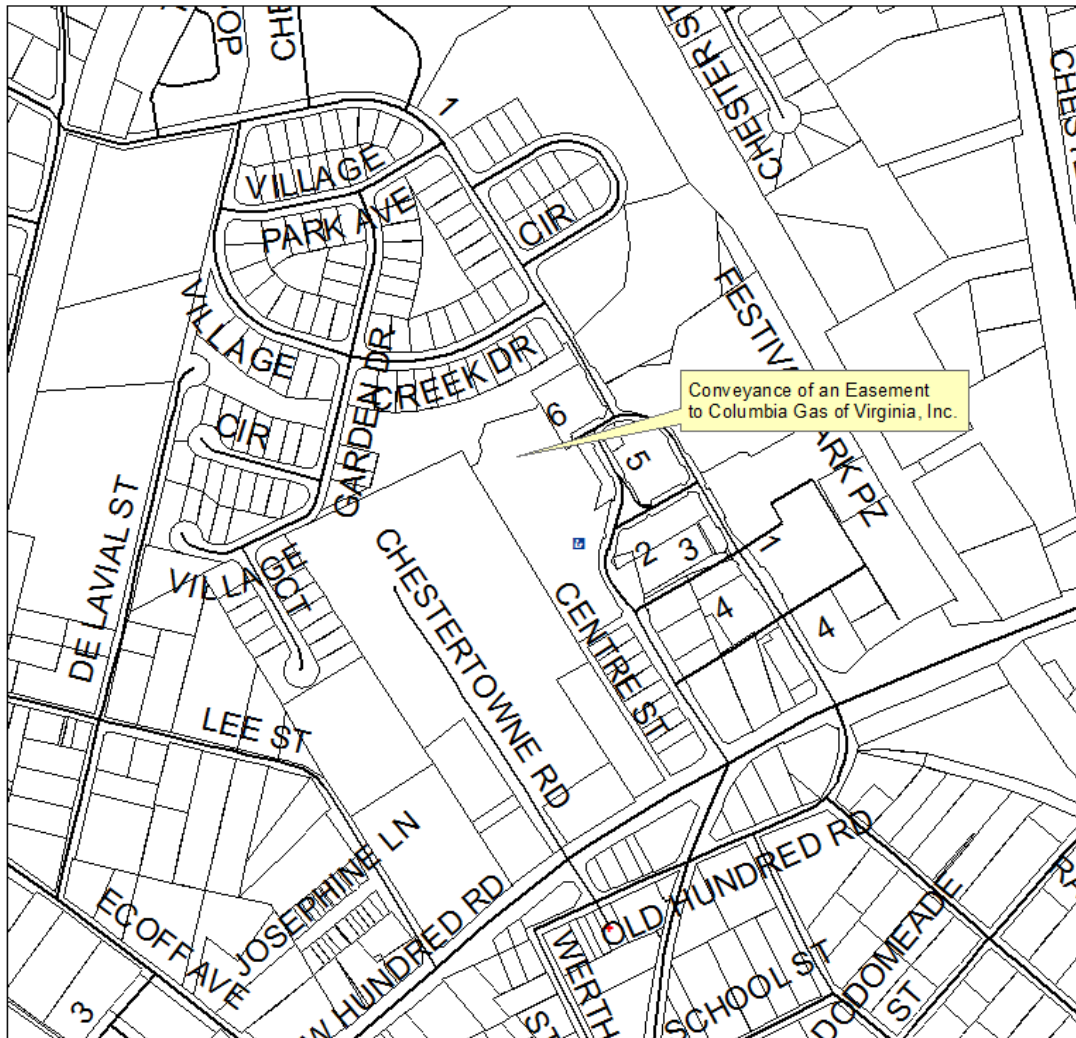
1. Columbia Gas Chester Arts Center
2. Chester Arts Center Columbia Gas

Preparer:

Approved By:

VICINITY SKETCH

Conveyance of an Easement to Columbia Gas of Virginia, Inc.

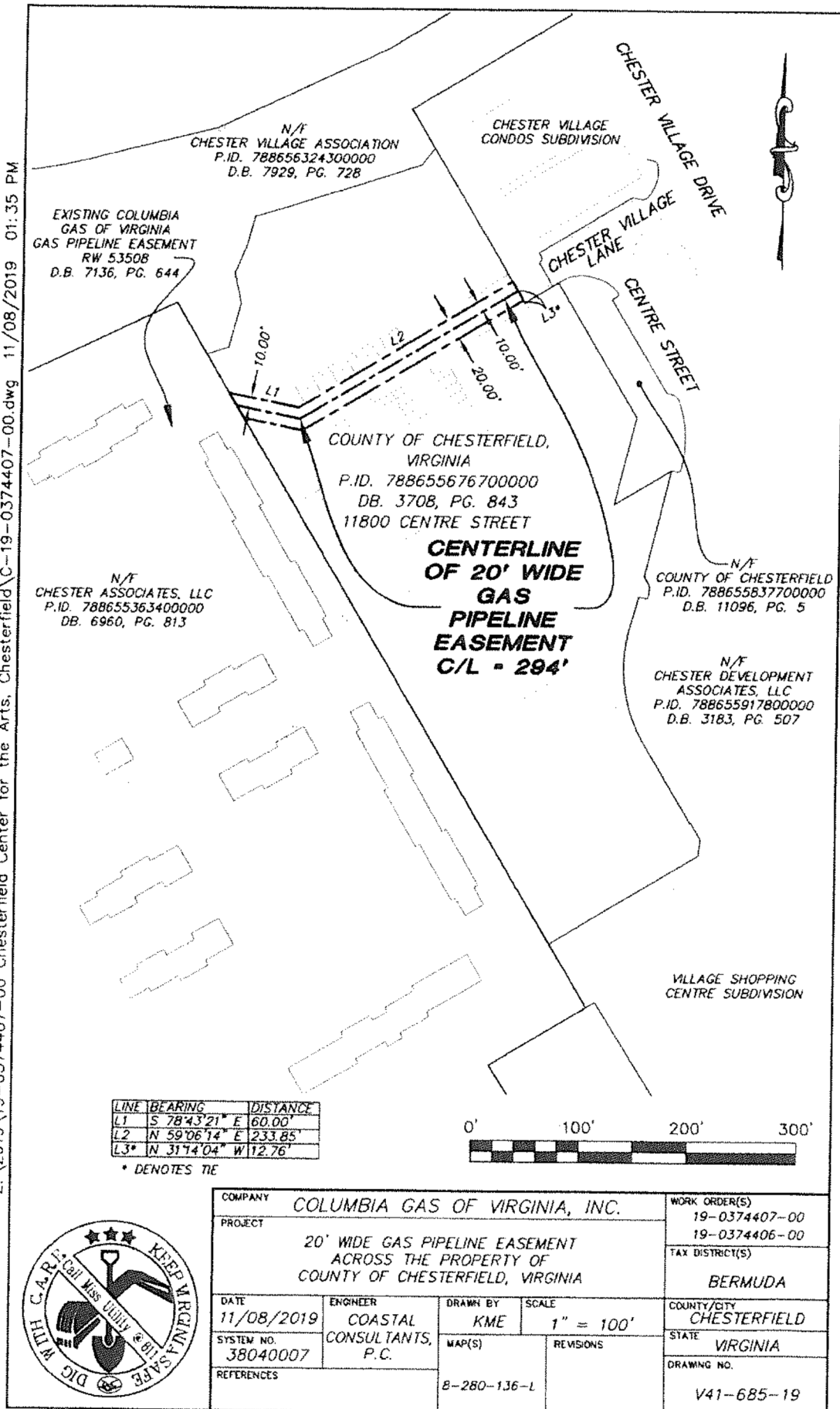


1 inch = 417 feet



[Coursons 12/18/2019]

Z:\2019\19-0374407-00 Chesterfield Center for the Arts, Chesterfield\19-0374407-00.dwg 11/08/2019 01:35 PM





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.c.1.

Subject:

Request to Quitclaim a Portion of a Variable Width Temporary Reduced Imperviousness BMP Easement Across the Property of Woodlands Real Estate, LLC

Board Action Requested:

Authorize the Chairman of the Board of Supervisors and the County Administrator to execute a quitclaim deed to vacate a portion of a variable width temporary reduced imperviousness BMP easement across the property of Woodlands Real Estate, LLC

Summary of Information:

Woodlands Real Estate, LLC has requested the vacation of a portion of a variable width temporary reduced imperviousness BMP easement across its property as shown on the attached plat. This request has been reviewed by Environmental Engineering and is needed for the development of Virginia Physicians for Women-Koger Center Office.

Approval is recommended.

District: Midlothian

Attachments:

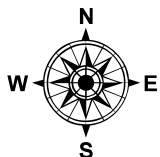
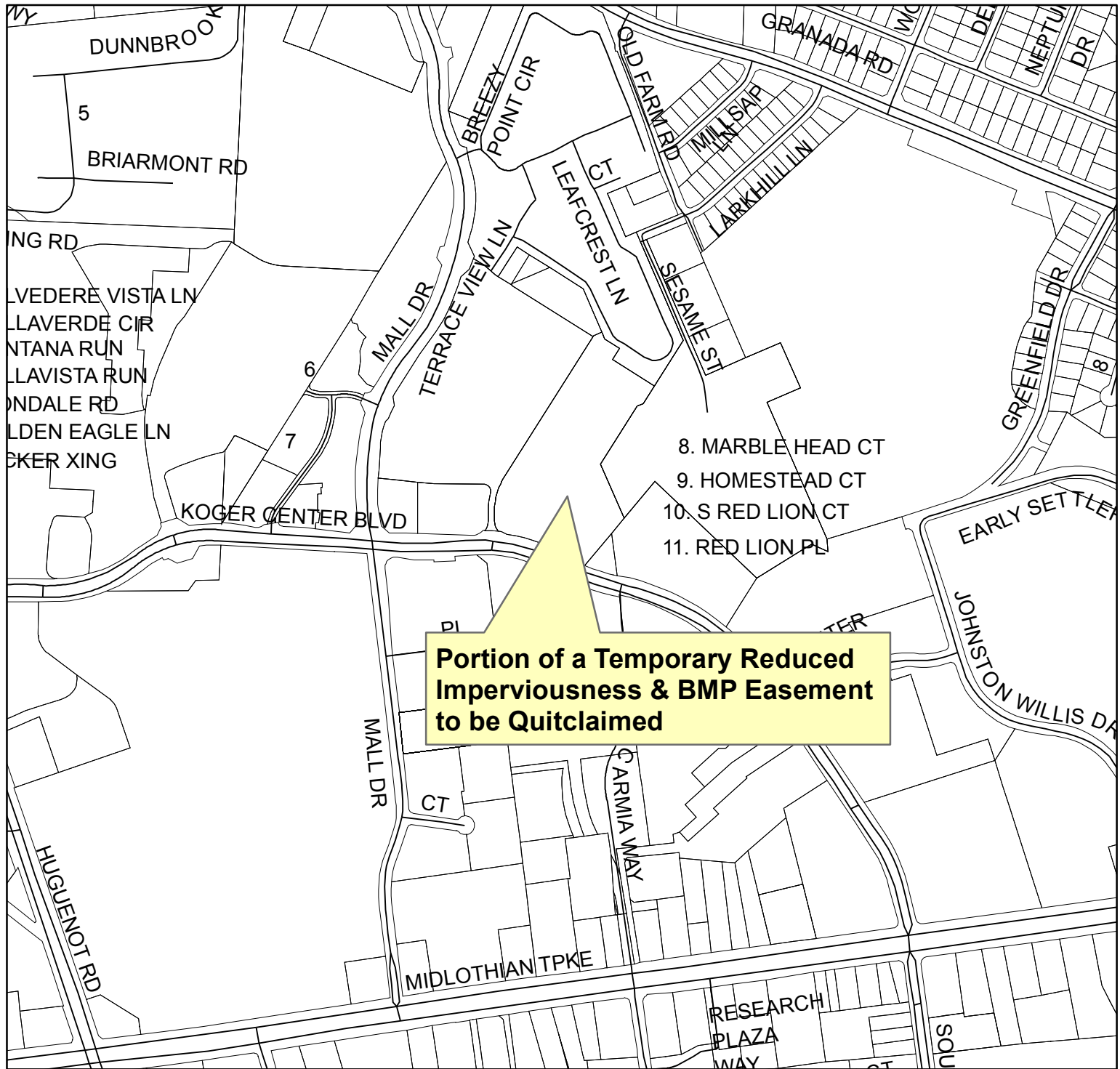
1. woodlands sketch
2. Woodlands Plat-1

Preparer: John Harmon, Real Property Manager

Approved By:



VICINITY SKETCH
Request to Quitclaim a Portion of a Variable
Width Temporary Reduced Imperviousness
BMP Easement Across the Property of Woodlands
Real Estate, LLC



1 inch = 667 feet



[Duty] 01/07/2020

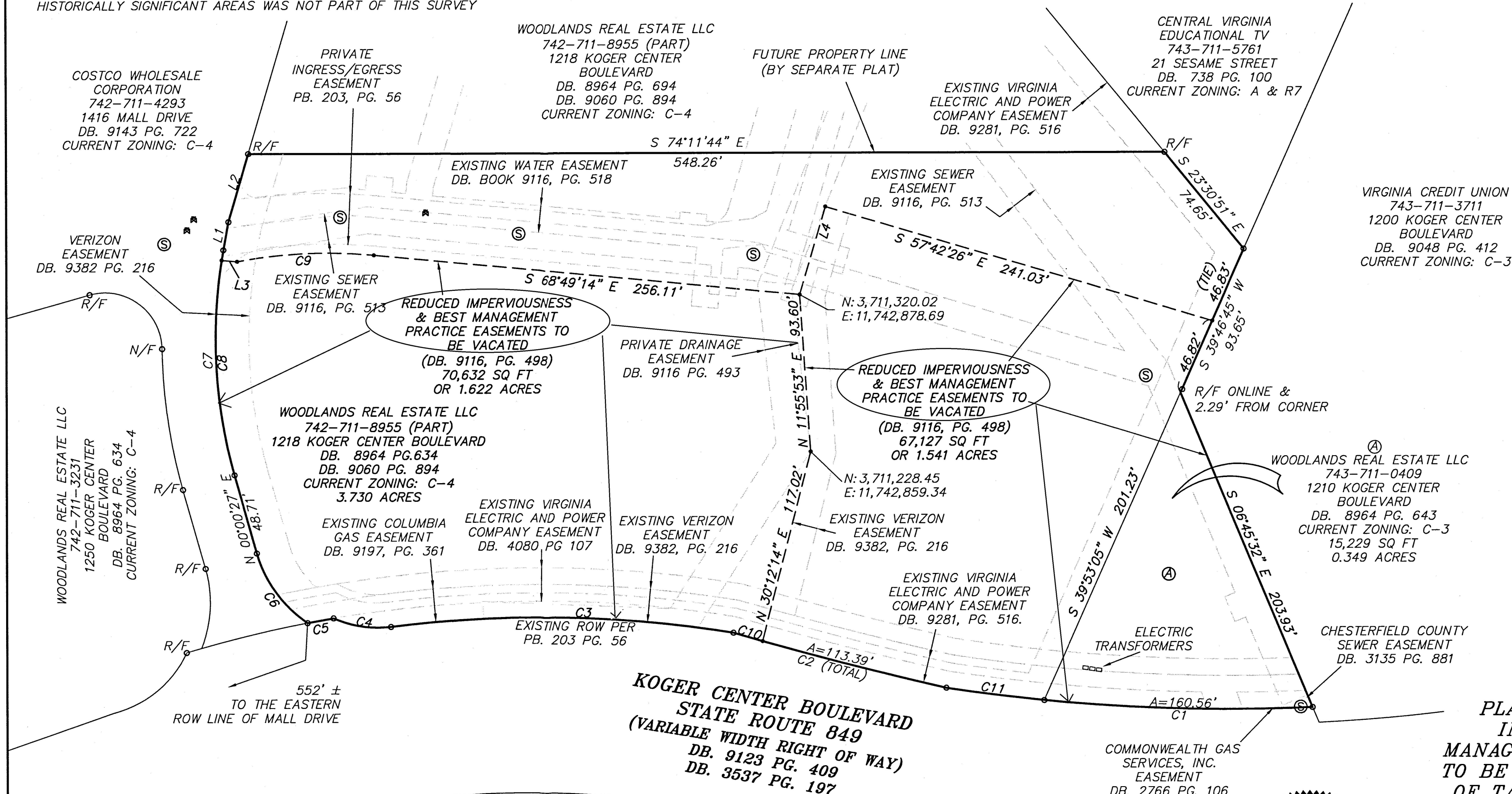
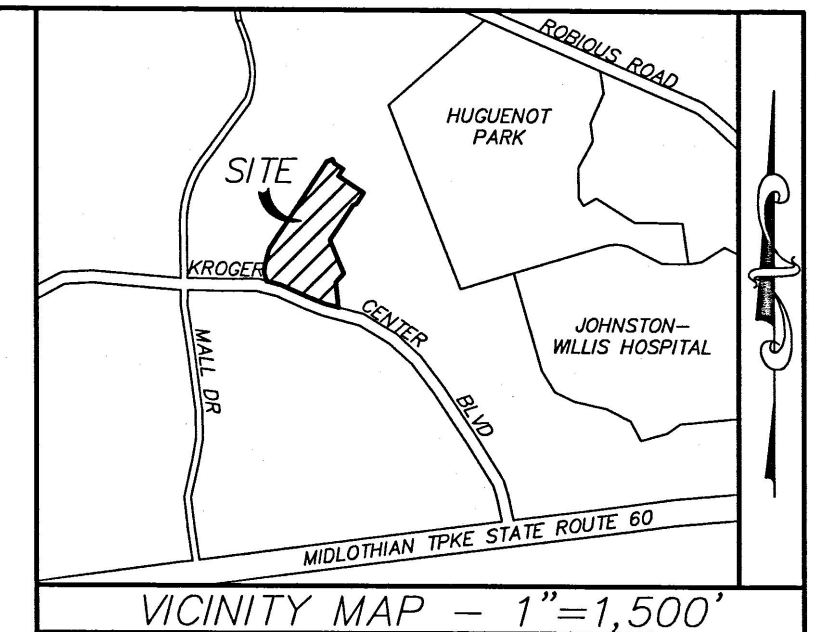
GENERAL NOTES

1. THIS PLAT WAS MADE WITH THE BENEFIT OF A TITLE COMMITMENT FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO. NCS-954063-VA54, EFFECTIVE DATE OF APRIL 15TH, 2019 @ 8:00AM
2. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE "X" AS DETERMINED BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 5100350040, WITH AN EFFECTIVE DATE OF DECEMBER 18TH, 2012.
3. THIS PROPERTY HAS DIRECT ACCESS TO KOGER CENTER BOULEVARD A PUBLICLY DEDICATED STREET OR HIGHWAY.
4. THE PROPERTY SHOWN HEREON COMPRISES OF A PORTION OF A TAX LOT 742-711-8955 AS WELL AS TAX PARCEL 743-711-0409 IN ITS ENTIRETY.
5. COORDINATES SHOWN HEREON ARE BASED ON THE VIRGINIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE AND WERE OBTAINED ON SEPTEMBER 30TH, 2019
6. THE DETERMINATION OF THE PRESENCE OF WETLANDS AND/OR ENVIRONMENTALLY SENSITIVE OR HISTORICALLY SIGNIFICANT AREAS WAS NOT PART OF THIS SURVEY

I, SCOTT L. WILLIAMS A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT THE PROPERTY DELINEATED BY THIS PLAT, IS NOW AT DEED BOOK 8964 PG 634 AMONG THE LAND RECORDS OF CHESTERFIELD COUNTY, VIRGINIA.

THIS PLAT SHOWING A PORTION OF PARCEL 742-711-8955 LOCATED IN THE COUNTY OF CHESTERFIELD VIRGINIA WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF SCOTT L. WILLIAMS, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED DURING THE MONTH OF SEPTEMBER, 2019 AND THAT THIS PLAT MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED

SCOTT L. WILLIAMS, L.S. #003184
DATE 12/30/19



LEGEND	
POB	POINT OF BEGINNING
DI	DROP INLET
⊙	DRAINAGE MANHOLE
⊠	ELECTRIC TRANSFORMER
⊞	GAS VALVE
UV	UNDERGROUND VAULT
⊙	SANITARY SEWER MANHOLE
⊞	ELECTRIC METER
R/S	ROD SET
R/F	ROD FOUND
N/F	NAIL FOUND
—	SIGN
—	OVERHEAD UTILITY LINES
⊠	TELEPHONE PEDESTAL
⊞	FIRE HYDRANT
⊞	WATER VALVE
WV	WATER VAULT

PLAT SHOWING TWO REDUCED IMPERVIOUSNESS & BEST MANAGEMENT PRACTICE EASEMENTS TO BE VACATED ACROSS A PORTION OF TAX PARCELS 742-711-8955 & 743-711-0409

CHESTERFIELD COUNTY, VIRGINIA
SCALE: 1" = 50'
DECEMBER 30TH, 2019

Townes
SITE ENGINEERING

1 PARK WEST CIRCLE, SUITE 108
MIDLOTHIAN, VIRGINIA 23114
PHONE: (804) 748-9011 FAX: (804) 748-2590

CHECKED BY: SHEET 1 OF 1

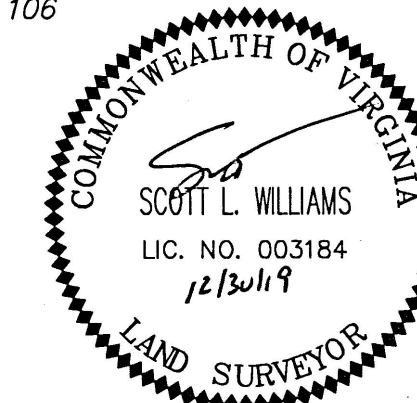
COUNTY PROJ# 2019-0275

COUNTY SITE# 20PR0177

DRAWN BY: SLW

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1109.58'	219.53'	219.17'	S 71°01'45" E	11°20'09"
C2	2314.16'	131.53'	131.51'	N 59°30'23" W	3°15'23"
C3	726.64'	205.81'	205.12'	S 73°04'04" E	16°13'41"
C4	65.00'	35.08'	34.66'	N 65°43'06" W	30°55'37"
C5	736.64'	15.78'	15.78'	N 84°23'41" W	1°13'39"
C6	75.00'	52.67'	51.59'	N 20°06'34" W	40°14'02"
C7	297.00'	135.15'	133.99'	S 13°05'21" W	26°04'24"
C8	297.00'	128.91'	127.90'	N 12°29'12" E	24°52'06"
C9	295.00'	82.21'	81.94'	S 76°48'15" E	15°58'01"
C10	2314.16'	18.14'	18.14'	S 58°06'10" E	0°26'57"
C11	1109.58'	58.97'	58.96'	S 66°53'01" E	3°02'41"

LINE	BEARING	DISTANCE
L1	N 26°04'52" E	17.17'
L2	N 32°18'01" E	42.19'
L3	S 69°39'53" E	9.21'
L4	N 32°17'34" E	54.60'



PROJ.# 20190041



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.2.d.1.

Subject:

To Install a Private Water Service Within a Private Easement to Serve Property at 6050 Newbys Bridge Road

Board Action Requested:

Grant Banner Christian School permission to install a private water service within a private easement and authorize the County Administrator to execute the water connection agreement.

Summary of Information:

Banner Christian School has requested permission to install a private water service within a private easement to serve property at 6050 Newbys Bridge Road. This request has been reviewed by the Utilities Department.

Approval is recommended.

District: Dale

Attachments:

1. banner christ water exc
2. 2019-11-13 Banner Christian WATERLINE EASEMENT

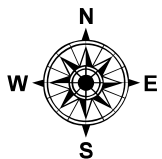
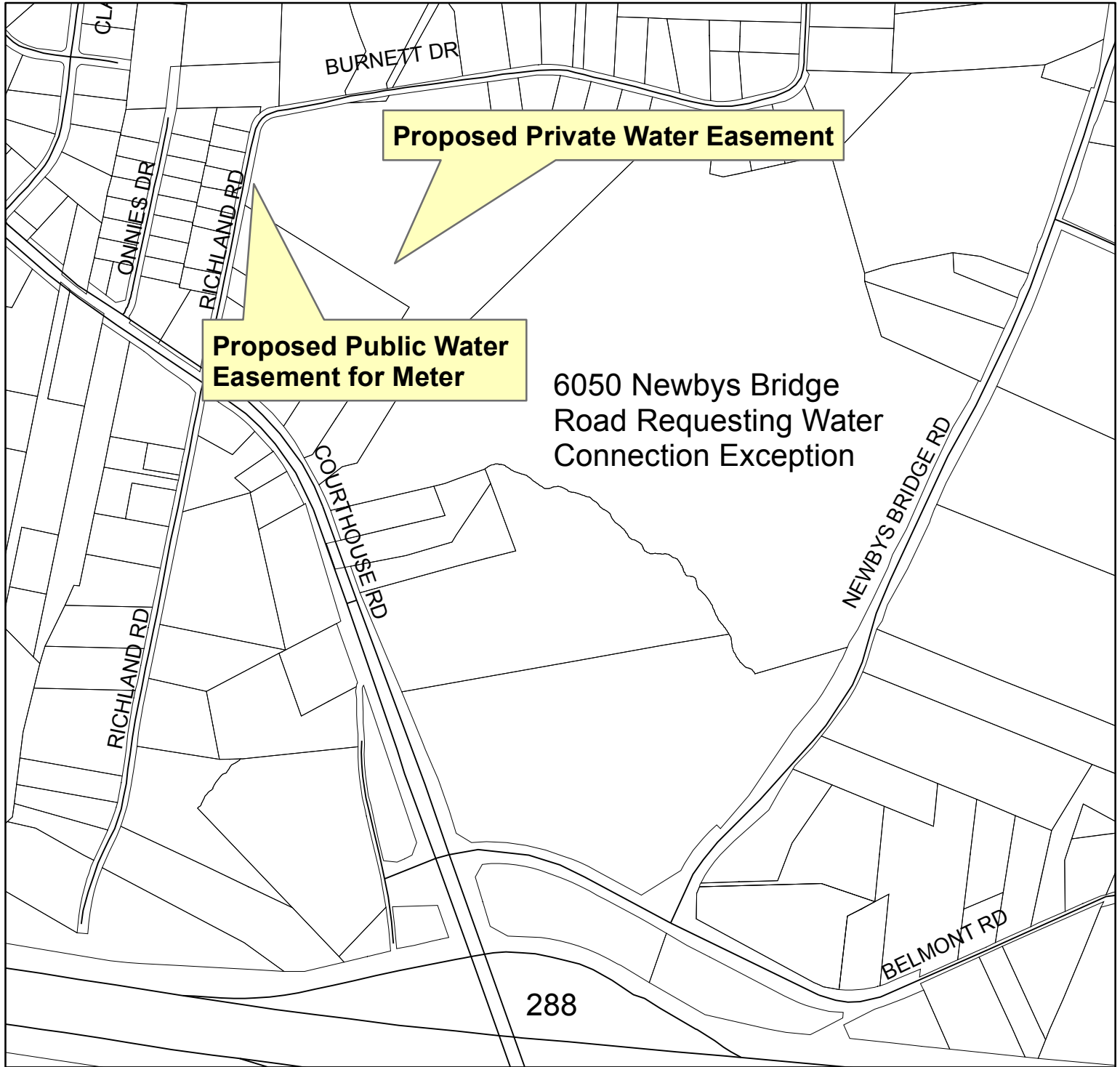
Preparer: John Harmon, Real Property Manager

Approved By:

A handwritten signature in black ink, appearing to be "John Harmon", is written over a horizontal line.

VICINITY SKETCH

Request Permission to Install a Private Water
Service Within a Private Easement to Serve
Property at 6050 Newbys Bridge Road



1 inch = 667 feet



[DutyJ 11/26/2019]

RICHARD R. HART, III
GPIN: 754-678-3843
D.B. 11500, PG. 464
#9601 BURNETT DRIVE

JOYCE & NOEL CAREY
GPIN: 754-678-2438
D.B. 12477, PG. 307
#9611 BURNETT DRIVE

N:3,678,522.40
E:11,754,146.94

N:3,678,171.88
E:11,753,807.59

9720 CHELSEA PROPERTIES LLC
GPIN: 753-678-6243-00000
D.B. 11955, PG. 992
#9707 BURNETT DRIVE

BURNETT DRIVE 743
STATE ROUTE 743
VARIABLE WIDTH R/W
D.B. 1000 PG. 716

N:3,678,413.55
E:11,753,431.56

N:3,677,925.53
E:11,753,539.07

N:3,677,567.21
E:11,753,580.13

BRIAN F. JOHNSON
GPIN: 753-677-3256
D.B. 12353, PG. 81
#5601 RICHLAND ROAD

BANNER CHRISTIAN SCHOOL
GPIN: 755-677-2504-00000
D.B. 9993, PG. 977
P.B. 215, PG. 50-51
#6050 NEWBYS BRIDGE ROAD

N:3,677,194.90
E:11,753,865.52

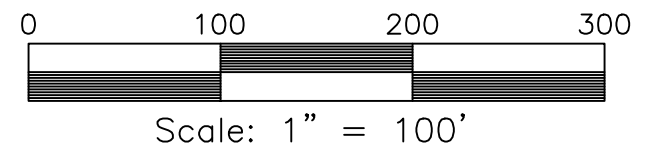
N/F
RANDALL E. KING
DAWN S. KING
GPIN: 753-676-4279
D.B. 5567, PG. 793
D.B. 2632, PG. 380
P.B. 140, PG. 62
#5829 COURTHOUSE ROAD

N/F
RANDALL E. KING DAWN S. KING
GPIN: 753-677-5217
D.B. 11497, PG. 366
#5815 COURTHOUSE ROAD

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
EL1	S07°50'35"E	300.93'
EL2	S82°09'25"W	312.07'
EL3	S11°16'39"E	499.62'
EL4	S53°22'25"E	20.81'
EL5	S43°22'48"W	42.27'
EL6	N39°01'54"W	29.66'
EL7	N52°02'36"E	27.24'
EL8	N11°16'39"W	501.03'
EL9	S82°09'25"W	475.12'
EL10	S78°25'01"E	10.00'
EL11	S11°34'59"W	10.00'
EL12	N78°25'01"W	10.00'
EL13	S82°17'18"E	8.08'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	83.00'	97.26'	N45°09'10"E	91.79'	67°08'22"
C2	2839.79'	5.17'	N82°08'24"E	5.17'	0°06'16"

EASEMENT CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
EC1	45.00'	70.20'	N26°42'22"E	63.29'	89°22'48"



BANNER CHRISTIAN SCHOOL
GPIN: 753-677-8598
D.B. 7621, PG. 21
P.B. 137, PG. 71
#9721 BURNETT DRIVE

PROPOSED 10'
CEMETERY ACCESS
EASEMENT
6,029 SQ. FT.

VARIABLE WIDTH
VSMP EASEMENT
116,287 SQ. FT.

N:3,678,063.09
E:11,753,017.84

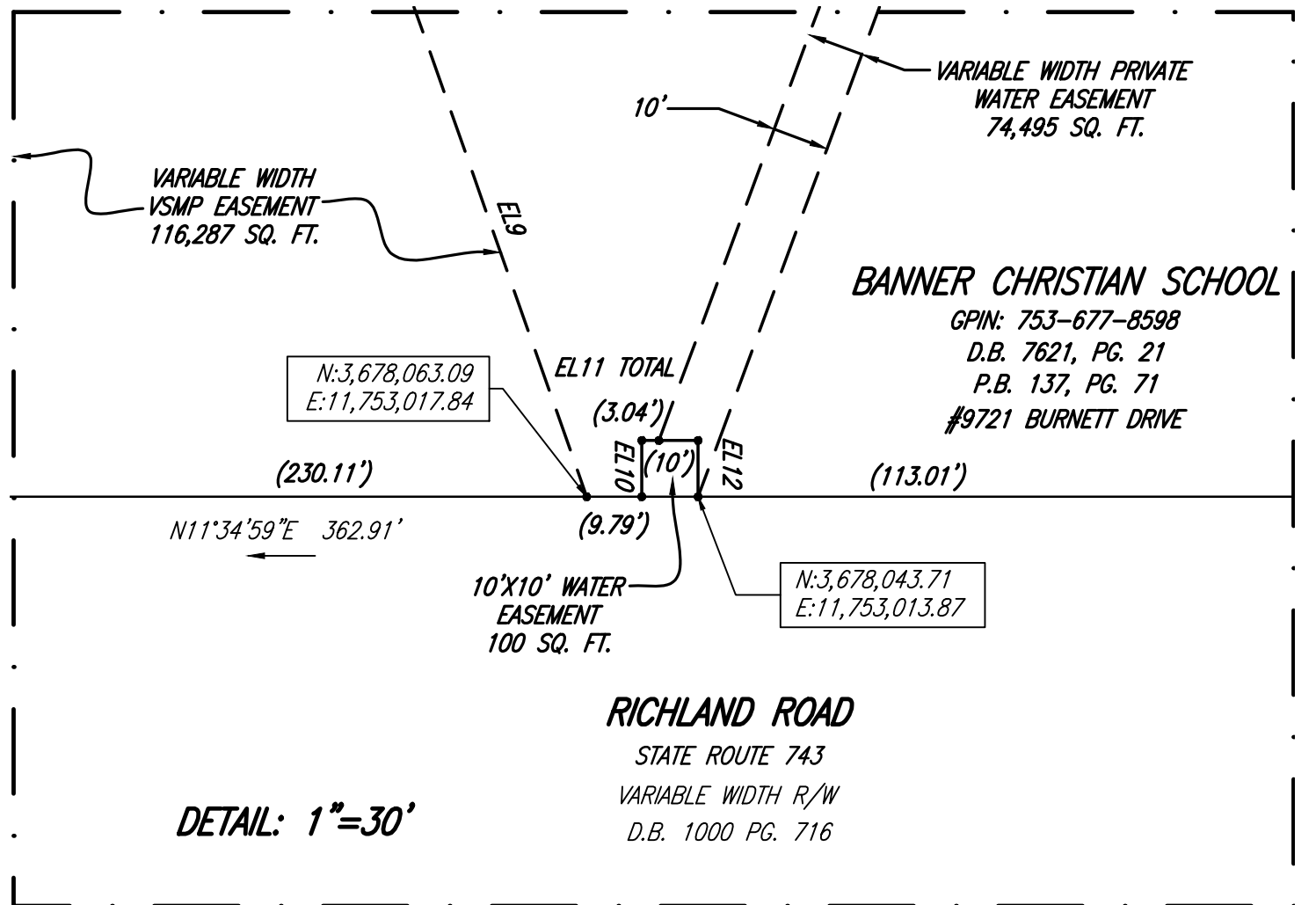
N:3,677,932.99
E:11,752,991.18

RICHLAND ROAD
STATE ROUTE 743
VARIABLE WIDTH R/W
D.B. 1000 PG. 716

NOTE: THIS PLAT WAS COMPILED FROM
DEEDS/PLATS OF RECORD WITHOUT THE
BENEFIT OF A TITLE REPORT AND IS SUBJECT
TO INFORMATION WHICH MAY BE DISCLOSED
BY SUCH. NO IMPROVEMENTS AND NOT ALL
EASEMENTS MAY BE SHOWN.

PROPOSED EASEMENT TIES ARE REPRESENTED
IN SINGLE PARENTHESIS (XX.XX')

CO. SITE PLAN #18PR0191
CO. PROJECT #13-0112



COMPILED PLAT SHOWING
2 VARIABLE WIDTH VSMP EASEMENTS, A 10' WATER EASEMENT,
A VARIABLE WIDTH PRIVATE WATER EASEMENT, AND A 10' CEMETERY ACCESS
EASEMENT ACROSS GPIN: 753-677-8598-00000
KNOWN AS #9721 BURNETT DRIVE

DALE DISTRICT
CHESTERFIELD COUNTY, VIRGINIA
PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.com

DATE: 11-13-2019
SCALE: 1" = 100'
JOB: 53150076.00
DRAWN BY: JRG
CHECKED BY: CMF
SHEET 1 OF 1





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.3.

Subject:

Central Virginia All Hazards Incident Management Team (CVAHIMT) Memorandum of Understanding

Board Action Requested:

Approval for the Chesterfield Police Department to join the CVAHIMT via the attached MOU.

Summary of Information:

The CVAHIMT exists to serve the Commonwealth of Virginia, localities within central Virginia, and when requested through EMAC or FEMA, any state or locality in the Country. The team serves during time of disaster, significant events and large emergency situations. The CVAHIMT is organized and trained in areas identified through the National Incident Management framework and is comprised of individuals, who through experience and training, can respond to a wide range of events. As part of Chesterfield County Public Safety, the Police department is seeking to partner with Chesterfield Fire and EMS and the other regional partner agencies who already participate on this team. The Chesterfield County Police Department is requesting Board approval to become a part of the CVAHIMT via MOU (see attached).

The provisions of this MOU apply to each Participating Jurisdiction/Agency of the Central Virginia All Hazards Incident Management Team for activities performed at the request of local jurisdictions, the Commonwealth of Virginia, or the Federal government provided at the option of the Participating Jurisdiction/Agency. These activities may be in conjunction with, or in preparation for a local, state, or federal declaration of disaster.

The scope of this MOU also includes training activities mandated by the Department of Homeland Security (DHS), the Federal Emergency Management Agency (FEMA), the Commonwealth of Virginia, and the Central Virginia All Hazards Incident Management Team to maintain operational readiness.

The Board has previously voted to approve Chesterfield Fire & Emergency Management Services to join the MOU with the CVAHIMT. Because the Police Department is a separate entity, the addition of another county department to the MOU requires Board approval.

Attachments:

1. 1462632311_CVAHIMT-Agency-to-Agency-Addendum
2. 1462632121_CVAHIMT-Agency-to-Agency-MOU

Preparer:

Approved By:



CVAHIMT MOU ADDENDUM

DEFINITIONS

A. Activation, Planned Event:

The process of mobilizing the CVAHIMT members to deploy for a designated disaster/event site with a predicted time frame of greater than six (6) hours. The time at which the member may charge personnel costs to be charged to the team is when the work actually begins and ends as determined by the Incident Commander.

B. Activation, Unplanned Event/Incident:

The process of mobilizing the CVAHIMT members to deploy to a designated disaster site when the event requires an immediate response. When the team responds to such a mobilization request, the member is required to arrive with all equipment and personal gear to the designated Point of Assembly (POA) within two (2) hours of activation notice. The time at which the member may charge personnel costs to be charged to the team is when the work actually begins and ends as determined by the Incident Commander. For activations involving pre-deployment of members in anticipation of an event, the time at which personnel costs may be charged to team activities shall be determined by the CVAHIMT program manager and/or his designee prior to the deployment.

I. PROCEDURES

A. Activation, Planned Event

1. Upon request from the locality, Commonwealth or DHS/FEMA for disaster/event assistance, and/or determination that pre-positioning the Team is prudent, Chesterfield Fire and EMS and/or the CVAHIMT shall request the activation of the Team to respond to a designated point of assembly (POA).
2. CVAHIMT shall communicate an alert and/or activation notice to Team members through the call-out system according to the current approved mobilization plan.

B. Activation, Short Term, Unplanned Event

1. Upon request from the locality, Commonwealth or DHS/FEMA for assistance, the Chesterfield Fire and EMS and/or the CVAHIMT will notify a member of the participating agency's executive staff and members of team activation. The activation of the team may be instructed to respond to the POA or directly to the scene to evaluate the situation.
2. Each participating agency will respond on-duty IMT resources to include, but not limited to, on-duty personnel, primary IMT apparatus and associated support equipment when available, **at the sole option of the participating agencies.**

C. Mobilization and Deployment-Long term Incident

1. CVAHIMT will notify executive staff and members of activation of the team.
2. When the CVAHIMT is activated, Team leaders will move the necessary IMT components and all necessary equipment to the pre-designated point of assembly (POA) for ground transportation or air transport.
3. The Team shall be returned to the original POA upon completion of the mission.

II. TRAINING AND EXERCISES

- A. DHS/FEMA-Sponsored Training and Exercises
Periodically, team members may be requested or required to attend DHS/FEMA sponsored functional training. DHS/FEMA sponsored functional training may be performed at the direction of DHS/FEMA in order to develop the technical skills of the IMT members.
- B. CVAHIMT Sponsored Training and Exercises
Periodically, members will be requested or required to attend CVAHIMT sponsored training or exercises. CVAHIMT sponsored training or exercises shall be performed at the direction of the team in order to develop the technical skills of the members.
- C. CVAHIMT Sanctioned Training and Exercises
Periodically, members will be required and/or invited to attend team sanctioned training and/or exercises.
- D. Non- CVAHIMT sanctioned Training and Exercises
Non- team sponsored or sanctioned training and/or exercises may be performed at the direction, control and funding of Participating Agencies/Employers or individuals in order to develop and maintain the IMT capabilities of the members and the Team.
- E. Minimum Training Requirements
All Team members are required to maintain the skills and abilities identified in the CVAHIMT guidelines.
- F. Insurance
During the team sponsored training and exercises, members shall be covered in the workers' compensation and insurance coverage provided by their respective agencies/employers.

III. ADMINISTRATIVE, FINANCIAL AND PERSONNEL MANAGEMENT

A. Reimbursement of Participating Agencies/Employers

- 1. Chesterfield Fire and EMS shall reimburse all amounts necessary to fund associated costs of state and/or federal disaster deployments **when funding sources are identified.** Upon delivery of documentation by the participating agency/employer expenditures to Chesterfield Fire and EMS, CFEMS shall reimburse the participating agency/employer for all expenses that are reimbursed through Chesterfield County **as money is received** by Chesterfield County.
- 2. Chesterfield Fire and EMS will reimburse the Participating Agency/Employer for cost of backfilling team members while activated, **if the money is received by Chesterfield County.** This shall consist of expenses generated by the replacement of a deployed Team member on their normally scheduled duty period/day. The Participating Agency/Employer may choose to request backfill reimbursement based on one of two methods:
 - a. actual cost of backfill
 - b. pre-determined flat hourly rate based on average hourly wages

3. Chesterfield Fire and EMS will reimburse the Participating Agency/Employer for salaries and backfill expenses of any deployed member who would be required to return to regularly scheduled duty during the personnel rehabilitation period described in the demobilization order, **if CFEMS is reimbursed.** If the deployed member's regularly scheduled shift begins or ends within the identified rehabilitation period, the Participating Agency/Employer may give the deployed member that time off with pay and backfill his/her position. If a Team member is not normally scheduled to work during the identified rehabilitation period, then no reimbursement will be made for that member. CVAHIMT will determine the personnel rehabilitation period that will apply to each deployment based on the demobilization order for that deployment.

B. Reimbursement of Team Member as an Individual Resource

1. If a team member responds as an Individual Resource, **the CVAHIMT will have no responsibility** to ensure that the wages, benefits, or other expenses are paid to that individual member.

C. Other Reimbursements

1. Team members shall be reimbursed for reasonable personal costs associated with operations and maintenance of the Team **during a state or federal activation.** Original itemized receipts are required per Chesterfield County guidelines. All original receipts should be submitted to the appropriate CVAHIMT Deputy Program Manager within **five (5) business days of return.** This is to comply with VDEM reimbursement requirements.
2. Team members shall be reimbursed for reasonable travel costs associated with **approved training.** Reimbursement must be approved in advance by the Program Manager or his designee. Original receipts are required subject to Chesterfield County Travel Reimbursement Procedures. Receipts should be submitted to the Chesterfield Fire and EMS within **twenty-one (21) calendar days** from the end of the trip.
3. Emergency procurement of Team materials, equipment and supplies purchased and consumed by Team members in providing requested assistance shall be reimbursed on a replacement basis. Prior approval by Team leadership must be obtained and original itemized receipts for such items shall be submitted to Chesterfield Fire and EMS within (5) business days of return.
4. No Team member or the participating agency/employer shall be reimbursed for costs incurred by activations that are outside the scope of this agreement.
5. **All financial commitments herein are made subject to availability of funds from the state and/or DHS/FEMA.**

IV. MANAGEMENT

- A. The incident commander or CVAHIMT Responsible Party will have overall management, coordination, and control of all the CVAHIMT resources and operations.
- B. Tactical deployment of the CVAHIMT will be under the direction of the local incident commander and the CVAHIMT Responsible Party(s) assigned to the incident.

**Memorandum of Understanding
Between
Central Virginia All Hazards Incident Management Team/ Chesterfield County
And
Participating Jurisdiction/Agency**

A Memorandum of Understanding (MOU) entered into this ____ day of _____, 20__ by and between the Central Virginia All Hazards Incident Management Team (CVAHIMT)/ Chesterfield County and all Participating Jurisdictions or Agencies authorized on the signature page of this document.

I. PURPOSE

To delineate responsibilities of the Central Virginia All Hazards Incident Management Team and any Participating Jurisdiction/Agency that provides resources to the CVAHIMT under the authority of the Commonwealth of Virginia Emergency Management Plan and the Robert T. Stafford Disaster Relief and Emergency Act, Public law 93-288, as amended 42 U.S.C. § 5121, et seq.

II. SCOPE

The provisions of this MOU apply to each Participating Jurisdiction/Agency of the Central Virginia All Hazards Incident Management Team for activities performed at the request of local jurisdictions, the Commonwealth of Virginia, or the Federal government provided at the option of the Participating Jurisdiction/Agency. These activities may be in conjunction with, or in preparation for a local, state, or federal declaration of disaster.

The scope of this MOU also includes training activities mandated by the Department of Homeland Security (DHS), the Federal Emergency Management Agency (FEMA), the Commonwealth of Virginia, or the Central Virginia All Hazards Incident Management Team to maintain operational readiness.

Nothing in this MOU shall be construed to limit or otherwise affect the independent powers, operations, or liabilities of any Participating Jurisdiction/Agency that provides resources to the CVAHIMT. Each Participating Jurisdiction/Agency reserves the right to refuse to respond to a request if its resources are already committed to other activities, emergencies, or impending weather or disaster related events.

III. DEFINITIONS

- A. Activation, Planned Event: The process of mobilizing the CVAHIMT members to deploy for a designated disaster/event site with a predicted time frame of greater than six (6) hours.
- B. Activation, Unplanned Event/Incident: The process of mobilizing the CVAHIMT members to deploy to a designated disaster site when the event requires an immediate response for an unknown duration.
- C. Alert: The process of informing CVAHIMT members that an event has occurred and the CVAHIMT may be activated at some point within the next 24-48 hours.

- D. De-Activation: The process of de-mobilizing the CVAHIMT members upon notification from the local, state, or DHS/FEMA to stand down.
- E. Program Manager: The Director, or program manager, of the Central Virginia All Hazards Incident Management Team.
- F. DHS/FEMA: The Department of Homeland Security/Federal Emergency Management Agency.
- G. Member: An individual who has been formally accepted into the Central Virginia All Hazards Incident Management Team and meets all requirements for skills and knowledge, and is in good standing with regard to compliance of necessary training and fitness.
- H. Participating Jurisdiction/Agency: The team member's jurisdiction/agency, which by execution of the MOU, has officially sanctioned the Central Virginia All Hazards Incident Management Team and supports the member's involvement within the CVAHIMT.
- I. State: Commonwealth of Virginia.
- J. Team: An integrated collection of personnel and equipment meeting standardized capability criteria for addressing incident management needs during disasters and planned events.
- K. Team Sponsored Training: Training or exercises performed at the direction, control and funding of DHS/FEMA, Commonwealth of Virginia Department of Fire Programs/Department of Emergency Management, Virginia Division of Forestry, or the CVAHIMT.
- L. Team Sanctioned Training: Training or exercises performed at the direction, control and funding of a Participating Jurisdiction/Agency or Team Member in order to develop and maintain the capabilities of the Member and the Team. Team sanctioned training shall be coordinated with the CVAHIMT staff. Authorization to conduct such training shall be obtained prior to the start of the training.

IV. RESPONSIBILITIES

- A. Chesterfield County Fire and EMS is the hosting agency and fiduciary agent for the Central Virginia All Hazards Incident Management Team. As the hosting agency and fiduciary agent for the CVAHIMT, Chesterfield County Fire and EMS, on behalf of CVAHIMT, shall be responsible for and have the authority to do the following:
 - 1. Seek grant funding, follow grant purchasing guidelines, provide advance funds for purchases, and maintain inventory control of CVAHIMT assets.
 - 2. **Enter into agreements on behalf of the CVAHIMT with local, state, or federal jurisdictions who request response assistance from the CVAHIMT.**
 - 3. Recruit and organize a multi-jurisdictional, multi-disciplined Incident Management Team (IMT) in accordance with the FEMA Type III IMT guidelines.

4. Enroll and qualify position specific personnel on the CVAHIMT.
 5. Ensure administrative, financial, and personnel management procedures are utilized and followed as they relate to the CVAHIMT. Fulfill all financial agreements as set forth herein including, but not limited to State activations, Statewide Mutual Aid responses, and EMAC requests.
 6. Sponsor or sanction training for Team Members. Training shall be consistent with the objectives of developing, upgrading, and maintaining individual skills, as identified in the position description requirements, necessary to maintain operational readiness.
 7. Ensure all equipment in the IMT cache is maintained in a ready state.
 8. Maintain accountability of all equipment purchased using grant funding.
 9. Coordinate between the DHS/FEMA, the State, Participating Jurisdictions/ Agencies, and other relevant governmental and private entities.
 10. Maintain a primary contact list for all the CVAHIMT Members.
 11. Maintain personnel files on all members of the CVAHIMT for the purpose of documenting training records, emergency notification, and other documentation as required by DHS/FEMA, the Commonwealth of Virginia, and localities.
- B. Each Participating Jurisdiction/Agency shall be responsible for the following:
1. Maintain a roster of all its personnel authorized to participate in the CVAHIMT.
 2. Provide a primary point of contact to the CVAHIMT for the purpose of notification of Team Activities.
 3. Provide administrative support to employee members of the CVAHIMT, i.e. “time out of station”, when fiscally reasonable to do so for Team activities such as training, meetings, and actual activations.
 4. If and when a financial arrangement has been established between CVAHIMT and the Virginia Department of Emergency Management, the submission of personnel reimbursement claims must be submitted to Chesterfield County Fire and EMS within five **(5) business days** (excluding weekends and holidays) of official De-Activation of the Team Member. In cases of State activation, Statewide Mutual Aid responses, and EMAC responses, Chesterfield County Fire and EMS, will act as the fiscal agent for the CVAHIMT. As such, each Participating Jurisdiction/Agency shall provide and constantly update in a timely manner all related costs to allow for accurate cost projections. **Responsibility for reporting all costs to the CVAHIMT associated with a Team Member or with a Participating Jurisdiction/Agency’s equipment rests solely with that Participating Jurisdiction/Agency.**

V. DEPLOYMENT

The CVAHIMT may be activated for planned events or unplanned events and incidents. See Addendum for mobilization parameters and deployment procedures.

VI. TRAINING AND EXERCISES

Periodically, Team Members may be requested or required to attend the following types of training opportunities to develop the technical skills and proficiency expected of team members.

1. DHS/FEMA Sponsored Training and Exercises - See Addendum
2. CVAHIMT Sponsored Training and Exercises - See Addendum
3. CVAHIMT Sanctioned Training and Exercises - See Addendum
4. Non-CVAHIMT Sanctioned Training and Exercises - See Addendum
5. Minimum Training Requirements - See CVAHIMT Operations Guide and Handbook

VII. CONDITIONS, AMENDMENTS, AND WITHDRAWAL FROM MOU

- A. This Memorandum of Understanding may be modified or amended only with the written agreement of all parties, and all amendments shall be attached to this MOU.
- B. Any party, upon 30 day written notice to the other party, may withdraw from this Memorandum of Understanding.

VIII. LIABILITY, DISABILITY, DEATH BENEFITS, AND WORKERS' COMPENSATION

- A. In the event of injury to or death of a Team Member sustained during CVAHIMT training or response activities, liability for and payment of any of these benefits shall be the responsibility of the Member's Participating Jurisdiction/Agency.
- B. In the case of certain state activated deployments, insurance coverage may be provided by the State.
- C. The CVAHIMT does not provide any liability, disability, death benefits or workers' compensation coverage to Team Members. Chesterfield County Fire and EMS only provides coverage to Team Members that are also employees of Chesterfield County.

IX. ACKNOWLEDGMENT

Participating Jurisdiction/Agency hereby acknowledges that it has read and understands this entire Memorandum of Understanding and agrees to be bound by it until such time as the Memorandum of Understanding is terminated. All oral or written agreements, including letters of intent, between the parties relating to the subject matter of this Memorandum of Understanding that were made prior to the execution of this Memorandum of Understanding have been reduced to writing and are set forth herein. The Participating Jurisdiction/Agency agrees to abide by all terms and conditions specified herein and certifies that the information it provides to CVAHIMT is true and correct in all respects to the best of Participating Jurisdiction/Agency's knowledge and belief.

This Memorandum of Understanding is entered into by and between the following parties:

Central Virginia All Hazards Incident Management Team:

Signature of Authorized Representative Date

_Edward L. Senter, Jr., Fire Chief_____
Printed Name of Authorized Representative

_6731 Mimms Loop_____
Address

_Chesterfield, Virginia 23832_____
City, State, ZIP

_804-751-4726_____
Telephone Number

Participating Jurisdiction/Agency:

Name of Participating Jurisdiction/Agency

Signature of Authorized Representative Date

Printed Name of Authorized Representative

Address

City, State, ZIP

Telephone Number



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.4.

Subject:

Authorize the Receipt and Appropriation of Grant Funds from the Commonwealth of Virginia, Virginia 9-1-1 Services Board for the 2020 NG9-1-1 Migration Grant

Board Action Requested:

Authorize the receipt and appropriation of grant funding up to \$705,142.04 for the 2020 NG9-1-1 State mandated migration and implementation from the current Verizon 9-1-1 network to the AT&T ESInet platform.

Summary of Information:

All Virginia PSAP's will be mandated to migrate from the legacy TDM circuit-switched telephone and legacy E9-1-1 services to an all IP-based emergency services network known as NextGen 911 (NG9-1-1). The primary goal of NG9-1-1 is to ensure calls and information received in one locality can be transferred to any surrounding locality. The Virginia 9-1-1 Services Board, in conjunction with the Virginia Information Technologies Agency (VITA), will provide funding to cover the implementation costs and difference in the monthly fees of the network for two years. NG9-1-1 will cost approximately \$495,600 annually, compared to the current emergency services network cost of nearly \$193,200 annually. The Emergency Communications department will continue to pay the monthly fees and will be reimbursed on a quarterly basis from the Virginia 9-1-1 Board, approximately \$302,400 annually. After the two-year grant period, the Emergency Communications department will assume all monthly fees to maintain the 911 phone system. The additional annual cost of NG9-1-1 is currently factored into the County Five-Year Plan.

Attachments:

1. Chesterfield NG-911 Funding Award Letter

Preparer: Matt Harris

Approved By:





COMMONWEALTH of VIRGINIA

Virginia 9-1-1 Services Board

Jeffrey D. Stern
Chairman
VDEM

Hon Kevin W. Hall
Sheriff
Vice Chairman
City of Covington

David A. Von Moll
Treasurer
Comptroller

Mary M. Blowe
Chief Financial Officer
City of Winchester

Gary Critzer
Emergency Mgmt/ EMS Dir
City of Waynesboro

Bruce Edwards
City of Franklin

Terry Ellis
Comcast

R. Scott Garber
Fire Chief
City of Staunton

Danny Garrison
Richmond Ambulance
Authority

Pete Hatcher
AT&T

Jeffrey T. Merriman
Verizon Communications

Lee W. Miller III
Major
Virginia State Police

Nelson P. Moe
CIO - VITA

Seth Weise
Sprint

Kelvin Wright
Chief of Police
City of Chesapeake

Jolena Young
Twin County

Shawn Talmadge
Office of the Governor
Advisor

Dorothy Spears-Dean
PSC Coordinator
(804) 416-6201

Terry D. Mayo
Board Administrative
Assistant
(804) 416-6197

November 14, 2019

Chesterfield PSAP:

This letter serves as confirmation of the Virginia 9-1-1 Services Board (the "Board") approval of the County of Chesterfield PSAP's NG9-1-1 funding request for costs needed for NG9-1-1 implementation. The amount awarded is listed below and is based on estimated costs and related information contained in the version of your NG9-1-1 Migration Proposal (also listed below) referenced in your funding request:

PSAP Name and Funding ID	Chesterfield NG911-070
Date of Award by the 9-1-1 Services Board	November 14, 2019
End of funding period for your grant award (36 months from date of award unless granted an extension by the Board)	November 14, 2022
NG9-1-1 Deployment – Amount Awarded	\$705,142.04
PSAP preference for Board payment on behalf of PSAP for incurred eligible NG9-1-1 expenses: Yes – Direct payment where possible No – Full reimbursement basis	Yes

Migration Proposal Date	November 1, 2018
Migration Proposal NG9-1-1 Service Provider	AT&T
Contract Vehicle upon which the Migration Proposal is based	Fairfax County contract w/ AT&T
Deadline for executing a contract vehicle with the NG9-1-1 Service Provider listed above (3 months after date of award)	February 14, 2020
Scheduled NG9-1-1 Deployment Window	Q3 2020

Funding awards are non-binding until a locality selects an NG9-1-1 solutions provider by executing a contract. The Board recognizes this is a local decision. If you wish to accept this funding request using the NG9-1-1 solutions provider listed above, the Board expects your locality to execute a contract vehicle with the identified NG9-1-1 solutions provider within three months of the date of your award, unless the Board grants an extension. However, if requested by the PSAP, ISP staff can prepare a migration proposal for a different NG9-1-1 solution provider and the locality can also submit a funding request using this new migration proposal.

The Board is committed to a statewide deployment of NG9-1-1 that is consistent with NENA's i3 standard and reserves the right to add subsequent conditions to your migration proposal and revise the funding award for this purpose. Funding for any additional non-recurring costs related to these conditions will be considered by the Board and you will receive a revised award letter, if approved.

Since NG9-1-1 deployments will be occurring by selective router regions over a multi-year period, portions of your funding may not be immediately available and may be distributed over different fiscal years. The spending plan below is based on your scheduled NG9-1-1 deployment window listed above and in your migration proposal. This plan lays out when approved funding for each category will be available. The goal is to complete all identified NG9-1-1 ready implementation items (CHE equipment and GIS data) at least three months in advance of your PSAP's scheduled deployment time period.

NOTE: Before contracting for a service or committing any local funding, you should consult this spending plan and coordinate expenditures with your Regional Coordinator. This action will ensure that you will be reimbursed for any local funds spent for items identified in your migration proposal.

Depending on the preference you selected in your Proposal Acceptance Letter, the Board may pay some of your NG9-1-1 deployment costs on your behalf. If applicable, the specific costs will be identified in your spending plan included in this letter. Payment for the remaining NG9-1-1 deployment costs will be made on a reimbursement basis.

Fiscal Year	Category	Amount	Payer
FY20	NG9-1-1 NRC	\$ 4,000.00	Board
FY20	CHE i3 Services	\$ 30,000.00	Locality
FY24	CHE Replacement	\$ 0.00	Locality
FY20	Text to 9-1-1	\$ 0.00	Locality
FY20	Voice Logging	\$ 0.00	Locality
FY20	ECaTS NRC	\$ 1,000.00	Board
FY20	Rack	\$ 0.00	Locality
FY20	Diversity	\$ 18,305.64	Board
FY20	GIS Data	\$ 0.00	Locality
FY20	Legacy 9-1-1	\$ 47,142.00	Board
FY20	Monthly Delta	\$ 151,173.60	Locality
FY21	Monthly Delta	\$ 302,347.20	Locality
FY22	Monthly Delta	\$ 151,173.60	Locality

Finally, funding for approved equipment and services may not be immediately available to the PSAP. ISP staff will provide a spending plan, specific to the PSAP's deployment schedule, that details in which year of the deployment period funding will be available to the PSAP.

If you have any questions, please do not hesitate to contact your Regional Coordinator or me via email.

Sincerely,



Lisa Nicholson
Public Safety Program Manager



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.5.

Subject:

Allocate Funds for the Purchase of a Special Purpose Park at the Ware Bottom Church Battlefield and Approve New Conservation Easement Holder

Board Action Requested:

Authorize the County Administrator or his designee to allocate an additional \$52,000 from the Future Facility Land Acquisition Account to cover the county's increased share of the purchase, and change the conservation easement holder from the Department of Historic Resources to Capital Region Land Conservancy.

Summary of Information:

Staff requests that the Board of Supervisors approve changes to the purchase of 52 acres adjacent to the existing 10-acre Ware Bottom Church Battlefield Park. The parcel preserves Civil War earthworks and battlefield artifacts, a unique piece of the county's history and a cornerstone of the county's heritage tourism program. By prior action of the Board, in November 2017 and June 2018, the purchase, federal grant, additional funding partners and required conservation easement and designated easement holder were approved. The purchase is contingent on receipt of a grant from the National Park Service, American Battlefield Protection Program, which will provide half of the purchase costs. The remaining half was structured to be split three equal ways between the county, the land owners (as a donation), and the American Battlefield Trust. The easement holder was the Virginia Department of Historic Resources. Subsequent to those Board approvals, one of our funding partners, the American Battlefield Trust, reduced their funding commitment by \$102,000. To cover the shortfall, the land owners have generously reduced the purchase price by \$50,000 and the county will increase its share of the funding by \$52,000. The purchase price is \$945,000 plus closing costs estimated at \$55,000. The contract includes contingency language requiring all governmental approvals to be obtained prior to closing. Substantial accord approval has been obtained. Also, subsequent to the Board approvals, the Virginia Department of Historic Resources has decided to not hold the easement, as the parcel has two electrical utility Rights of Ways passing through it, that they feel limits their ability to enforce aspects of their easement requirements. Staff has secured a new easement holder, the Capital Region Land Conservancy, which can hold and administer the resource protection easement with utility easements on the parcel.

The Board is requested to allocate up to \$52,000 in appropriated funds from the Future Facility Land Acquisition Account to cover the county's increased share of the purchase and closing costs, and accept the use

of the Capital Region Land Conservancy as the easement holder. Staff recommends approval.

Attachments:

None

Preparer: James Worsley, Director
Matt Harris

Approved By:





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.6.

Subject:

Authorization for 5G Air LLC to Enter Into a Leasehold Mortgage at the Chesterfield County Airport

Board Action Requested:

Authorize the County Administrator to Approve a Request from 5G Air LLC to Enter Into a Leasehold Mortgage at the Chesterfield County Airport.

Summary of Information:

As part of approving Richmond Executive Aviation's (REA) application to become a Fixed Based Operator at the Chesterfield County Airport, the County executed a lease agreement with 5G Air LLC (5G) to allow for the construction of two aircraft hangars and office space in support of REA's operations.

Article 19 of the lease agreement requires 5G to gain prior written approval from the County before entering into a leasehold mortgage associated with construction of the hangars. 5G has requested such approval as part of finalizing their construction financing package. There is no financial impact to the County if this item is approved.

Staff recommends approval.

Attachments:

None

Preparer: Clay Bowles, Director

Approved By:



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.7.

Subject:

Award of Contract for Correctional Nursing Services

Board Action Requested:

Authorize the Director of Procurement to enter into a contract with Correctional Medical Services for Correctional Nursing Services for the Chesterfield County Jail.

Summary of Information:

The Procurement Department issued a solicitation on behalf of the Sheriff's Office for Correctional Nursing Services. Correctional Medical Care, Inc. submitted a comprehensive proposal for Nursing Services, and after review of all proposals, Correctional Medical Services was deemed to have presented the most favorable proposal for the County's needs. The contract will cover maintaining existing staffing with an option to increase staffing in future years, funding for future years will be requested through the budget process.

Attachments:

None

Preparer: Dawn Garrett, Budget Administrator

Approved By:



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.8.

Subject:

Award of Construction Contract for County Project #19-0006, Falling Creek Wastewater Treatment Plant Digesters 1 and 2 Mixing Systems

Board Action Requested:

The Board of Supervisors is requested to authorize the Director of Procurement to award the construction contract to Waco, Inc., in the amount of \$1,378,765 and execute all necessary change orders up to the full amount budgeted for the Falling Creek WWTP Digesters 1 and 2 Mixing Systems project.

Summary of Information:

This project consists of constructing mixing systems in Digesters 1 and Digester 2, replacement of gas collection piping and appurtenances, miscellaneous concrete repairs and repainting at the Falling Creek Wastewater Treatment Plant. This project will replace existing mixing systems that are no longer operable and will extend the overall life of the Digesters. Staff received a total of two bids, \$1,378,765 and \$2,231,000. The lowest responsive bid was from Waco, Inc., in the amount of \$1,378,765. The County's engineering consultant, Whitman Requardt and Associates, has evaluated the bids and recommends award of the contract to Waco, Inc.

Funds for this project are available in the current CIP.

Attachments:

None

Preparer: Michael Larson, Principal Engineer
Matt Harris

Approved By:



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.9.

Subject:

Award of Construction Contract for County Project #16-0169, Johnson Creek Force Main, Gravity Sewer, and Waterline project

Board Action Requested:

The Board of Supervisors is requested to authorize the Director of Procurement to award the construction contract to Garney Companies, Inc. in the amount of \$3,667,344 and execute all necessary change orders up to the full amount budgeted for the Johnson Creek Force Main, Gravity Sewer and Waterline project.

Summary of Information:

This project consists of the construction of approximately 8,100 linear feet of 20-inch diameter ductile iron force main, 1,475 linear feet of 36-inch diameter PVC gravity sewer, 1,750 linear feet of water line, and associated appurtenances, and roadway improvements to Hubert Lane. The Board of Supervisors is considering exercising eminent domain for the remaining easements for this project under Agenda Item 17.A.

The lowest responsive bid was from Garney Companies, Inc. in the amount of \$3,667,344. The County's Engineering Consultant, Whitman Requardt & Associates, has evaluated the bid and recommends award of the contract to Garney Companies, Inc.

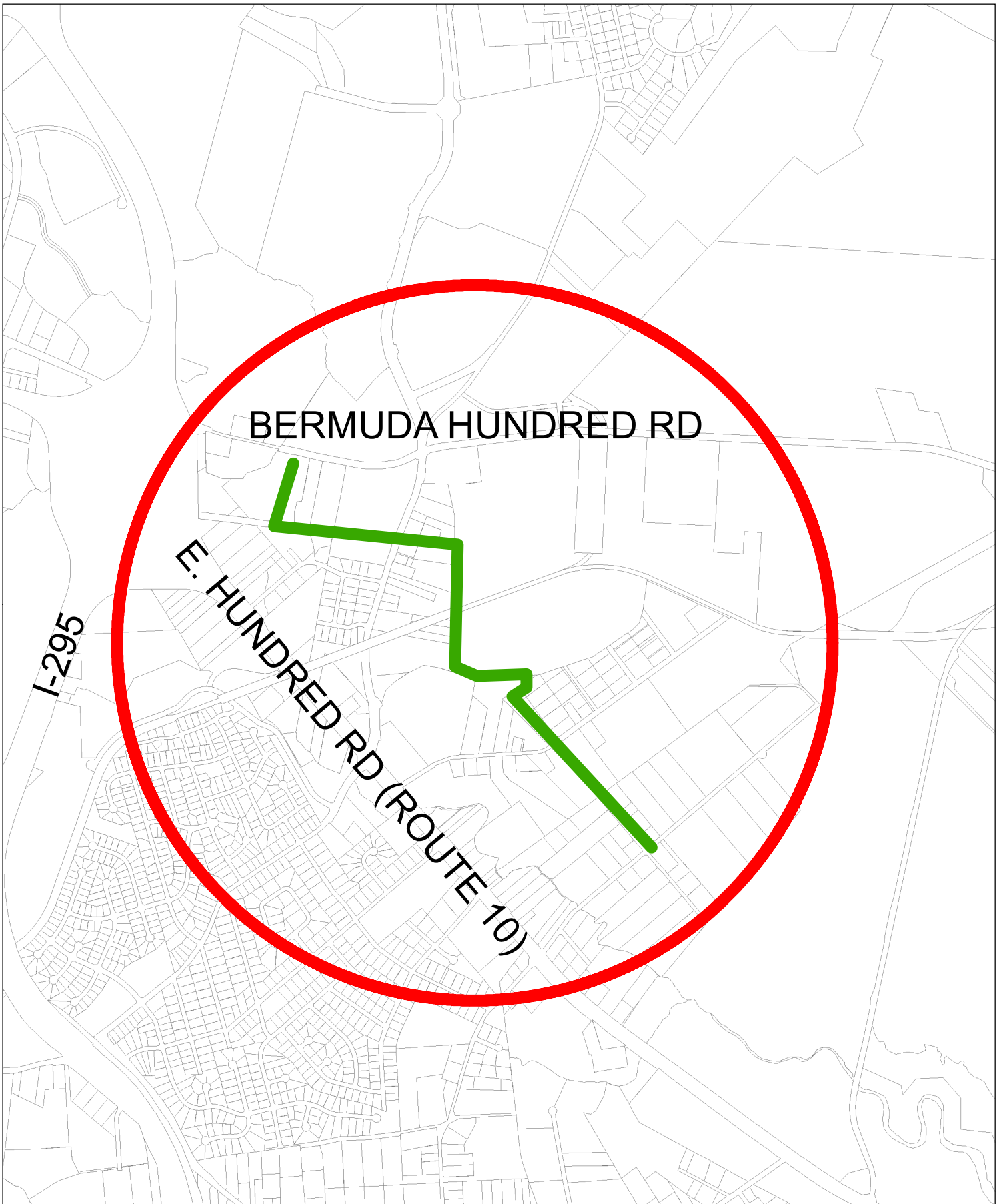
Funds for this project are available in the current CIP.

Attachments:

1. Project Map for Johnson Creek Pipework

Preparer: Anne Urenda, Principal Engineer
Matt Harris

Approved By:



ACCURACY OF INFORMATION NOT GUARANTEED

This information is being provided to you as a public service.
WE DO NOT GUARANTEE ITS ACCURACY.
By using it in any way, you are agreeing to
Release the County, its employees and
officials from responsibility for
any consequence(s) if it proves
to be inaccurate.

Chesterfield County Department of Utilities



1 inch = 1,499 feet

Name: morrisc
Date: 01/14/20





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.10.

Subject:

Award of Construction Contract for County Project #17-0235, Addison-Evans Water Treatment Plant Lime Feed System Replacement and Sodium Hypochlorite Facility Upgrades

Board Action Requested:

The Board of Supervisors is requested to authorize the Director of Procurement to award the construction contract to Harlan Construction Co., Inc. in the amount of \$1,818,660 and execute all necessary change orders up to the full amount budgeted for the Addison-Evans Water Treatment Plant Lime Feed System Replacement and Sodium Hypochlorite Facility Upgrades project.

Summary of Information:

This project consists of the construction of a packaged chemical feed system and storage tanks that will replace the existing lime storage and feed system. The new packaged chemical system will be furnished with pumps, control panels, storage tanks, building, a water service line. The existing dry lime silo will be demolished. The project will also consist of installing three fiberglass tanks, two feed pumps and a control panel that will replace the existing sodium hypochlorite tanks, pumps and control panel.

The low bid was from Harlan Construction Co., Inc. in the amount of \$1,818,660. The County's Engineering Consultant, Whitman Requardt & Associates, has evaluated the bid and recommends award of the contract to Harlan Construction Co., Inc.

Funds for this project are available in the current CIP.

Attachments:

None

Preparer: Anne Urenda, Principal Engineer
Matt Harris

Approved By:





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.11.

Subject:

Award of Construction Contract for County Project #14-0222, Addison-Evans Water Production and Laboratory Facility Motor Control Center Replacement

Board Action Requested:

The Board of Supervisors is requested to authorize the Director of Procurement to award the construction contract to Southwood Building Systems, Inc. in the amount of \$3,883,804 and execute all necessary change orders up to the full amount budgeted for the Addison-Evans Water Production and Laboratory Facility Motor Control Center Replacement project.

Summary of Information:

This project consists of the construction of a new building to house a new motor control center for the facility. Work includes the installation of a new concrete pad for a new electrical transfer, installation of several new electrical service panels, and installation of instrumentation and controls for the new electrical service.

The low bid was from Southwood Building Systems, Inc. in the amount of \$3,883,804. The County's Engineering Consultant, Arcadis, has evaluated the bid and recommends award of the contract to Southwood Building Systems, Inc.

Funds for this project are available in the current CIP.

Attachments:

None

Preparer: Anne Urenda, Principal Engineer
Matt Harris

Approved By:



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.12.

Subject:

Appropriation of Funds and Authorization to Award a Construction Contract for the Otterdale Road and Old Hundred Road Roundabout Project

Board Action Requested:

The Board is requested to (1) appropriate \$850,000 in road cash proffers (Shed 6) to the Otterdale Road and Old Hundred Road Roundabout project; (2) authorize the Director of Procurement to award a construction contract of \$3,789,007 to J.R. Caskey; and (3) execute all necessary change orders, up to the full amount budgeted, for the project.

Summary of Information:

On September 17, 2014, the Board authorized staff to proceed with the Otterdale Road and Old Hundred Road Roundabout project. The intersection is currently a high crash location with multiple fatalities in the recent past. The proposed roundabout is anticipated to significantly reduce both the frequency and severity of crashes at the intersection.

Two bids for the project were received on December 9, 2019. J.R. Caskey submitted the lowest responsive and responsible bid of \$3,789,000. Although the bid is higher than the engineer's estimate of \$2,576,000, it is proportionally comparable to recent construction bids for other similar projects in the county. Staff is of the opinion that re-advertising the project will not result in a significantly lower bid without significant changes to the project scope and schedule. Based on current demands in the transportation industry, it is possible bids received may be even higher (assuming no change in scope) due to inflation and rising construction costs.

Additional funds (\$850,000) are needed to award the construction contract.

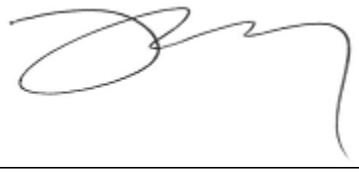
The Board is requested to (1) appropriate \$850,000 in road cash proffers (Shed 6) to the Otterdale Road and Old Hundred Road Roundabout project; (2) authorize the Director of Procurement to award a construction contract of \$3,789,007 to J.R. Caskey; and (3) execute all necessary change orders, up to the full amount budgeted, for the project.

Attachments:

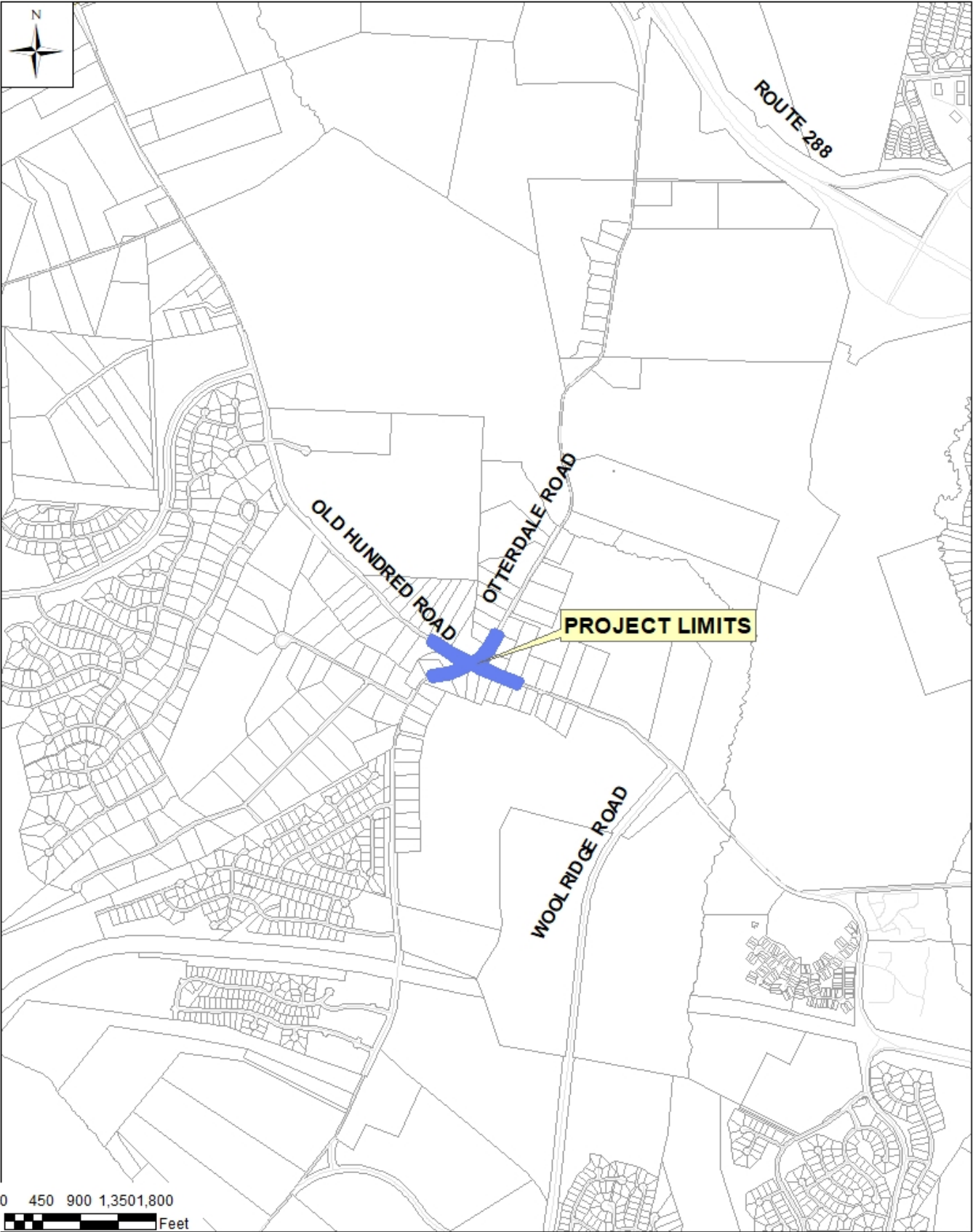
1. Map - Otterdale Road and Old Hundred Road Roundabout - Authorization to Award
2. Budget - Otterdale Road and Old Hundred Road Roundabout - Authorization to Award

Preparer: Brent Epps, Asst. Director
Matt Harris

Approved By:



Otterdale Road and Old Hundred Road Roundabout Project



OTTERDALE ROAD AND OLD HUNDRED ROAD ROUNDBOUT PROJECT

ESTIMATE

Preliminary Engineering	\$515,058
Right-of-Way (including utility relocations)	\$1,066,035
Construction	\$3,789,007
Construction Contingency	\$378,900
Construction Engineering	\$401,000
Total	\$6,150,000

REVENUE

FY16 Revenue Sharing	\$1,480,000
FY17 Revenue Sharing	\$531,216
FY19 Revenue Sharing	\$1,788,784
Revenue Sharing Transfers from Completed Projects 5/22/2019	\$1,500,000
<i>PROPOSED: Transfer from Road Cash Proffer Shed 6</i>	<i>\$850,000</i>
Total	\$6,150,000



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.13.

Subject:

Authorize the Receipt and Appropriation of 2019 State Homeland Security Grant Funds from the Department of Homeland Security.

Board Action Requested:

Authorize the Fire and EMS Department, to receive and appropriate \$76,000 in 2019 State Homeland Security Grant funds from the Department of Homeland Security.

Summary of Information:

The Board of Supervisors is requested to approve the acceptance and appropriation of \$76,000 in grant funds awarded from the Department of Homeland Security, State Homeland Security Grant Program (SHSGP), to manage a regional swift-water rescue project that will support equipment purchases and related training course. Chesterfield Fire & EMS serves as the sponsoring agency of the Virginia Division 1 Technical Rescue/Urban Search and Rescue Team.

No local match of funds is required for any portion of the grant funds.

Attachments:

None

Preparer: Edward L. Senter, Jr.

Approved By:





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.14.

Subject:

Acceptance of State Roads

Board Action Requested:

Adoption of resolutions for the referenced state road acceptances.

Summary of Information:

Bermuda District: Battery Brooke Parkway Extension
Glebe Point Estates Section 2

Clover Hill and Midlothian Districts: The Townes at Notting Place Section 1

Matoaca District: Baileys Grove Section C
Bayhill Pointe Section 22
Whittington Forest Section 1
Wynwood at Foxcreek Section 2
Wynwood at Foxcreek Section 13

Attachments:

1. 2020-01-22 Bermuda - Battery Brooke Parkway Extension
2. 2020-01-22 Bermuda - Glebe Point Estates Section 2
3. 2020-01-22 Clover Hill and Midlothain - The Townes At Notting Place Section 1
4. 2020-01-22 Matoaca - Baileys Grove Section C
5. 2020-01-22 Matoaca - Bayhill Pointe Section 22
6. 2020-01-22 Matoaca - Whittington Forest Section 1
7. 2020-01-22 Matoaca - Wynwood at Foxcreek Section 2
8. 2020-01-22 Matoaca - Wynwood at Foxcreek Section 13

Preparer: Scott Smedley, Director of Environmental Engineering

Approved By:

TO: Board of Supervisors

FROM: Department of Environmental Engineering

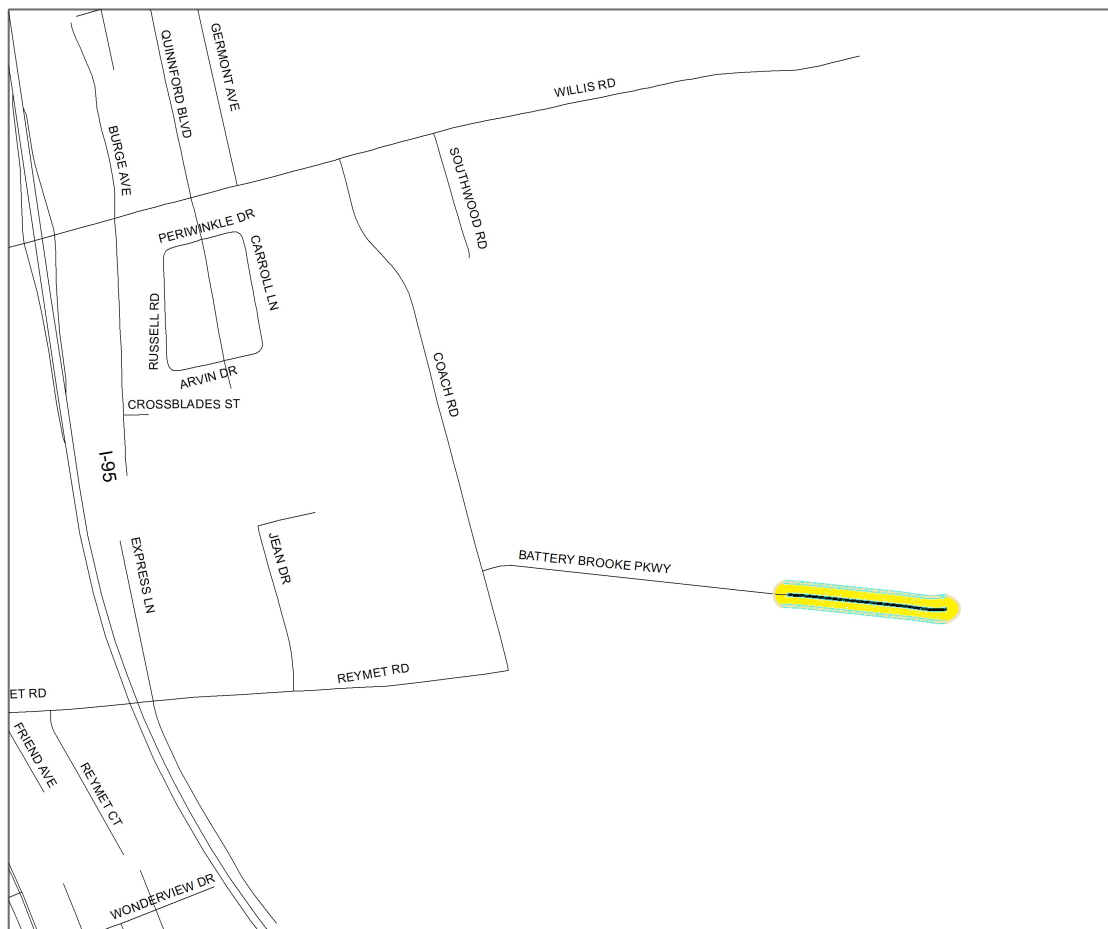
SUBJECT: State Road Acceptance - Battery Brooke Parkway Extension

DISTRICT: Bermuda

MEETING DATE: January 22, 2020

ROADS FOR CONSIDERATION: Battery Brooke Parkway Extension

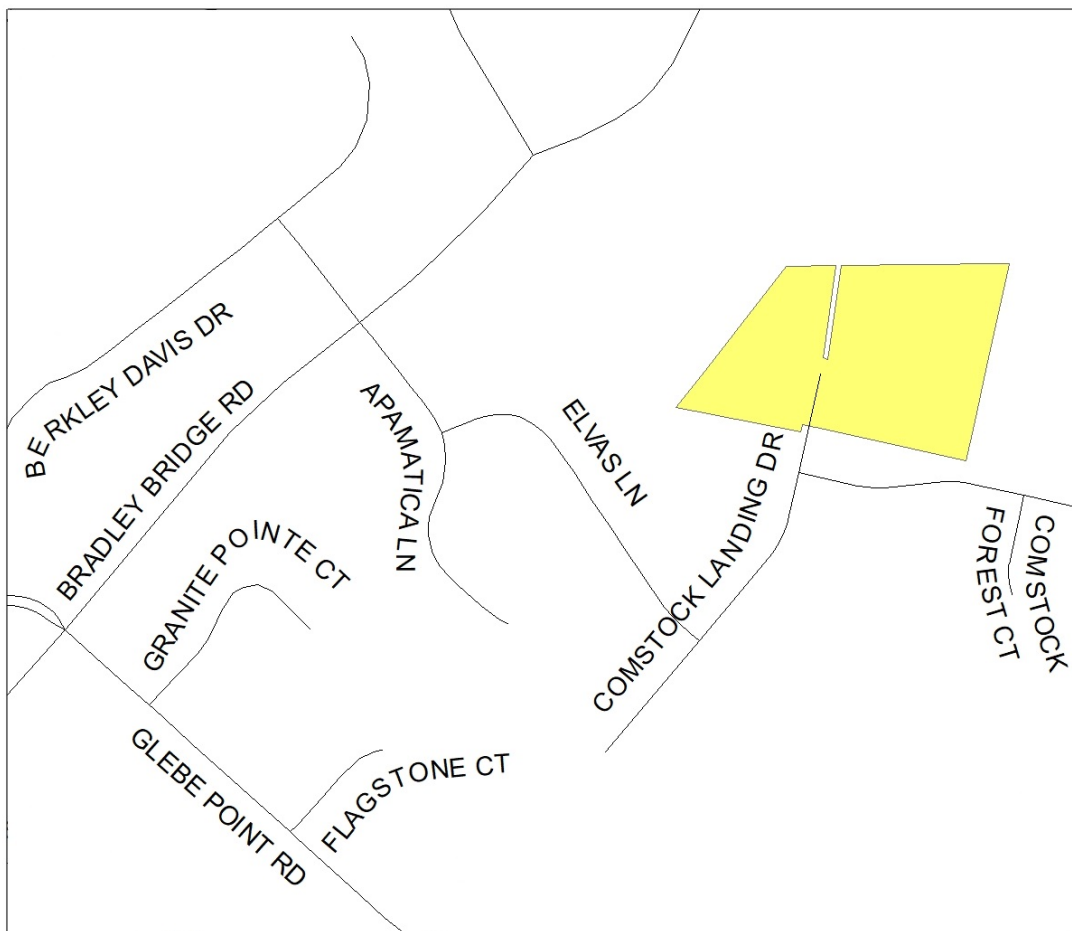
Vicinity Map: Battery Brooke Parkway Extension



Produced By Chesterfield County GIS

TO: Board of Supervisors
FROM: Department of Environmental Engineering
SUBJECT: State Road Acceptance - Glebe Point Estates Section 2
DISTRICT: Bermuda
MEETING DATE: January 22, 2020
ROADS FOR CONSIDERATION: Comstock Landing Dr

Vicinity Map: Glebe Point Estates Section 2



Produced By Chesterfield County GIS

TO: Board of Supervisors

FROM: Department of Environmental Engineering

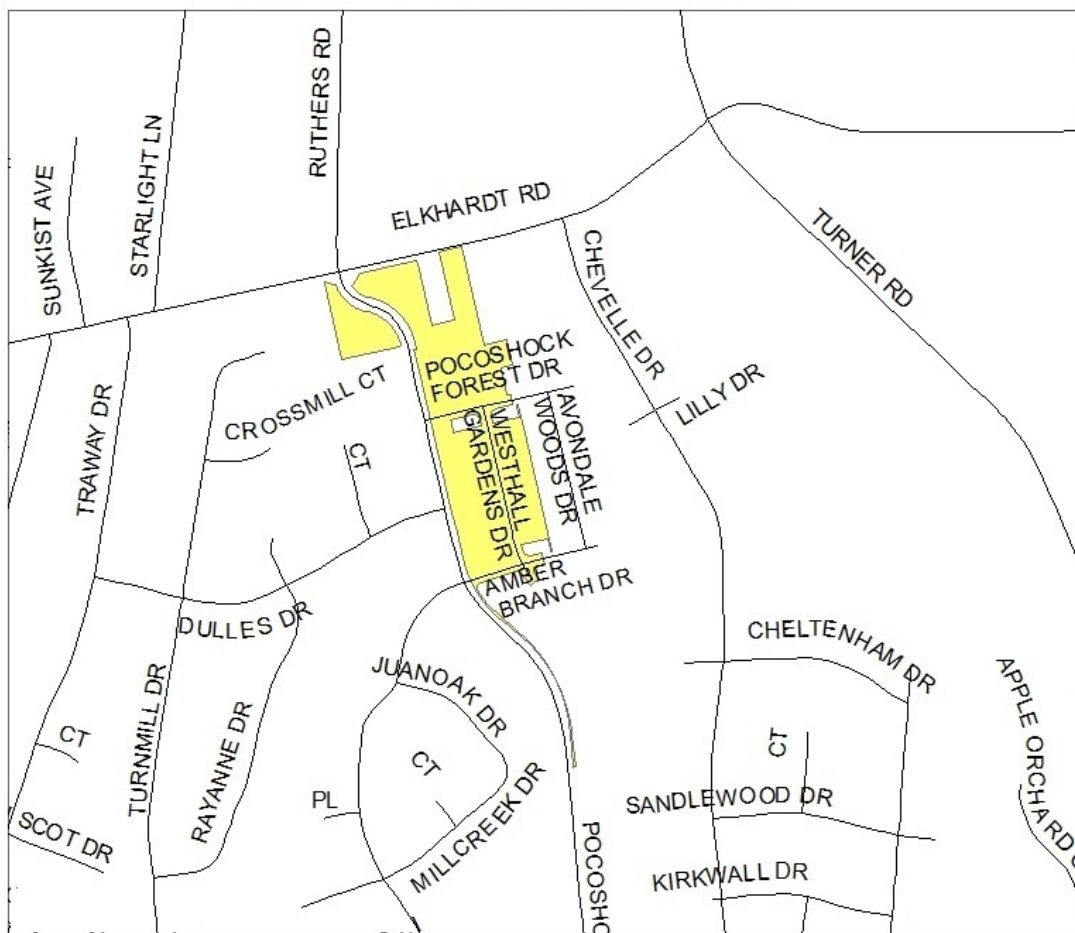
SUBJECT: State Road Acceptance - The Townes At Notting Place Section 1

DISTRICT: Clover Hill and Midlothian

MEETING DATE: January 22, 2020

ROADS FOR CONSIDERATION: Amber Branch Dr
Pocoshock Forest Dr
Westhall Gardens Dr

Vicinity Map: The Townes At Notting Place Section 1



Produced By Chesterfield County GIS

TO: Board of Supervisors
FROM: Department of Environmental Engineering
SUBJECT: State Road Acceptance - Baileys Grove Section C
DISTRICT: Matoaca
MEETING DATE: January 22, 2020
ROADS FOR CONSIDERATION: Baileys Grove Dr
Baileys Grove Pl

Vicinity Map: Baileys Grove Section C



Produced By Chesterfield County GIS

TO: Board of Supervisors

FROM: Department of Environmental Engineering

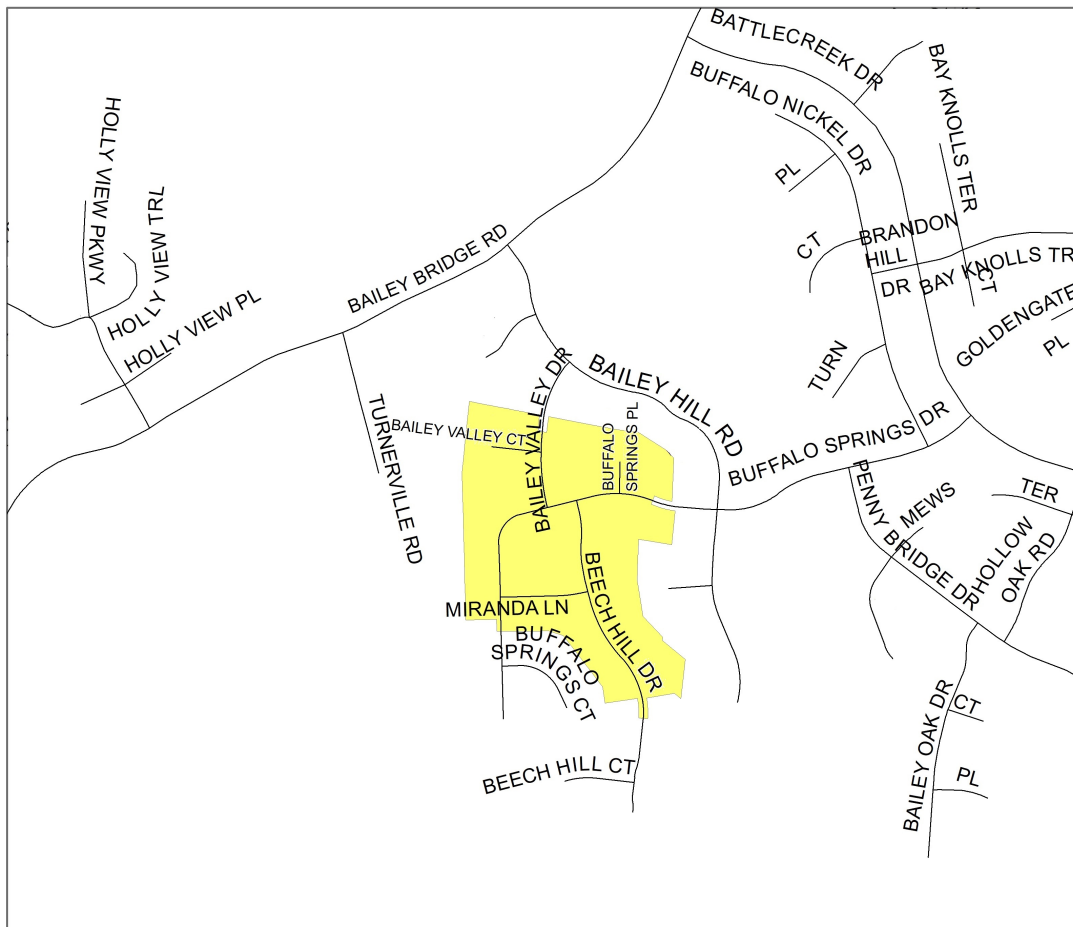
SUBJECT: State Road Acceptance - Bayhill Pointe Section 22

DISTRICT: Matoaca

MEETING DATE: January 22, 2020

ROADS FOR CONSIDERATION: Bailey Valley Ct Buffalo Springs Dr
Bailey Valley Dr Buffalo Springs Pl
Beech Hill Dr Miranda Ln

Vicinity Map: Bayhill Pointe Section 22



Produced By Chesterfield County GIS

TO: Board of Supervisors

FROM: Department of Environmental Engineering

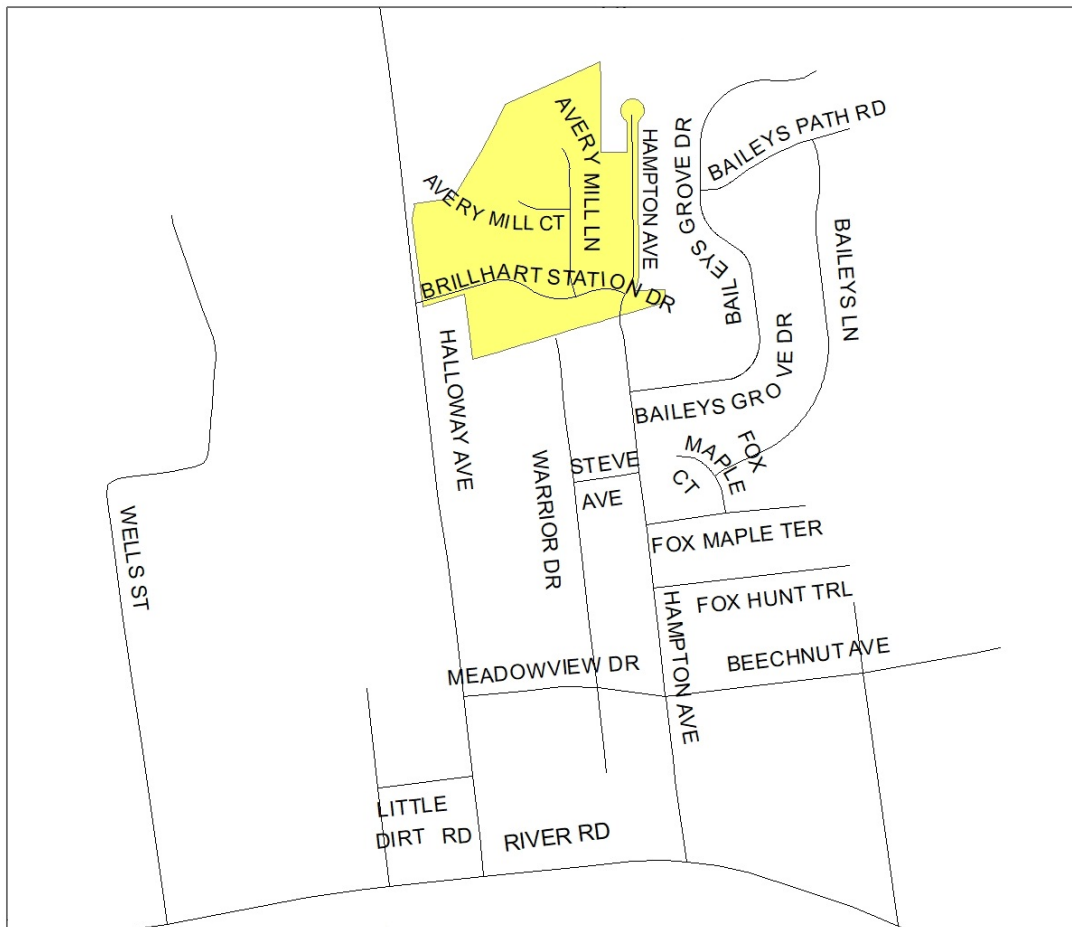
SUBJECT: State Road Acceptance - Whittington Forest Section 1

DISTRICT: Matoaca

MEETING DATE: January 22, 2020

ROADS FOR CONSIDERATION: Avery Mill Ct
Avery Mill Ln
Brillhart Station Dr
Hampton Ave

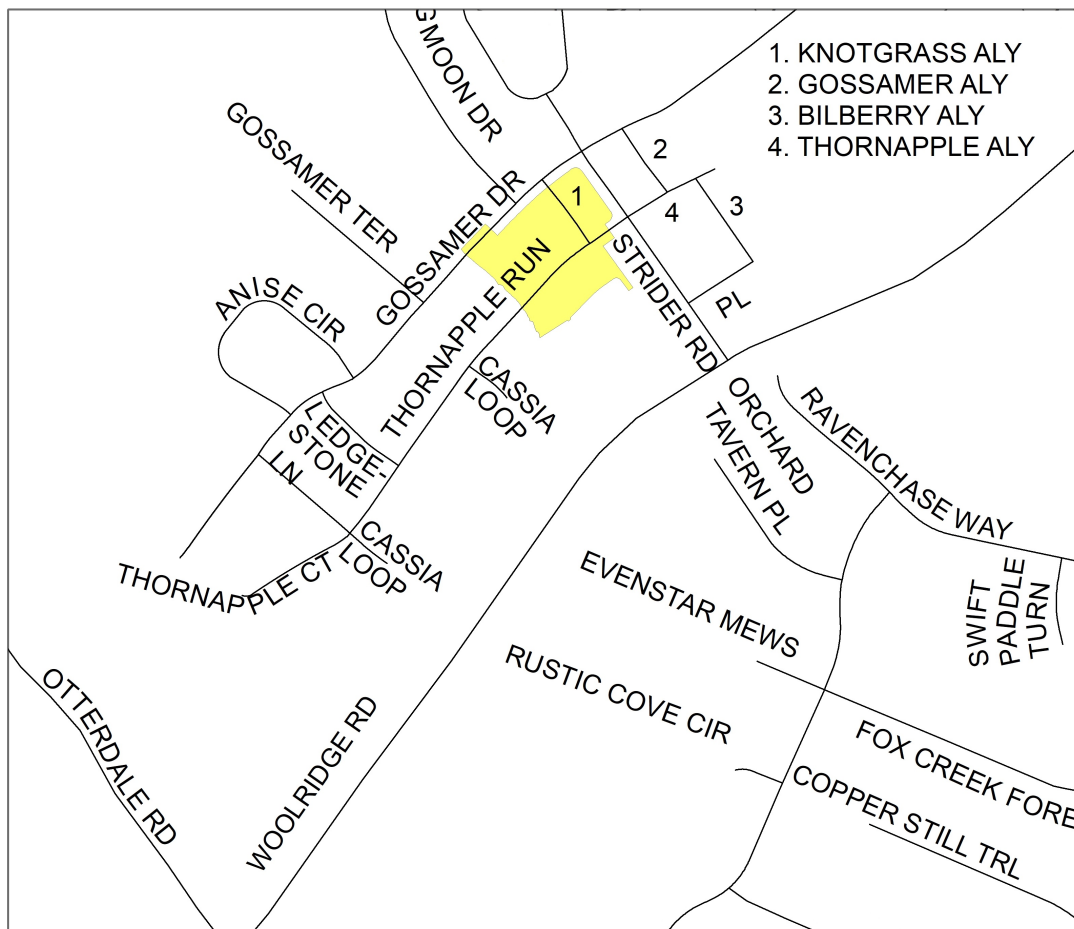
Vicinity Map: Whittington Forest Section 1



Produced By Chesterfield County GIS

TO: Board of Supervisors
FROM: Department of Environmental Engineering
SUBJECT: State Road Acceptance - Wynwood at Foxcreek Section 2
DISTRICT: Matoaca
MEETING DATE: January 22, 2020
ROADS FOR CONSIDERATION: Thornapple Run

Vicinity Map: Wynwood at Foxcreek Section 2



Produced By Chesterfield County GIS

TO: Board of Supervisors

FROM: Department of Environmental Engineering

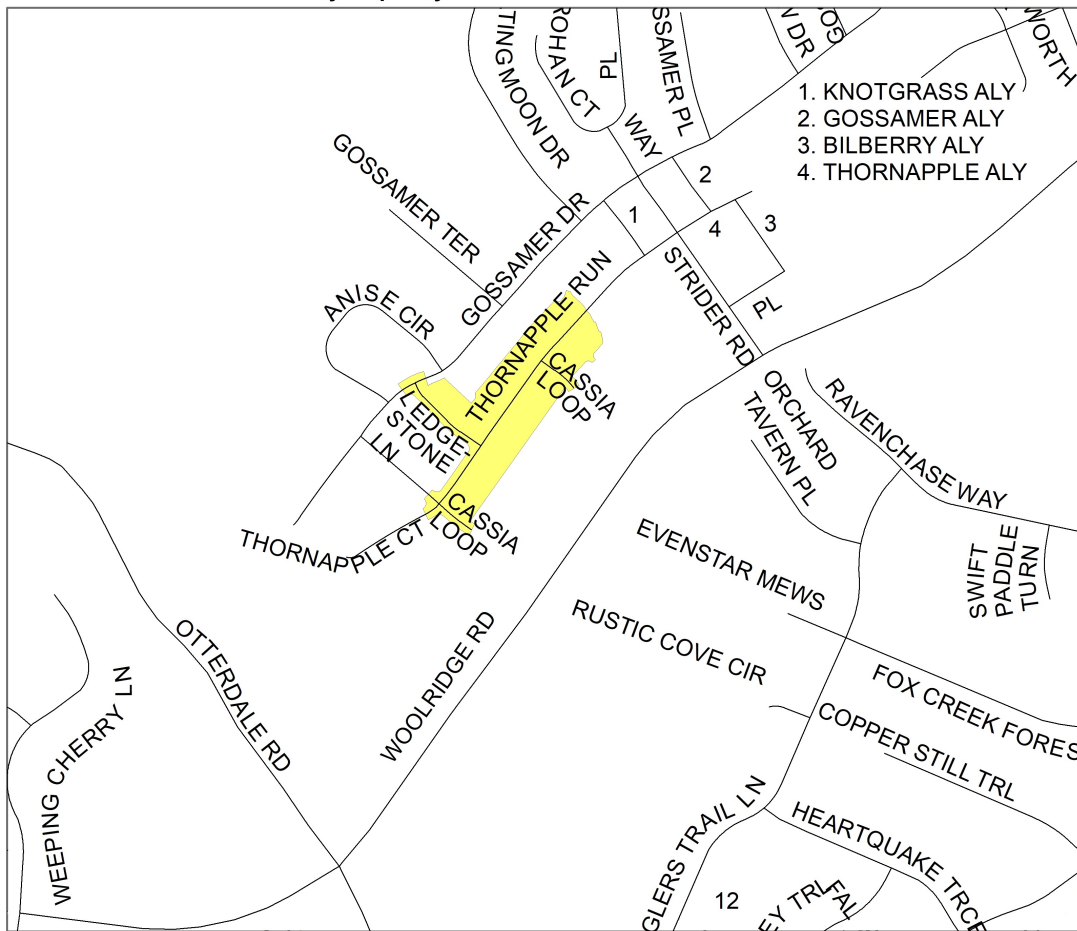
SUBJECT: State Road Acceptance - Wynwood at Foxcreek Section 13

DISTRICT: Matoaca

MEETING DATE: January 22, 2020

ROADS FOR CONSIDERATION: Cassia Loop
Gossamer Dr
Ledgestone Ln
Thornapple Run

Vicinity Map: Wynwood at Foxcreek Section 13





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.15.

Subject:

Set Public Hearing on Code Amendment Relating to Mailing of Written Orders

Board Action Requested:

Set February 19, 2020 for Public Hearing on Code Amendment Relating to Mailing of Written Orders

Summary of Information:

On June 26, 2019, the Board of Supervisors instructed Staff to prepare an ordinance amendment to address a state law change and forward the ordinance to the Commission for public hearing. Following a public hearing, the Planning Commission by unanimous vote forwarded a recommendation of approval of the proposed amendment.

This ordinance amendment would amend the methods by which a written order is provided. Currently the ordinance requires a written order be delivered via registered mail to, or be posted at, the usual place of abode of, either the property owner or registered agent. This amendment provides for certified mail to also be a permissible method of delivery.

Attachments:

1. Ordinance Amendment 19.1-5

Preparer: Andrew Gillies, Director of Planning

Approved By:

AN ORDINANCE TO AMEND THE CODE OF THE COUNTY OF CHESTERFIELD,
1997, AS AMENDED, BY AMENDING AND REENACTING SECTION 19.1-5 OF THE
ZONING ORDINANCE RELATING TO MAILING OF WRITTEN ORDERS

BE IT ORDAINED by the Board of Supervisors of Chesterfield County:

- (1) *That Section 19.1-5 of the Code of the County of Chesterfield, 1997, as amended, is amended and re-enacted, to read as follows:*

Sec. 19.1-5. Administrative Written Decisions, Determinations, and Orders. Administrative Appeals.

A. Written Decision, Determination and Order.

The director of planning shall provide a written response to a person who has filed a request in writing for a decision or determination on zoning matters within the scope of his authority. The response shall be provided within 90 days of the date of the request, unless the requestor agrees to a longer time period. When the applicant is not the owner or the property owner's agent subject to the written decision or determination, the planning department shall provide written notice within 10 days of the receipt of the request to the owner of the property at the owner's last known address as shown by the department of real estate assessments.

A written decision, determination or order shall include: a statement informing the recipient of the right to appeal the decision, determination or order within 30 days to the board of zoning appeals in accordance with this chapter; the appeal fee; location of information regarding the filing of an appeal; and a statement that the decision, determination or order is unappealable if not appealed within 30 days after the date of the written decision, determination, or order. The appeal period shall not commence until this statement is given.

In addition, for a written order only, the appeal period shall not commence until the order is sent by registered mail or certified to, or posted at the usual place of abode of, either the property owner at the address shown by the department of real estate assessments, or the address of the registered agent shown in the records of the Clerk of the State Corporation Commission.

OOO

- (2) *That this ordinance shall become effective immediately upon adoption.*

1928:116019.1



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 13.B.16.

Subject:

Approval to Terminate the Lease with the Economic Development Authority of Chesterfield County (Authority) of a portion of the Stonebridge Development to Facilitate the Sale of the Property to Shamin Hotels, Inc.

Board Action Requested:

The Board is requested to adopt a resolution terminating the lease.

Summary of Information:

As part of the purchase and redevelopment of the Cloverleaf Mall, the Authority and the County entered into a Lease Agreement dated October 18, 2004, whereby the Authority leased to the County the Mall Site. The Authority has entered into a Purchase and Sale Agreement with Shamin Hotels, Inc. to purchase a portion of the remaining mall site. The Authority and the County now desire to terminate the lease to facilitate the sale of the Authority Property to Shamin Hotels, Inc.

Staff recommends approval.

Attachments:

1. Lease Termination Agreement - Stonebridge_78143065_1

Preparer: Garrett Hart, Director

Approved By:

LEASE TERMINATION AGREEMENT

THIS LEASE TERMINATION AGREEMENT (this "Agreement"), made as of this 22nd day of January, 2020 (the "Effective Date", by and between the ECONOMIC DEVELOPMENT AUTHORITY OF THE COUNTY OF CHESTERFIELD (formerly known as the Industrial Development Authority of the County of Chesterfield), a political subdivision of the Commonwealth of Virginia (the "Authority"), and the COUNTY OF CHESTERFIELD, VIRGINIA, a political subdivision of the Commonwealth of Virginia (the "County"), recites and provides as follows:

RECITALS:

A. The Authority and the County entered into a Lease Agreement dated October 18, 2004, as amended by a First Amendment and Partial Termination of Lease Agreement dated September 30, 2011 (as amended, the "Lease") whereby the Authority leased to the County certain real property comprising the former Cloverleaf Mall, as more particularly described on Exhibit A attached to the Lease (the "Leased Property").

B. The Authority and the County now desire to terminate the Lease in its entirety.

LEASE TERMINATION:

NOW, THEREFORE, in consideration of the mutual covenants herein contained and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto hereby agree as follows:

1. Termination of Lease. As of the Effective Date, the Authority and the County hereby terminate the Lease in its entirety so that from and after the Effective Date, the Lease shall be of no further force or effect. In confirmation of the foregoing, the Authority and the County acknowledge, confirm and agree that on the Effective Date (a) all rights and privileges of the County to the Leased Property under the Lease (including, without limitation, any option to purchase the Leased Property and all rights, titles and interests of the County to possess, use and/or operate the Leased Property and any improvements to the Leased Property) shall terminate, (b) the County shall surrender the Leased Property to the Authority in its "as is, where is" condition, and (c) the County hereby remises, releases and quitclaims unto the Authority all right, title and interest of the County in and to the Leased Property by virtue of the Lease. The foregoing shall not be construed as releasing or quitclaiming any existing easements granted or dedicated to the County by separate instrument of record.

2. Miscellaneous. This Agreement constitutes the entire agreement between the parties hereto with respect to the termination of the Lease contemplated hereby and supersedes all prior discussions, understandings, agreements and negotiations between the parties hereto. The Authority and the County hereby agree to execute and deliver from time to time upon request by the other such documents and instruments, and take such other action, as such other party may reasonably request or require to more fully and completely evidence and carry out the transaction contemplated by this Agreement or to correct any defect, error or omission which

may be discovered in this Agreement. To facilitate execution, this Agreement may be executed in as many counterparts as may be required. It shall not be necessary that the signature on behalf of the parties hereto appear on each counterpart hereof, and it shall be sufficient that the signature on behalf of each party hereto appear on one or more such counterparts. All counterparts collectively constitute a single agreement. This Agreement may be signed and delivered by facsimile and/or electronically in .PDF format and such signatures shall be treated as original signatures for all purposes. A facsimile and/or email/PDF copy of this Agreement shall have the same force and effect as an original.

[Remainder of Page Intentionally Left Blank.]
[Signatures Appear on Following Pages.]

IN WITNESS WHEREOF, the parties hereto have caused this Amendment to be signed by their duly authorized representatives as of the date first written above.

ECONOMIC DEVELOPMENT AUTHORITY OF
THE COUNTY OF CHESTERFIELD

By: _____
Name: _____
Title: _____

COUNTY OF CHESTERFIELD, VIRGINIA

By: _____
Name: _____
Title: _____

Approved as to Form:

Assistant County Attorney

CASE NUMBER: 19SN0628
APPLICANT: Dean L. Hawkins, LA



CHESTERFIELD COUNTY, VIRGINIA
BERMUDA DISTRICT
STAFF'S ANALYSIS
AND RECOMMENDATION

Board of Supervisors (BOS) Hearing:

JANUARY 22, 2020

BOS Time Remaining:

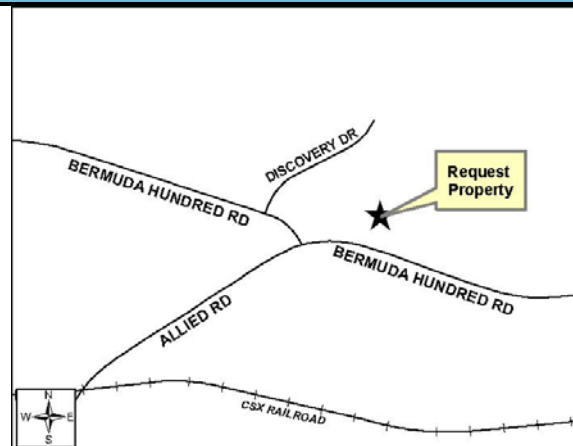
365 DAYS

Applicant's Contacts:

DEAN L HAWKINS (804-748-6519)

Planning Department Case Manager:

TYLER WALTER (804-318-8893)



14.8 Acres – 3700 Bermuda Hundred Rd.

REQUESTS

REQUEST I – (Rezoning). Rezoning from Agricultural (A) to General Industrial (I-2).

REQUEST II – (Setbacks). Conditional Use Planned Development to permit setback reductions for parking (to include outside storage areas) and buildings.

Notes:

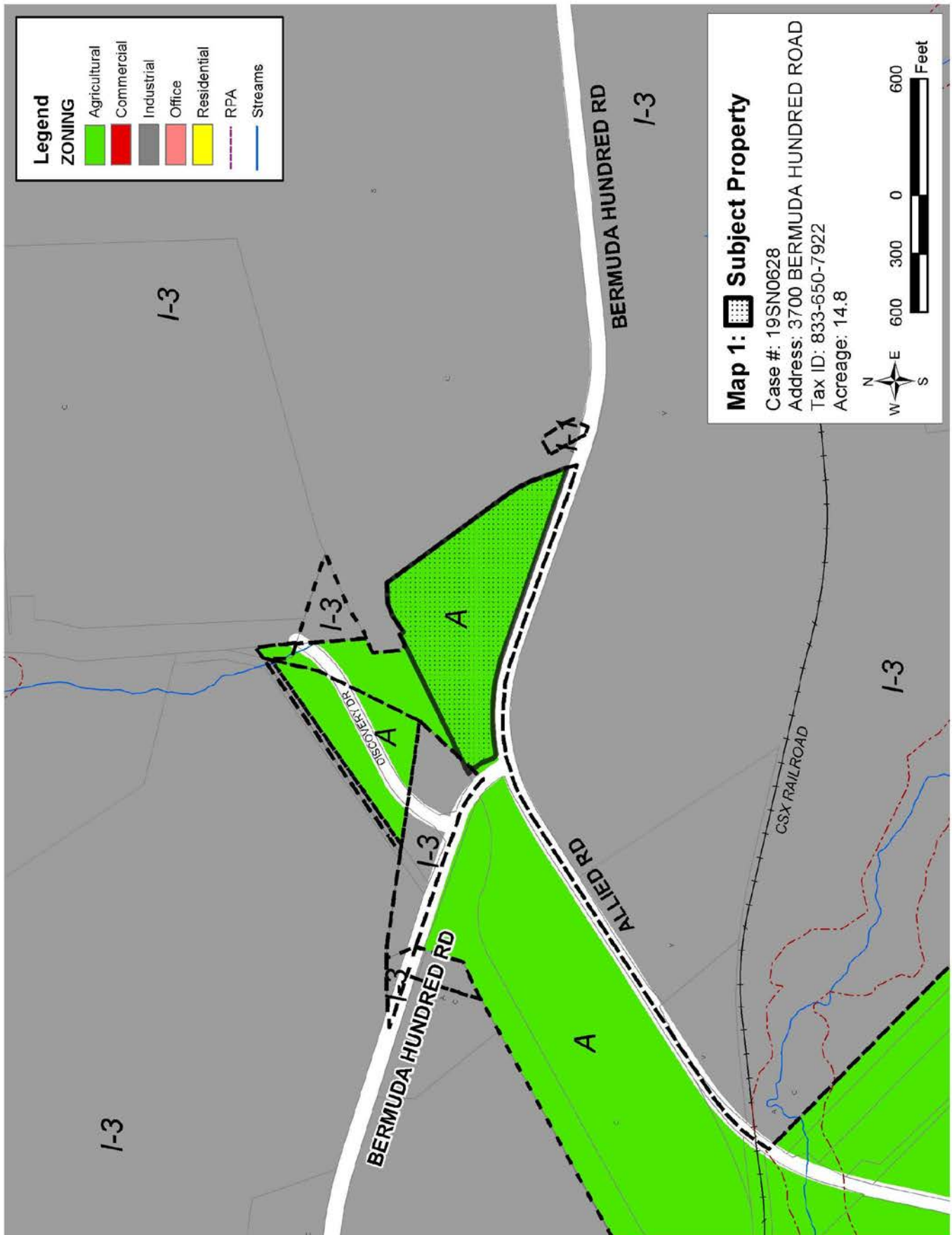
- A. Conditions may be imposed or the property owners may proffer conditions.
- B. Conditions, Proffered conditions, Textual Statement, and exhibits are located in Attachments 1-5.

SUMMARY

A contractor's office and storage yard are proposed. With approval of this request, uses permitted by right or with restrictions in the I-2 district would be permitted. Exceptions to setbacks buildings, outside storage area, and parking are requested to accommodate improvements on the site. A 25-foot reduction to the required 75-foot setback from Bermuda Hundred Road is requested with the provision of enhanced landscaping at 1.5 times the density of Landscape C, Option 1. Screening of outside storage areas will be provided in accordance with Zoning Ordinance requirements.

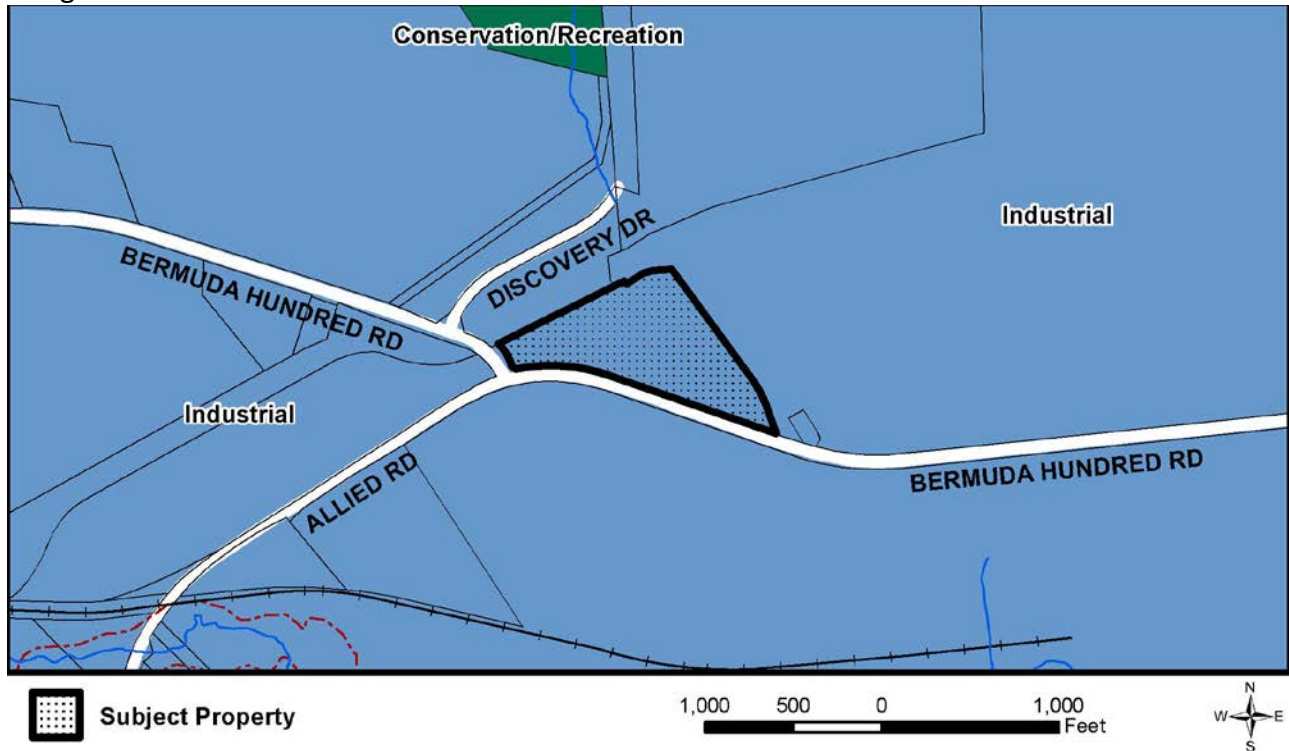
RECOMMENDATION

PLANNING COMMISSION	<u>REQUEST I – (Rezoning)</u> – APPROVAL <u>REQUEST II – (Setbacks)</u> – DENIAL
STAFF	<u>REQUEST I – (Rezoning)</u> – APPROVAL <ul style="list-style-type: none"> Proposed zoning will provide for industrial land use as suggested by the Comprehensive Plan Compatible with existing and anticipated area industrial uses <u>REQUEST II – (Setbacks)</u> – DENIAL No unique property characteristics to warrant relief to setback requirements.

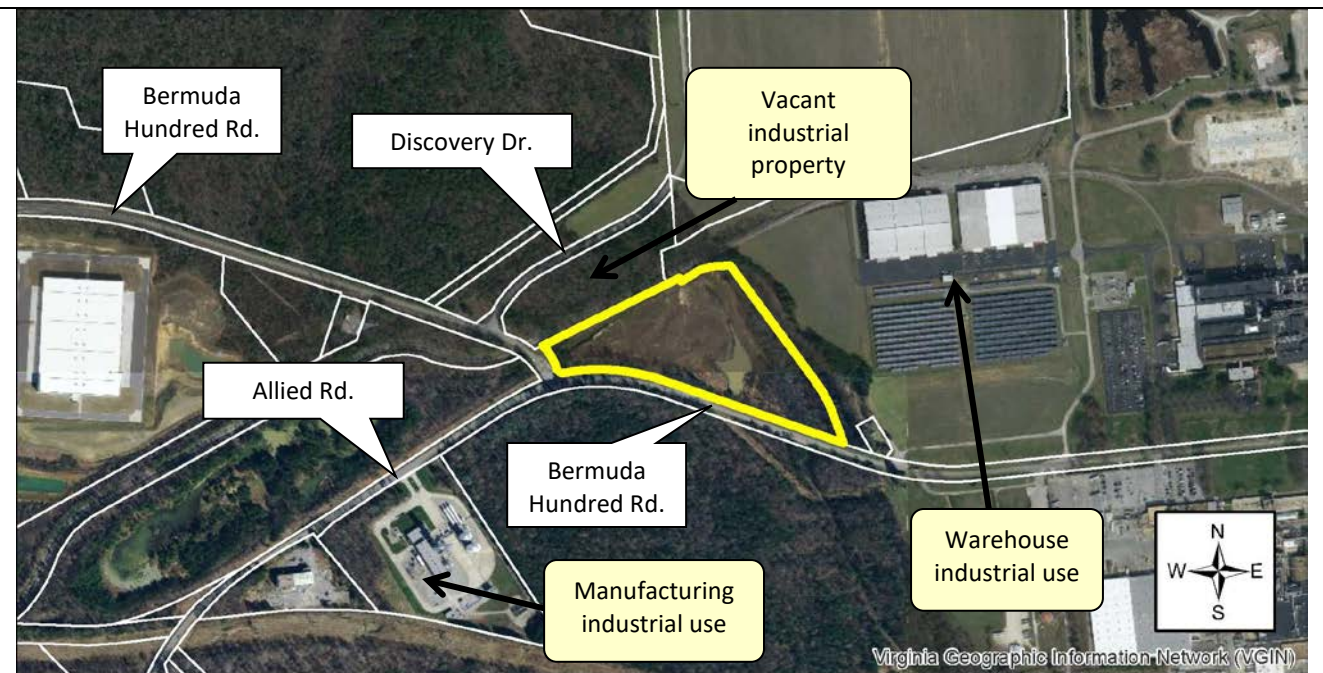


Comprehensive Plan
Classification: INDUSTRIAL

The designation suggests the property is appropriate for moderate to intense manufacturing uses generally dependent upon the processing of raw materials and which have associated outside storage areas.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Tyler Walter (804-318-8893) waltert@chesterfield.gov

Zoning History

Case Number	Request
73SN0007 Approved (02/1973)	Rezoning from Light Industrial (I-1) to Agricultural (A).

Proposal

Rezoning of the property from Agricultural (A) to General Industrial (I-2) is proposed. A contractor's office and storage yard is planned. A Conditional Use Planned Development (CUPD) is requested for setback relief for parking, building, and outside storage areas from Bermuda Hundred Road. Development of the site will generally comply with conceptual plan in Attachment 4. (Condition)

The applicant has offered conditions to address site security and architectural treatment for buildings as identified on Exhibit A, Attachment 5 (Proffered Conditions 1 and 4).

Bermuda Hundred Road Setbacks and Landscaping

The property is located within an Emerging Growth Design District. The Ordinance requires a 75-foot setback for buildings, parking, and outside storage areas from Bermuda Hundred Road, a major arterial. Within this 75-foot setback, Perimeter Landscape B is required. The applicant is proposing a setback reduction to 50 feet from Bermuda Hundred Road, with the provision of enhanced landscaping (Textual Statement) as identified below:

Setback and Landscape Requirements – Bermuda Hundred Road		
Item	Ordinance (I-2)	Proposed (19SN0628)
Setback	75'	50'
Landscape	Landscape B	Landscape C x1.5

The applicant has indicated that a reduction to the setback is necessary because of site clearing and grading that has occurred from a 2010 site plan approval (10PR0279), and environmental features on the northeastern portions of the property. Specifically, the applicant has indicated that the wetland areas and site drainage limit the amount of buildable area on the property.

Upon examining the property, staff believes that of the 14.8 acres on the property, at least nine (9) acres are buildable for the proposed buildings and storage without encroaching the existing 75-foot setback or environmental features, providing adequate developable opportunity. For these reasons, staff cannot support the request for a setback reduction, and believes the existing setback requirements allow for the development of the property without hardship.

Screening of Outside Storage

Per Ordinance requirements, the views of outside storage areas must be screened from Bermuda Hundred Road. Screening may be accomplished by building design, berms, or durable architectural walls or fences of comparable materials to the principal building and designed to be compatible with the building. The applicant has proffered specific treatment of the fence proposed for screening (Proffered Condition 5).

Given the surrounding industrially-zoned properties and the recommendations of the Comprehensive Plan for Industrial land use, staff is supportive of the rezoning request (Request I). Due to the lack of unique property features, staff is not supportive the setback exception (Request II).

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamst@chesterfield.gov

The Comprehensive Plan, which includes the Thoroughfare Plan, identifies county-wide transportation needs that are expected to mitigate traffic impacts of future growth. This request will not limit development to a specific land use; therefore, it is difficult to anticipate traffic generation. Based on light industrial trip rates for 14.8 acres, the development could generate approximately 510 average daily trips (ADT). Traffic generated by development of the property will be initially distributed to Bermuda Hundred Road, which had a 2018 traffic count of 2,100 vehicles per day (between Enon Church Road and Allied Road).

Section 19.1-231 of the County Code outlines the general requirements to meet the needs of the traffic generated by a proposed development, including acceptable levels of service. The applicant has offered to dedicate 45 feet of right-of-way, measured from the centerline, along Bermuda Hundred Road property frontage in accordance with the Thoroughfare Plan (Proffered Condition 6).

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Enon Station, Company Number 6
EMS Facility	The Rivers Bend Fire Station, Company Number 18

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Adam Wilkerson (804-674-2384) adam.wilkerson@vdot.virginia.gov

To date, no comments received on this request.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Ward (804-748-1028) wardr@chesterfield.gov

Geography

The subject property generally drains from west to east to an existing natural channel which drains under Bermuda Hundred Road and into an unnamed tributary of the James River. The entire property is located within the James River Watershed.

Environmental Features

A Resource Protection Area (RPA) Designation has been submitted to and confirmed by the Department of Environmental Engineering – Water Quality Section. There are no RPAs within the property limits.

There are areas of wetlands on the eastern side of the property. An updated wetland delineation must be submitted to the Department of Environmental Engineering prior to site plan approval. Wetlands and/or streams shall not be impacted without approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Stormwater Management

The development of the property is subject to the Part IIB technical criteria of the Virginia Stormwater Management Program Regulations for water quality and water quantity.

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

Mission

The County supports a high-quality park system to provide residents and visitors with balanced access to active and passive recreation opportunities. The 2018 level of service is 7.5 acres of regional, community and neighborhood parkland per 1,000 persons whereas the target level of service is 9 acres per 1,000 persons.

Nearby Parks & Facilities

- Brown and Williamson Conservation Area
- Fort Wead
- Sgt James Engle Park
- R Garland Dodd park at Point of Rocks
- Elizabeth Scott Elementary School
- Enon Elementary School
- Elizabeth Davis Middle School

Public Facilities Plan

The *Public Facilities Plan* identifies the need for two community parks in the Rivers Bend Area east of Interstate 95 and south of Dutch Gap Conservation Area.

The Bikeways and Trails Chapter of the Comprehensive Plan recommends provision of pedestrian/bicycle facilities along all routes shown on the *Plan* and connections from these routes and existing pedestrian/bicycle facilities to adjacent developments.

Recommendation

Construct the trail along Bermuda Hundred Road in front of the property to Allied Road.

Additional Parks Comments

This project is located nearest the Bikeways and Trails planned along Bermuda Hundred Road and Allied Road. This location is near Discovery Drive which provides access to the Brown and Williamson Conservation Area. The Brown & Williamson Conservation Area was the first public park in Virginia to be protected with a conservation easement.

UTILITIES	
Staff Contact: Matthew Rembold (804-706-7616) remboldm@chesterfield.gov	

Existing Water and Wastewater Systems			
Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	20"	Yes
Wastewater	No	10"	Yes

Additional Utility Comments:

The property is located within the mandatory water and wastewater connection areas for new non-residential structures and the applicant has proffered the use of these systems to serve the development. Both water and wastewater systems are available for connection at the property line.

Wastewater capacity available to this property is subject to a capacity agreement between the adjacent property owners and Chesterfield County. The applicant's engineer has indicated through correspondence with the Utilities Department demands of approximately 2,000 gpd which fits within the 5,000 gpd capacity we estimate being available to serve the property. Demands for this property will be evaluated at the time of site plan against the capacity agreement and any increases or transfers of capacity would be the responsibility of the developer.

The Utilities Department supports this case.

CASE HISTORY

Applicant Submittals

06/10 and 11/01/2019	Application submitted
07/09, 09/03, 11/01 and 11/06/2019	Proffered conditions and textual statement submitted

Planning Commission

11/19/2019	<p>Citizen Comments: No citizens commented on this request.</p> <p>Commission Discussion: Mr. Sloan noted the rezoning to General Industrial (I-2) was appropriate. After visiting the property, he agreed with staff that there were no unique site characteristics that would warrant a relief to setbacks.</p> <p>Recommendation – APPROVAL OF REQUEST I (REZONING) AND ACCEPTANCE OF TO THE PROFFERED CONDITIONS IN ATTACHMENT 2. DENIAL OF REQUEST II (CUPD).</p> <p>Motion: Sloan Second: Stariha AYES: Jackson, Freye, Jones, Sloan and Stariha</p>
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Board of Supervisors

12/11/2019	<p>Citizen Comments: No citizens commented on this request.</p> <p>Action – DEFERRED TO JANUARY 22, 2020 ON THE BOARD’S MOTION WITH THE APPLICANTS’ CONSENT.</p> <p>Motion: Jaeckle Second: Elswick AYES: Haley, Elswick, Holland, Jaeckle, Winslow</p>
The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.	

CONDITIONS

Note: Both the Planning Commission and Staff recommend that the following conditions not be accepted relative to Request II (Setbacks).

1. Master Plan. The Textual Statement dated November 1, 2019 shall be considered the Master Plan. (P)
2. Conceptual Plan. Development of the property shall generally conform to the Conceptual Plan prepared by Dean E. Hawkins, ASLA, dated July 8, 2019 and titled "Preliminary Site Masterplan". (P)

PROFFERED CONDITIONS

November 6, 2019

Note: The following conditions are recommended by both the Planning Commission and Staff.

1. Security and Access Control. The security of the site shall be provided to discourage trespassing by the installation of the following:
 - a. A minimum six (6) foot high chain link fence installed along the property boundary and/ or at the limits of the parking and storage areas located internally on the site, exclusive of the property frontage along Bermuda Hundred Road, and
 - b. Gate(s) of sufficient width shall be provided within this security fencing for access to the public right-of way, easement areas, utilities, etc., as may be required by the approved site plan. (P)
2. Dedication. Prior to any site plan approval, forty -five (45) feet of right-of-way on the north side of Bermuda Hundred Road, measured from the centerline of that part of Bermuda Hundred Road immediately adjacent to the Property, shall be dedicated free and unrestricted, to and for the benefit of Chesterfield County. (T)
3. Connection to Public Water and Sewer. The Chesterfield County public water and wastewater systems shall be used for domestic service requirements. It is anticipated that the development will draw about 2,000 gallons per day (gpd) from the public water system, which is less than the 5,000 gpd allocated for this site by the Utilities Department for treatment by the public wastewater system. (U)
4. Architectural Design. The exteriors of the buildings proposed for this site will be constructed as generally depicted on the elevations prepared by Dean E. Hawkins, ASLA dated July 8, 2019, and titled "A & A Express Transport". (P and BI)
5. Screening of Outside Storage. Outside storage shall be screened by a solid fence of comparable materials to the principal building in accordance with Zoning Ordinance requirements. Such fence shall be constructed of metal with brick pillars. Where visible from public rights of way, such brick pillars shall have a maximum separation of thirty-two (32) feet. (P)

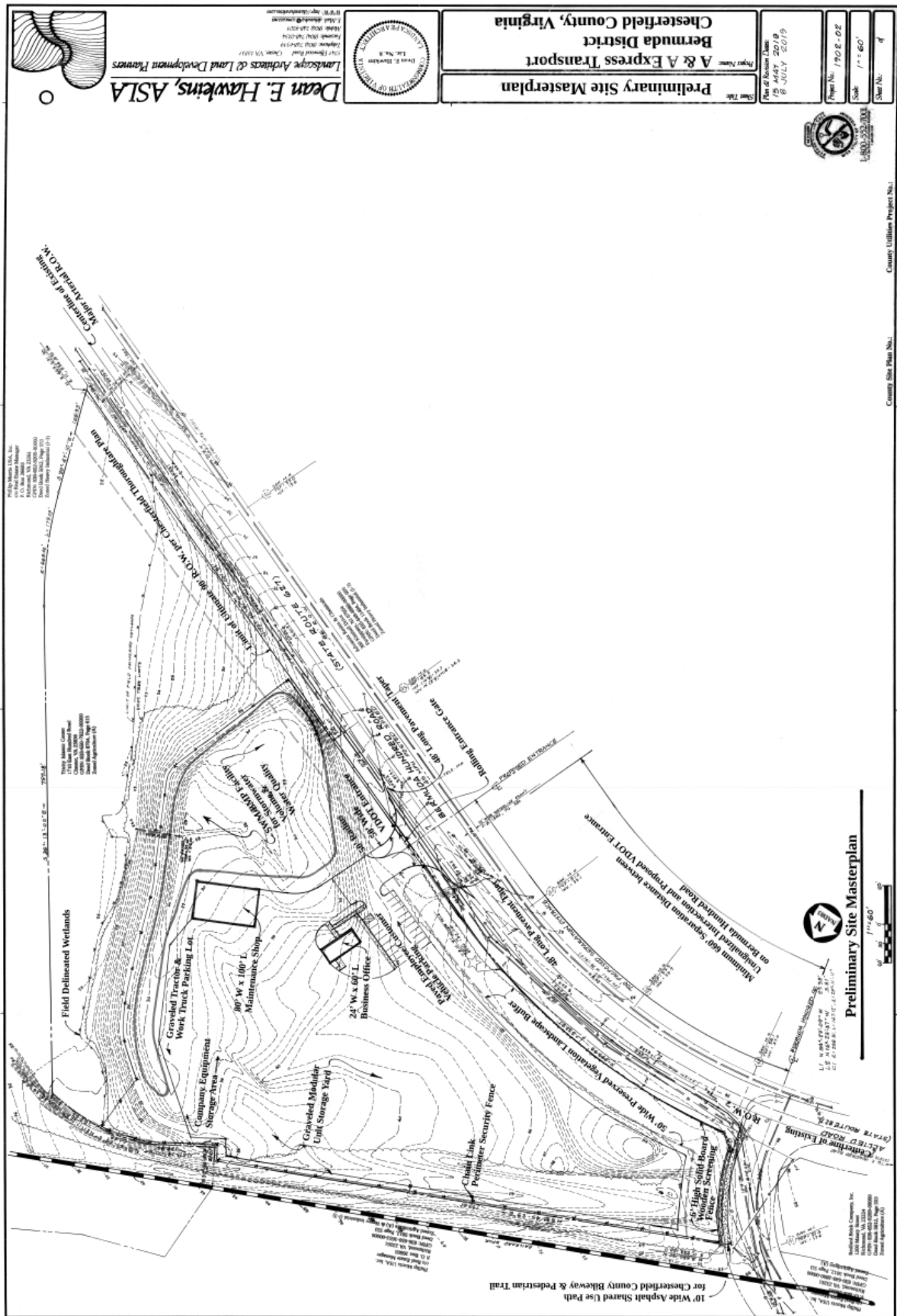
TEXTUAL STATEMENT

November 1, 2019

Setbacks – Bermuda Hundred Road. A minimum setback of fifty (50) feet shall be required for building, parking and outside storage areas from the ultimate right of way of Bermuda Hundred Road. Within this setback, landscaping shall comply with Ordinance requirements for 1.5 times Perimeter Landscape C, Option 1.

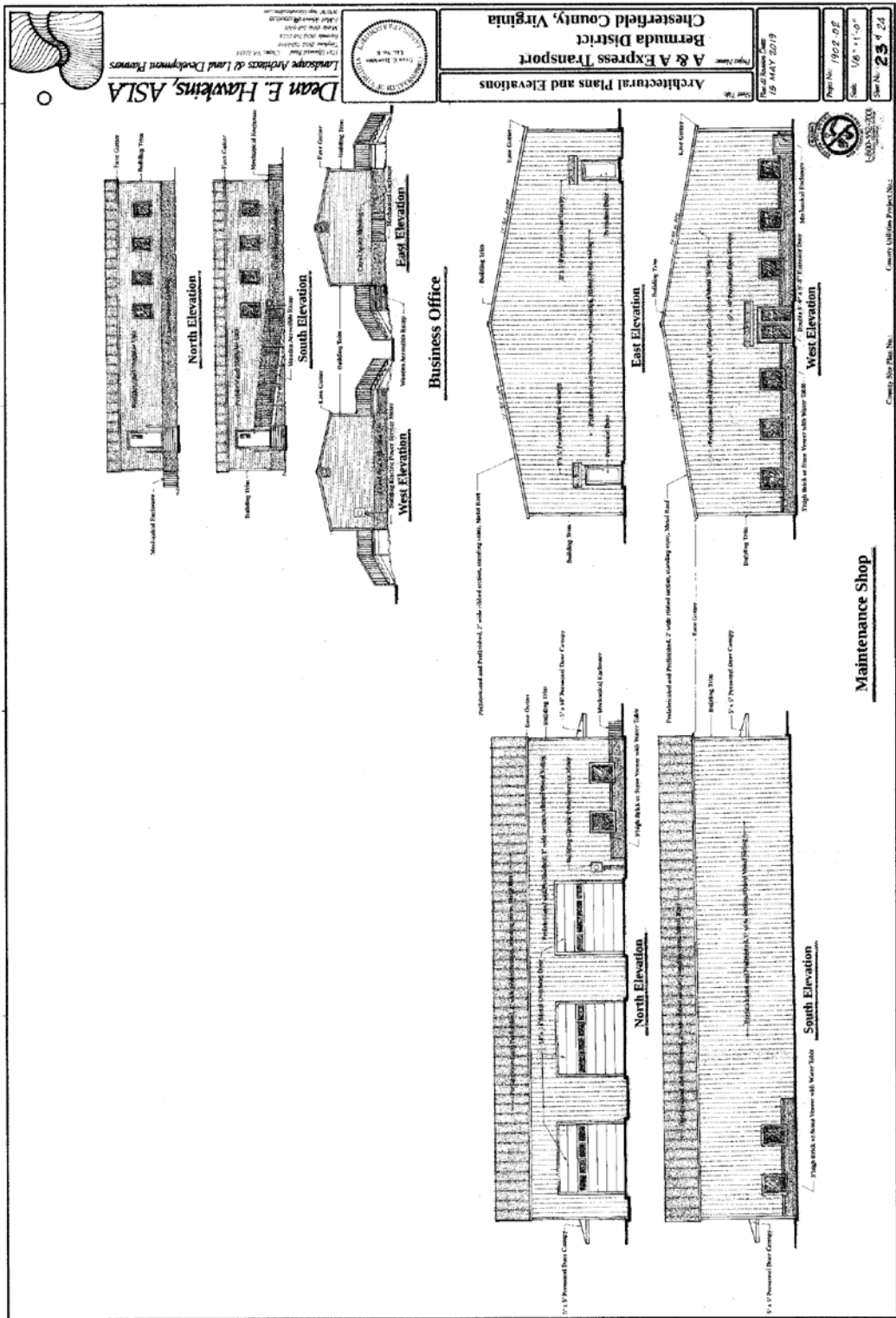
MASTER PLAN

July 8, 2019



SITE ELEVATIONS

May 15, 2019



CASE NUMBER: 19SN0628
APPLICANT: Dean L. Hawkins, LA

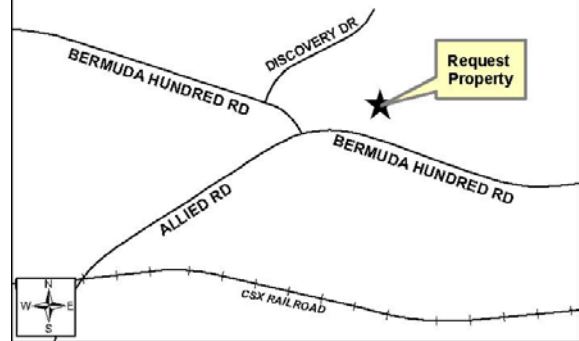


CHESTERFIELD COUNTY, VIRGINIA
BERMUDA DISTRICT

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Contacts:
 DEAN L HAWKINS (804-748-6519)
Planning Department Case Manager:
 TYLER WALTER (804-318-8893)



14.8 Acres – 3700 Bermuda Hundred Rd.

REQUESTS

REQUEST I – (Rezoning). Rezoning from Agricultural (A) to General Industrial (I-2).

REQUEST II – (Setbacks). Conditional Use Planned Development to permit setback reductions for parking (to include outside storage areas) and buildings.

Notes:

- A. Conditions may be imposed or the property owners may proffer conditions.
- B. Conditions, Proffered conditions, Textual Statement, and exhibits are located in Attachments 1-5.

SUMMARY

A contractor's office and storage yard are proposed. With approval of this request, uses permitted by right or with restrictions in the I-2 district would be permitted. Exceptions to setbacks buildings, outside storage area, and parking are requested to accommodate improvements on the site. A 25-foot reduction to the required 75-foot setback from Bermuda Hundred Road is requested with the provision of enhanced landscaping at 1.5 times the density of Landscape C, Option 1. Screening of outside storage areas will be provided in accordance with Zoning Ordinance requirements.

RECOMMENDATION

PLANNING
COMMISSION

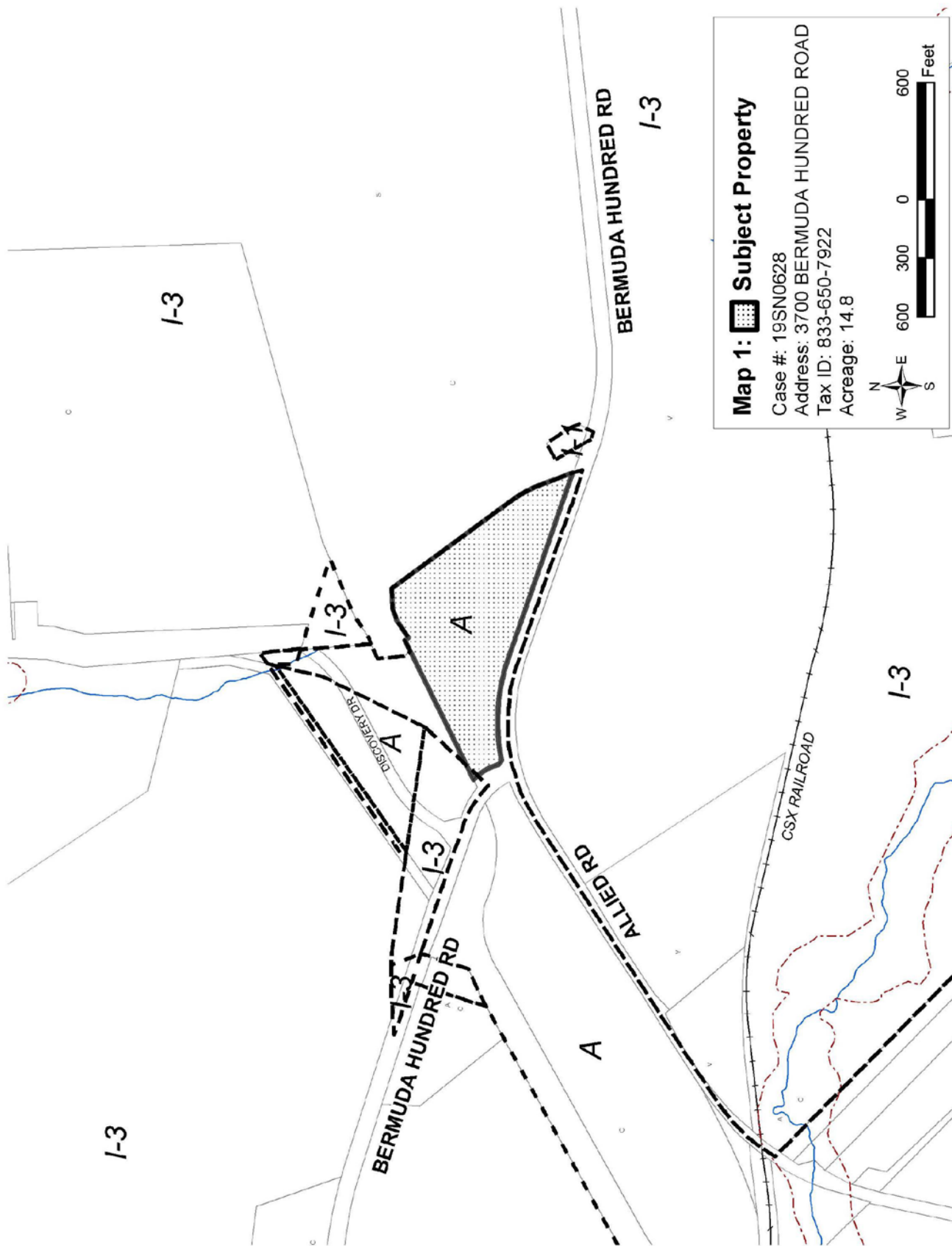
REQUEST I – (Rezoning) – **APPROVAL**
REQUEST II – (Setbacks) – **DENIAL**

STAFF

REQUEST I – (Rezoning) – **APPROVAL**

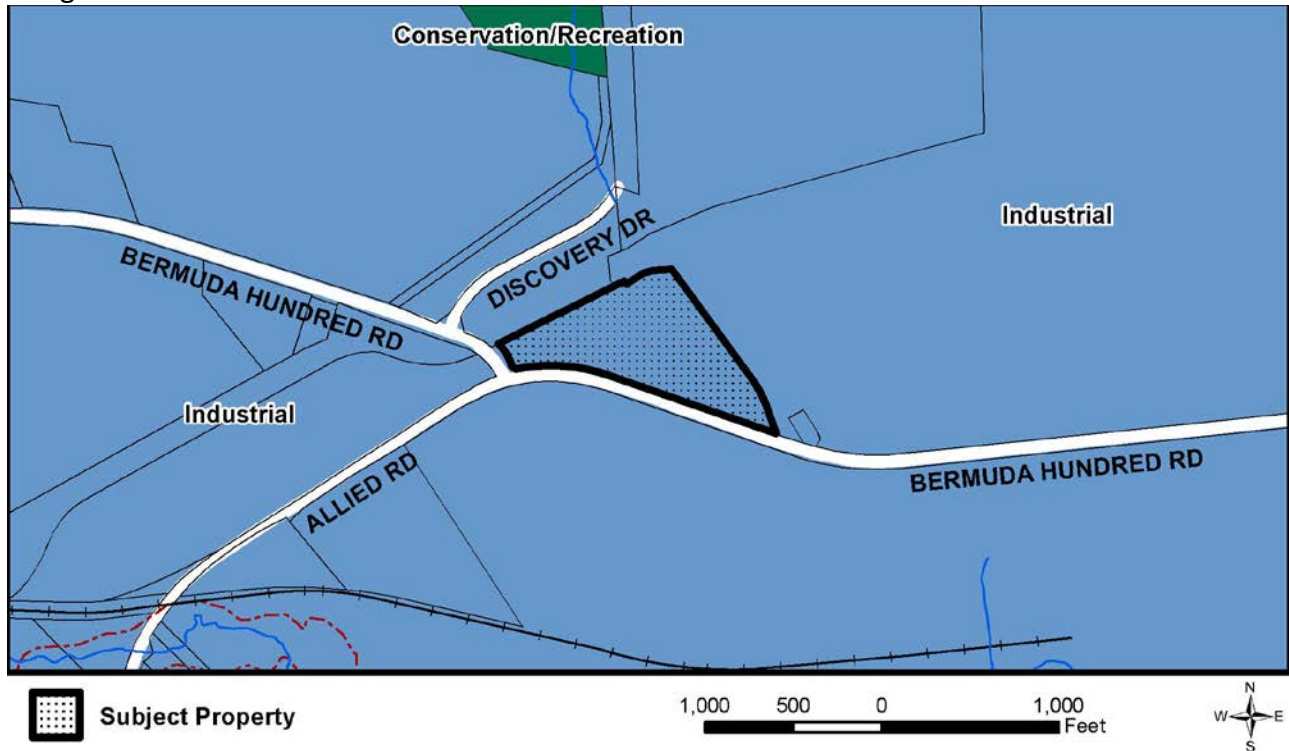
- Proposed zoning will provide for industrial land use as suggested by the Comprehensive Plan
- Compatible with existing and anticipated area industrial uses

REQUEST II – (Setbacks) – **DENIAL**
 No unique property characteristics to warrant relief to setback requirements.

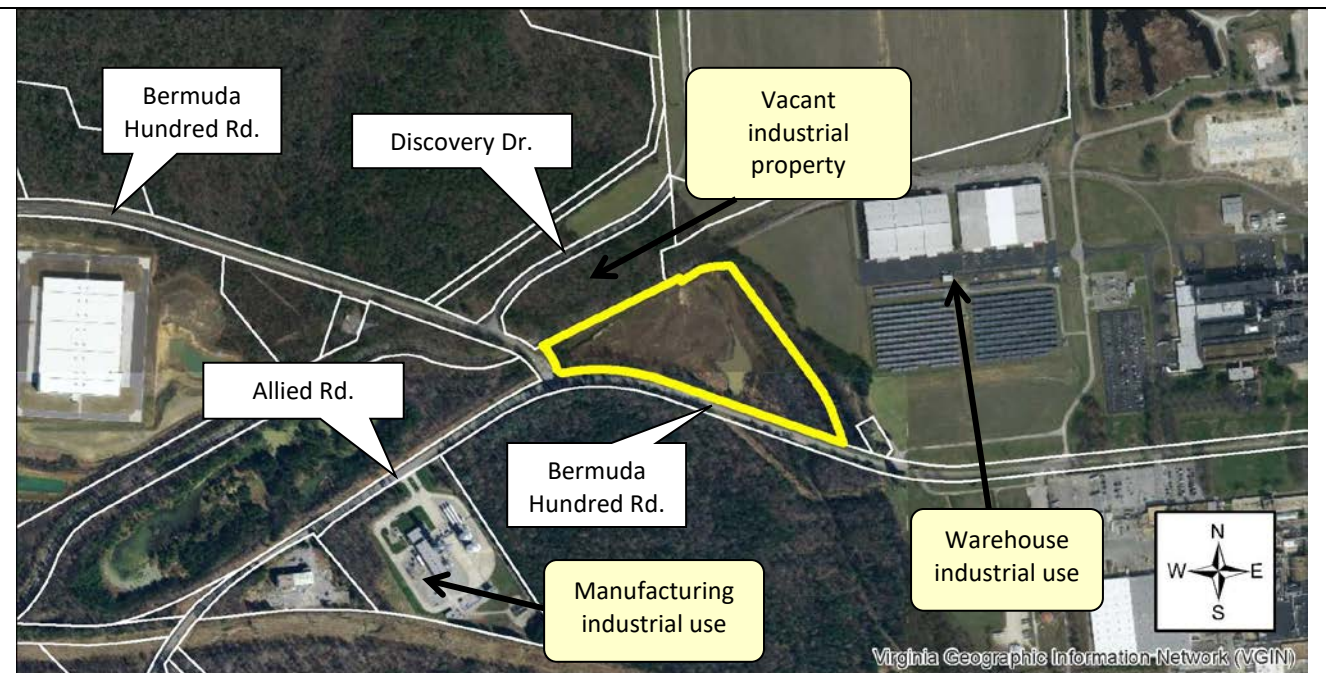


Comprehensive Plan
Classification: INDUSTRIAL

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Surrounding Land Uses and Development



PLANNING

Staff Contact: Tyler Walter (804-318-8893) waltert@chesterfield.gov

Zoning History

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Proposal

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Setback and Landscape Requirements – Bermuda Hundred Road		
Item	Ordinance (I-2)	Proposed (19SN0628)
Setback	75'	50'
Landscape	Landscape B	Landscape C x1.5

The applicant has indicated that a reduction to the setback is necessary because of site clearing and grading that has occurred from a 2010 site plan approval (10PR0279), and environmental features on the northeastern portions of the property. Specifically, the applicant has indicated that the wetland areas and site drainage limit the amount of buildable area on the property.

Upon examining the property, staff believes that of the 14.8 acres on the property, at least nine (9) acres are buildable for the proposed buildings and storage without encroaching the existing 75-foot setback or environmental features, providing adequate developable opportunity. For these reasons, staff cannot support the request for a setback reduction, and believes the existing setback requirements allow for the development of the property without hardship.

Screening of Outside Storage

Per Ordinance requirements, the views of outside storage areas must be screened from Bermuda Hundred Road. Screening may be accomplished by building design, berms, or durable architectural walls or fences of comparable materials to the principal building and designed to be compatible with the building. The applicant has proffered specific treatment of the fence proposed for screening (Proffered Condition 5).

Given the surrounding industrially-zoned properties and the recommendations of the Comprehensive Plan for Industrial land use, staff is supportive of the rezoning request (Request I). Due to the lack of unique property features, staff is not supportive the setback exception (Request II).

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamst@chesterfield.gov

The Comprehensive Plan, which includes the Thoroughfare Plan, identifies county-wide transportation needs that are expected to mitigate traffic impacts of future growth. This request will not limit development to a specific land use; therefore, it is difficult to anticipate traffic generation. Based on light industrial trip rates for 14.8 acres, the development could generate approximately 510 average daily trips (ADT). Traffic generated by development of the property will be initially distributed to Bermuda Hundred Road, which had a 2018 traffic count of 2,100 vehicles per day (between Enon Church Road and Allied Road).

Section 19.1-231 of the County Code outlines the general requirements to meet the needs of the traffic generated by a proposed development, including acceptable levels of service. The applicant has offered to dedicate 45 feet of right-of-way, measured from the centerline, along Bermuda Hundred Road property frontage in accordance with the Thoroughfare Plan (Proffered Condition 6).

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Enon Station, Company Number 6
EMS Facility	The Rivers Bend Fire Station, Company Number 18

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Adam Wilkerson (804-674-2384) adam.wilkerson@vdot.virginia.gov

To date, no comments received on this request.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Ward (804-748-1028) wardr@chesterfield.gov

Geography

The subject property generally drains from west to east to an existing natural channel which drains under Bermuda Hundred Road and into an unnamed tributary of the James River. The entire property is located within the James River Watershed.

Environmental Features

A Resource Protection Area (RPA) Designation has been submitted to and confirmed by the Department of Environmental Engineering – Water Quality Section. There are no RPAs within the property limits.

There are areas of wetlands on the eastern side of the property. An updated wetland delineation must be submitted to the Department of Environmental Engineering prior to site plan approval. Wetlands and/or streams shall not be impacted without approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Stormwater Management

The development of the property is subject to the Part IIB technical criteria of the Virginia Stormwater Management Program Regulations for water quality and water quantity.

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

Mission

The County supports a high-quality park system to provide residents and visitors with balanced access to active and passive recreation opportunities. The 2018 level of service is 7.5 acres of regional, community and neighborhood parkland per 1,000 persons whereas the target level of service is 9 acres per 1,000 persons.

Nearby Parks & Facilities

- Brown and Williamson Conservation Area
- Fort Wead
- Sgt James Engle Park
- R Garland Dodd park at Point of Rocks
- Elizabeth Scott Elementary School
- Enon Elementary School
- Elizabeth Davis Middle School

Public Facilities Plan

The *Public Facilities Plan* identifies the need for two community parks in the Rivers Bend Area east of Interstate 95 and south of Dutch Gap Conservation Area.

The Bikeways and Trails Chapter of the Comprehensive Plan recommends provision of pedestrian/bicycle facilities along all routes shown on the *Plan* and connections from these routes and existing pedestrian/bicycle facilities to adjacent developments.

Recommendation

Construct the trail along Bermuda Hundred Road in front of the property to Allied Road.

Additional Parks Comments

This project is located nearest the Bikeways and Trails planned along Bermuda Hundred Road and Allied Road. This location is near Discovery Drive which provides access to the Brown and Williamson Conservation Area. The Brown & Williamson Conservation Area was the first public park in Virginia to be protected with a conservation easement.

UTILITIES	
Staff Contact: Matthew Rembold (804-706-7616) remboldm@chesterfield.gov	

Existing Water and Wastewater Systems			
Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	20"	Yes
Wastewater	No	10"	Yes

Additional Utility Comments:

The property is located within the mandatory water and wastewater connection areas for new non-residential structures and the applicant has proffered the use of these systems to serve the development. Both water and wastewater systems are available for connection at the property line.

Wastewater capacity available to this property is subject to a capacity agreement between the adjacent property owners and Chesterfield County. The applicant's engineer has indicated through correspondence with the Utilities Department demands of approximately 2,000 gpd which fits within the 5,000 gpd capacity we estimate being available to serve the property. Demands for this property will be evaluated at the time of site plan against the capacity agreement and any increases or transfers of capacity would be the responsibility of the developer.

The Utilities Department supports this case.

CASE HISTORY

Applicant Submittals

06/10 and 11/01/2019	Application submitted
07/09, 09/03, 11/01 and 11/06/2019	Proffered conditions and textual statement submitted

Planning Commission

11/19/2019	<p>Citizen Comments: No citizens commented on this request.</p> <p>Commission Discussion: Mr. Sloan noted the rezoning to General Industrial (I-2) was appropriate. After visiting the property, he agreed with staff that there were no unique site characteristics that would warrant a relief to setbacks.</p> <p>Recommendation – APPROVAL OF REQUEST I (REZONING) AND ACCEPTANCE OF TO THE PROFFERED CONDITIONS IN ATTACHMENT 2. DENIAL OF REQUEST II (CUPD).</p> <p>Motion: Sloan Second: Stariha AYES: Jackson, Freye, Jones, Sloan and Stariha</p>
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Board of Supervisors

12/11/2019	<p>Citizen Comments: No citizens commented on this request.</p> <p>Action – DEFERRED TO JANUARY 22, 2020 ON THE BOARD’S MOTION WITH THE APPLICANTS’ CONSENT.</p> <p>Motion: Jaeckle Second: Elswick AYES: Haley, Elswick, Holland, Jaeckle, Winslow</p>
The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.	

CONDITIONS

Note: Both the Planning Commission and Staff recommend that the following conditions not be accepted relative to Request II (Setbacks).

1. Master Plan. The Textual Statement dated November 1, 2019 shall be considered the Master Plan. (P)
2. Conceptual Plan. Development of the property shall generally conform to the Conceptual Plan prepared by Dean E. Hawkins, ASLA, dated July 8, 2019 and titled "Preliminary Site Masterplan". (P)

PROFFERED CONDITIONS

November 6, 2019

Note: The following conditions are recommended by both the Planning Commission and Staff.

1. Security and Access Control. The security of the site shall be provided to discourage trespassing by the installation of the following:
 - a. A minimum six (6) foot high chain link fence installed along the property boundary and/ or at the limits of the parking and storage areas located internally on the site, exclusive of the property frontage along Bermuda Hundred Road, and
 - b. Gate(s) of sufficient width shall be provided within this security fencing for access to the public right-of way, easement areas, utilities, etc., as may be required by the approved site plan. (P)
2. Dedication. Prior to any site plan approval, forty -five (45) feet of right-of-way on the north side of Bermuda Hundred Road, measured from the centerline of that part of Bermuda Hundred Road immediately adjacent to the Property, shall be dedicated free and unrestricted, to and for the benefit of Chesterfield County. (T)
3. Connection to Public Water and Sewer. The Chesterfield County public water and wastewater systems shall be used for domestic service requirements. It is anticipated that the development will draw about 2,000 gallons per day (gpd) from the public water system, which is less than the 5,000 gpd allocated for this site by the Utilities Department for treatment by the public wastewater system. (U)
4. Architectural Design. The exteriors of the buildings proposed for this site will be constructed as generally depicted on the elevations prepared by Dean E. Hawkins, ASLA dated July 8, 2019, and titled "A & A Express Transport". (P and BI)
5. Screening of Outside Storage. Outside storage shall be screened by a solid fence of comparable materials to the principal building in accordance with Zoning Ordinance requirements. Such fence shall be constructed of metal with brick pillars. Where visible from public rights of way, such brick pillars shall have a maximum separation of thirty-two (32) feet. (P)

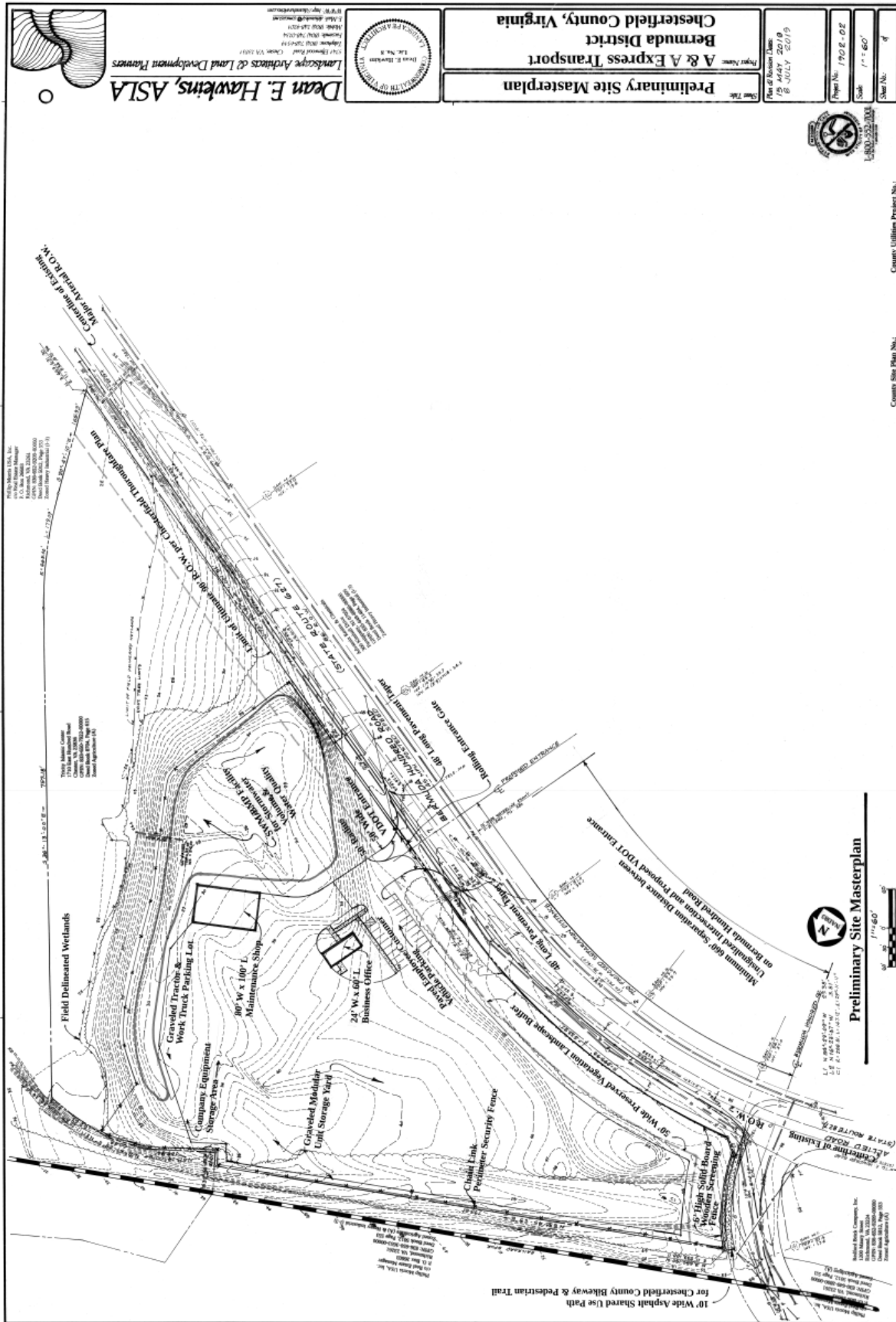
TEXTUAL STATEMENT

November 1, 2019

Setbacks – Bermuda Hundred Road. A minimum setback of fifty (50) feet shall be required for building, parking and outside storage areas from the ultimate right of way of Bermuda Hundred Road. Within this setback, landscaping shall comply with Ordinance requirements for 1.5 times Perimeter Landscape C, Option 1.

MASTER PLAN

July 8, 2019



CASE NUMBER: 19SN0597

APPLICANT: SRBF, LLC



**CHESTERFIELD COUNTY, VIRGINIA
MIDLOTHIAN DISTRICT**

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:

JANUARY 22, 2020

BOS Time Remaining:

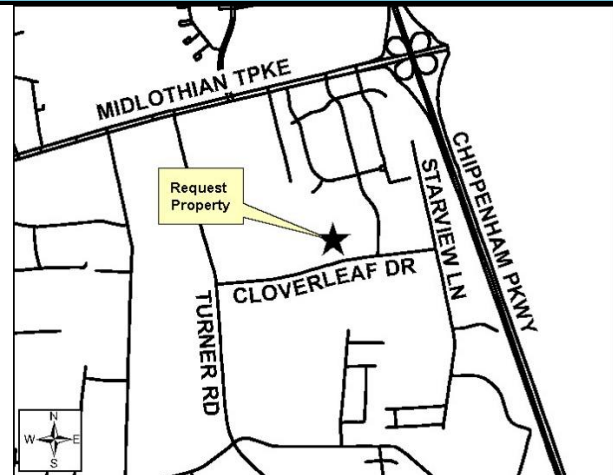
365 DAYS

Applicant's Contacts:

WILLIAM H. SHEWMAKE (804-343-5035)

Planning Department Case Manager:

DARLA ORR (804-717-6533)



109.0 Acres – 800 Starview Ln.
STARVIEW VILLAGE

REQUEST

Rezoning from Residential (R-7), General Business (C-5) and Agricultural (A) to Regional Business (C-4) with Conditional Use and Conditional Use Planned development to permit single family, townhouse and multifamily residential uses plus exceptions to ordinance requirements.

Notes:

- A. Conditions may be imposed or the property owners may proffer conditions.
- B. Proffered conditions, Textual Statement, SmartCode and exhibits are located in Attachments 1 – 6.

SUMMARY

The subject property is in a designated revitalization area. A mixed-use project (known as Starview Village) is planned, incorporating commercial and office uses, and a maximum of 1,250 dwelling units (multi-family, townhouse and cluster residential). Exceptions to Ordinance requirements are requested to provide an urban form-based development design (Textual Statement and Exhibit B, Attachments 2 and 3) as an overall community plan which addresses a specific form and scale of the development.

The proposal offers quality design and architectural standards (pages 6 and 7) which should enhance the surrounding area.

Under the Board's Road Cash Proffer Policy, no road cash proffer would be accepted in a revitalization area.

RECOMMENDATION	
PLANNING COMMISSION	APPROVAL
STAFF	<p>PLANNING – APPROVAL</p> <ul style="list-style-type: none"> • Proposal offers an integrated mix of highly concentrated office, commercial and higher density residential uses as suggested by the Comprehensive Plan • Development offers quality design and architecture which should enhance the surrounding community <p>TRANSPORTATION – APPROVAL</p> <ul style="list-style-type: none"> • The development's traffic impact will be addressed by providing road improvements. • Located within a revitalization area. Under the Road Cash Proffer Policy, no road cash proffer will be accepted. <p>ENVIRONMENTAL ENGINEERING – APPROVAL</p> <p>The applicant has offered measures to address the downstream flooding impact from the proposed development</p>

SUMMARY OF IDENTIFIED ISSUES	
Department	Issue
COMMUNITY ENHANCEMENT	<ul style="list-style-type: none"> • Use limitations pertaining to commercial retail greenhouses. • Development standards pertaining to foundation planting beds, and front porches and balconies
SCHOOLS	Post 2020, the <i>Public Facilities Plan</i> recommends the revitalization/replacement of A.M. Davis Elementary School. However, at this time a budget has not been developed for the acquisition of land or construction of these school facilities as recommended in the <i>Plan</i> .
LIBRARIES	The <i>Public Facilities Plan</i> suggests the Bon Air library should be expanded to 20,000 square-feet or what the property will allow. Land for expansion of this facility has not been acquired. The plan additionally recommends the expansion of the LaPrade library to a 35,000-40,000 square-feet or what the property will allow to address service gap and demand issues related to increases in population anticipated in this area of the county. Land for expansion or replacement of this facility or new facility has not been acquired.
PARKS	The <i>Public Facilities Plan</i> identifies the need for one Regional Park of 200 acres or multiple community parks of same aggregate acreage, in the Midlothian Area. The land for this park[s] has not been acquired.

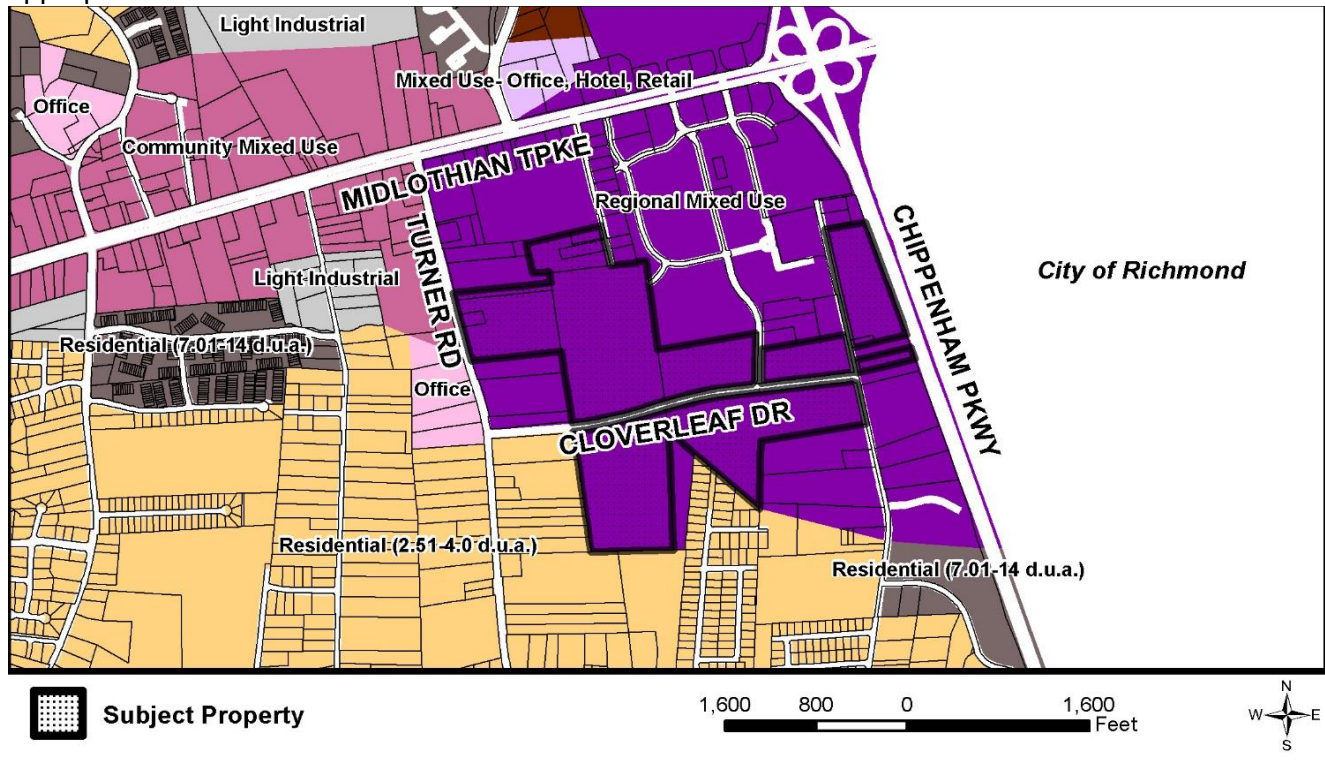
TABLE

REQUEST PROPERTIES	
Tax Identification Number	Address
762-705-7225	401 TURNER RD
762-705-9750	309 TURNER RD
763-705-0418	317 TURNER RD
763-705-1590	213 TURNER RD
763-705-3882	300 GRANITE SPRING RD
763-705-7089	224 GRANITE SPRING RD
763-705-9301	500 GRANITE SPRING RD
763-706-7503	214 GRANITE SPRING RD
764-703-1276	7431 CLOVERLEAF DR
764-704-8184	7200 CLOVERLEAF DR
765-704-0028	800 STARVIEW LN
765-704-6589	710 STARVIEW LN
766-704-3488	725 STARVIEW LN
766-705-1605	707 STARVIEW LN
766-705-1843	601 STARVIEW LN

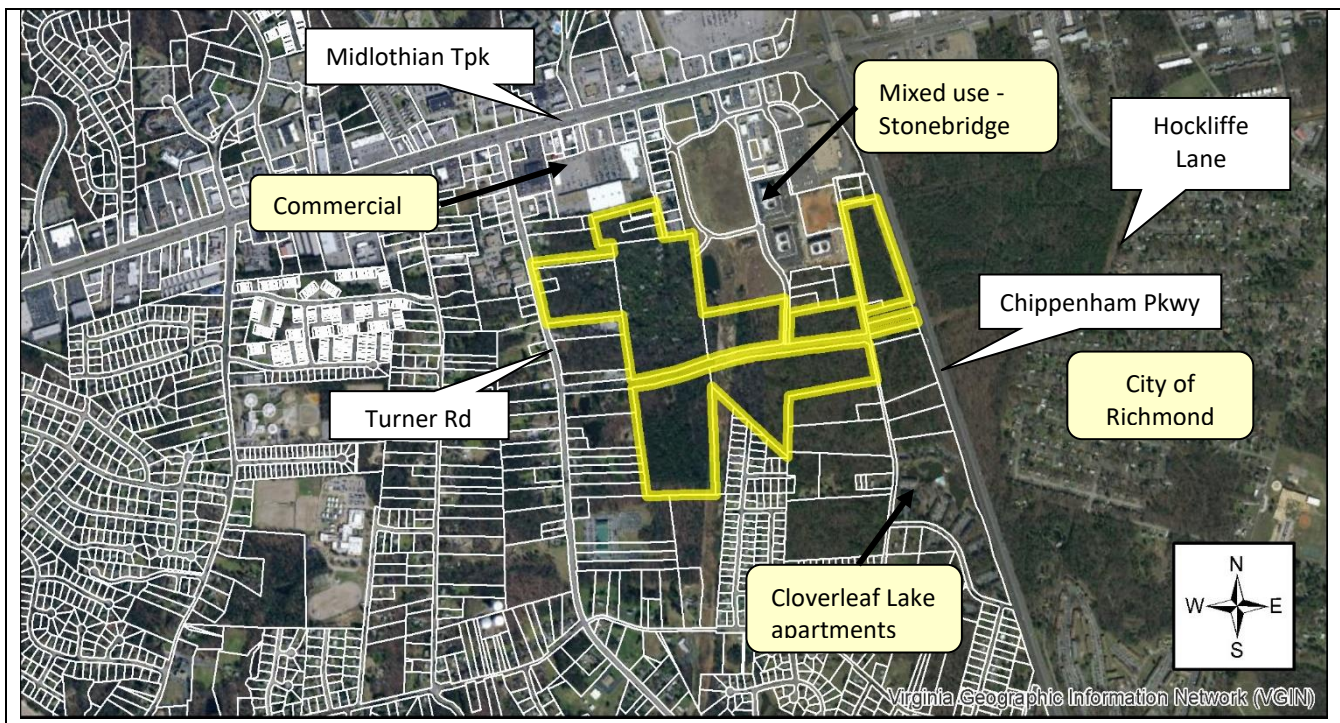
Comprehensive Plan - Eastern Midlothian Plan

Classification: REGIONAL MIXED USE

The designation suggests property is appropriate for an integrated mixture of regional office, shopping center and light industrial uses where high quality and upscale integrated residential uses may be appropriate.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Darla Orr (804-717-6533) orrd@chesterfield.gov

Proposal

Rezoning of the property to Regional Business (C-4) with Conditional Use and Conditional Use Planned development is proposed to permit single family, townhouse and multifamily residential uses plus exceptions to ordinance requirements. A mixed use development (known as Starview Village) is planned, incorporating commercial and office uses, and a maximum of 1,250 dwelling units (multi-family, townhouse and cluster residential). A maximum of 150 dwelling units would be permitted south of Cloverleaf Drive and a maximum of 1,100 dwelling units would be permitted north of Cloverleaf Drive.

The Conceptual Plan divides the property into eight (8) development tracts (or “Parcels” as referenced in the Textual Statement and Exhibit A, Attachments 2 and 3). A maximum of 1,250 residential dwelling units would be permitted. First floor commercial and office uses would be permitted with multi-family residential uses. No maximum density has been provided for non-residential uses. Permitted uses are identified by “Parcel” as outlined below and certain more intense commercial uses are prohibited as restricted by Textual Statement Item III.C:

- Parcel 1 – Multi-family residential, office and research and development facilities
- Parcels 2, 3 and 4 – Multi-family residential, office and commercial uses
- Parcel 5 – Commercial and office uses
- Parcel 6 – Residential townhomes and single family cluster style homes
- Parcel 7 – Recreational uses, residential townhomes and multi-family residential (condominiums)
- Parcel 8 – Indoor and outdoor storage (such as recreational vehicles) and parking

Mini-storage/warehouse facilities would be permitted in Parcels 4 and 5 (on floors above first floor) and Parcel 8, provided in Parcel 8, such facility would be limited to serving residents and businesses of the development. In addition, outdoor commercial recreational establishments would be permitted on Parcel 7 and in an aggregate of 1 acre for the entire remainder of the development.

Ordinance Exceptions and Form Based Code

Conditional Use Planned Development is requested to permit exceptions to ordinance requirements. Exceptions are requested to development standards, including minimum parcel size, setbacks, buffers, open space/recreational areas, parking, number of attached townhome units in a row, number of multi-family residential units per floor, building height, and access drive widths (Textual Statement, Attachment 2). The applicant proposes a form based (or “SmartCode”) to provide standards to serve as the framework for the development and public spaces (Exhibit C, Attachment 4). The applicant provides that the SmartCode would create walkable places and help to establish a sense of place. The SmartCode includes standards for street design, lighting, landscaping, building configuration, location and function, and community open spaces.

Textual Statement III.A. allows, at the applicant’s request, modification of the SmartCode standards by the Planning Commission at the time of site plan review provided any modification made by the Commission

would maintain a sense of place in keeping with the intent of the SmartCode. The exact layout of the development would be governed by the proffered conditions, SmartCode and Textual Statement.

Design

High quality residential development addresses the Comprehensive Plan goals for strong and sustainable neighborhoods that are visually attractive, well-planned and well-maintained. Further, the purpose and intent of the zoning ordinance to promote the health, safety, convenience and general welfare of the public includes the creation of convenient, attractive and harmonious communities, protection against overcrowding of land, and protection of the natural environment. As such, developments that promote unique, viable and long lasting places and enhance the community are encouraged.

The following provides a general overview of design requirements offered as part of this request (Attachments 1 - 4 – Proffered Conditions, Textual Statement and Exhibits B and C):

- Community
 - SmartCode – form based community design
 - Conceptual Plan (Exhibit A)
 - Open space/recreational amenities
 - Public bike and trail system
 - Supplemental yard trees
- Lots/Parcels
 - Screening of mechanical equipment
 - Paved driveways and walkways
- Buildings
 - Any multi-family buildings greater than 3 floors will include elevators
 - Exterior building treatment (no vinyl)
 - Exposed CMU (cementitious masonry unit) foundations prohibited
 - Architectural variation between adjacent buildings for cluster homes
 - Roof treatment for townhomes and cluster homes

As suggested by the Comprehensive Plan goals and the Zoning Ordinance, the proposal include quality design and architectural elements that should enhance the surrounding community.

COMMUNITY ENHANCEMENT

Staff Contact: Carl Schlaudt (804-318-8674) schlaudtc@chesterfield.gov

The project site is located in a revitalization area, consistent with the criteria-based approach of Road Cash Proffer Policy Section B.5 (as amended by the Board of Supervisors on April 26, 2017). Comprehensive Plan Chapter 7 (Revitalization) provides guidance for reviewing zoning cases in revitalization areas. The Plan states: *“Zoning should encourage substantial improvement compared to current conditions. Each project should promote development quality and long-term sustainability that is, on balance, superior to existing surrounding development conditions”* (RE 15).

The Department of Community Enhancement supports development in revitalization areas that represents a substantial improvement above current area conditions. This review process affirms the immediate and short-term benefit of new investment, while also seeking to ensure community benefits of long-term project sustainability through quality materials, design, and amenity.

On balance, this proposal (as reflected in the textual statement dated 12/5/19, proffers and SmartCode dated 12/5/19, and current code requirements), represents a substantial improvement above conditions of residential development in the vicinity of the project site. The proposal, if developed, could provide significant positive investment and amenity to this revitalization area.

Development Quality

This project would be a substantial improvement above surrounding area conditions in terms of: common recreational area, paved drives, foundation treatment, front walks, homeowner's association (which is required by code for R-TH projects containing common space), sidewalks, siding material, and street trees. The project would be generally equivalent to surrounding development in terms of: front porches (not specified), garages (not specified), HVAC screening, landscaping, roof materials (specified for cluster homes and townhouses only), and yard trees (not specified). The project would be generally less equivalent to surrounding development in terms of architectural variation (specified for cluster homes only) and foundation planting beds (not specified).

Given the project site's location at a community gateway area that includes a major county revitalization initiative (Stonebridge), and in view of the sheer size of the project (109.5 acres), careful consideration was given to how proposed conditions of zoning and underlying code requirements would promote development quality. Three aspects of the proposal should be noted where development to the *minimum* standard would not contribute to revitalization goals of long-term sustainability.

- *Land Uses:* The project proposal would allow one use that could potentially be developed to a scale incompatible with the vision of an integrated pedestrian oriented, mixed-use project. This use is "greenhouse, commercial retail" (a C-4 district permitted use). As proposed, a commercial retail greenhouse would have no size limitations in any T-5 transect areas.
- *Foundation Planting Beds:* The proposal would not require landscaping adjacent to building foundations along public streets. The Zoning Ordinance also does not currently require this landscaping feature. The proposed minimum building setbacks will result in undeveloped areas located between the sidewalk and the buildings, ranging from at least two (2) feet in T5 transect areas and six (6) feet in T4 transect areas. These areas could be left without plant cover. In contrast, development in the surrounding area has a range of planting treatments, many of which include foundation planter beds or planting strips.
- *Front Porches and Balconies:* The proposal would not require front porches on townhouse or cluster homes, or balconies for multifamily structures. The Zoning Ordinance likewise does not currently require these features, which are typical and common for newer intensive mixed-use developments (including the nearby Element at Stonebridge apartment project) and are important to provide private open space for each unit.

The Department of Community Enhancement encourages improvement of the three project elements discussed above; and supports the proposal.

BUDGET & MANAGEMENT

Staff Contact: Natalie Spillman (804-318-8767) spillmann@chesterfield.gov

County finance staff is responsible for managing the finances of the County and making recommendations to the County Administrator regarding the allocation of available resources for the provision of services and capital facilities to serve the citizens of the County. Finance staff will advise the County Administrator if changed economic circumstances require adjustments to the County’s budget or capital improvement program.

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamst@chesterfield.gov

The applicant is requesting to rezone approximately 109 acres to Regional Business (C-4) with a conditional use and conditional use planned development to permit single family, townhouse and multi-family residential uses. The property has frontage along the following public (state maintained) roads: Turner Road, Cloverleaf Drive, and Starview Lane.

The applicant has provided a maximum density of 1,250 residential dwelling units (Textual Statement III.M.). No maximum density has been provided by the applicant for other uses (i.e. office, commercial/retail). In addition to residential uses, office uses are permitted on Parcel 1 (approximately 11 acres) and commercial/retail uses are permitted on Parcels 2, 3, 4, and 5 (approximately 55 acres). This request will not limit development to a specific land use; therefore, it is difficult to anticipate trip generation. Based on the Concept Plan (Exhibit A), maximum residential units, and using various trip rates for multi-family mid-rise units and shopping center, the development could generate approximately 8,800 average daily trips (ADT). Traffic generated by development of the property will be distributed to Midlothian Turnpike (Route 60) and Turner Road via Cloverleaf Drive, Starview Lane, and Stonebridge private road network.

Route 60 is identified on the County’s *Thoroughfare Plan* as a major arterial with a recommended right of way width of 120 to 200 feet. Route 60 varies from a six and eight lane divided road from Chippenham Parkway (Route 150) to Providence Road. In 2018, the VDOT traffic count was 61,037 vehicles per day (Level of Service “D”).

Turner Road is identified on the County’s *Thoroughfare Plan* as a major arterial with a recommended right of way width of 90 feet. Turner Road is a five-lane undivided section (two lanes in each direction with a center turn lane). In 2018, the VDOT traffic count was 12,479 vehicles per day (Level of Service “B”).

Section 19.1-231 of the County Code outlines the general requirements to meet the needs of the traffic generated by a proposed development, including acceptable levels of service. This proposed residential development would contribute to an identifiable need for transportation improvements. The applicant has offered the following:

Dedications (Proffered Condition 6):

- Forty-five (45) feet of right of way along the east side of Turner Road.

Vehicular Access (Proffered Condition 7):

- One (1) entrance/exit to Turner Road.

Road Improvements (Proffered Condition 8):

- Connect Starview Lane to Stonebridge Shopping Center (with Parcel 1 development).
- Improve Starview Lane to two (2) ten (10) foot wide lanes and provide on-street parking along both sides from Cloverleaf Drive to approximately 1,600 feet north.
- Improve Cloverleaf Drive to two (2) eleven (11) foot wide lanes and four (4) foot paved shoulders along both sides from Turner Road to the Dominion Energy easement.
- Improve Cloverleaf Drive to two (2) twelve (12) foot wide lanes and provide on-street parking along both sides from the Dominion Energy easement to the Starview Lane intersection.
- Construction of a three (3)-lane typical section (i.e. two (2) westbound lanes and one (1) eastbound lane) along Cloverleaf Drive at the Turner Road intersection.
- Construction of additional pavement along the northbound lanes of Turner Road to provide a separate right turn lane at the Cloverleaf Drive and Site Road A intersections.
- Traffic signal modifications at the Cloverleaf Drive/Turner Road intersection.
- Sidewalk along the east side of Turner Road for the entire property frontage.
- Ten (10) foot shared use path along Cloverleaf Drive from Turner Road to the proposed North South Pedestrian pathway.

Noise from the traffic along Chippenham Parkway (Route 150), a limited access facility per the County's *Thoroughfare Plan*, may impact the proposed multi-family development on Parcel 1. Parcel 1 permits office, research and development, and R-MF (residential multi-family) uses. The applicant has proffered if Parcel 1 is developed for residential uses, then all the residential buildings shall have a 200-foot setback from the existing Chippenham Parkway right-of-way.

According to the Department of Community Enhancement, the property is located within a revitalization area. Under the Road Cash Proffer Policy, no road cash proffer will be accepted for development in these areas.

Staff supports this request.

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Adam Wilkerson (804-674-2384) adam.wilkerson@vdot.virginia.gov

The applicant has submitted a Traffic Impact Analysis (TIA) for the Starview Village, received by VDOT on May 1, 2019. VDOT provided comments to the County regarding the TIA on June 10, 2019. The applicant has requested the use of a mixed-use urban planning design criterion, the SmartCode, to govern the proposed roadway and intersection geometrics for the site. VDOT will require that the development comply with the current Secondary Street Acceptance Requirements (SSAR), unless the developer

follows the process for multi-modal design standards for mixed-use urban centers detailed in Appendix B(2) of the VDOT Road Design Manual. VDOT recommends that the zoning case not advance to the Planning Commission until all VDOT and CDOT comments on the TIA have been fully addressed. VDOT does not support the on-street parking within the functional area of any intersection.

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

Mission

The mission of Fire and Emergency Medical Services (EMS) is to protect life, property and the environment through a comprehensive fire and life safety program that ensures an adequate and timely response to emergencies.

Response Times

The proposed development is located in the urban response zone for which Fire & EMS has a goal of responding to at least 90% of the calls for service in under seven (7) minutes. Fire and EMS is currently unable to meet that goal.

Nearby Fire/EMS Facilities

- The Buford Fire Station, Company Number 9
- The Forest View Volunteer Rescue Squad

Anticipated Fire & EMS Impacts/Needs

Based on an average of .418 calls per dwelling, it is estimated that this development will generate 371 annual calls for Fire/EMS services.

Additional Fire and EMS Comments

Buildings or facilities exceeding 30 feet in height or three stories shall have at least two means of fire apparatus access for each structure.

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

SCHOOLS

Staff Contact: Atonja Allen (804-318-8740) atonja_allen@ccpsnet.net

Mission

High performing, high quality public schools contribute to the quality of life and economic vitality of the County. The comprehensive plan suggests a greater focus should be placed on linking schools with

communities by providing greater access, flexible designs and locations that better meet the needs of the communities in which they are located.

Capital Improvements

The School Board FY2020 adopted Capital Improvement Plan (CIP) continues to support the 2013 voter approved school revitalization program that will replace or renovate ten schools and construct one new elementary school to add capacity in the Midlothian area of the county. The ten existing facilities that are part of the revitalization program are Beulah Elementary School, Crestwood Elementary School, Enon Elementary School, Ettrick Elementary School, Harrowgate Elementary School, Matoaca Elementary School, Reams Elementary School, Manchester Middle School, Providence Middle School, and Monacan High School. A replacement Manchester Middle School is planned for construction on the existing school site, and the Beulah Elementary School, Enon Elementary School, Providence Middle School, and Monacan High School projects are complete. Additional school construction projects include a Matoaca Middle School addition on the east campus site, and the new Matoaca Elementary School will be constructed on the existing west campus site. Upon completion of the east campus addition, the current west campus building will be demolished and Matoaca Middle School will operate as a single, unified campus. Information on the CIP and School Board approved construction projects can be found in the financial section of the CCPS Adopted Budget for FY2020.

Anticipated School Impacts

	Elementary (PK to 5)	Middle (6 to 8)	High (9 to 12)	Total ⁽¹⁾
Anticipated Student Yield by School Type	135	81	89	305
Schools Currently Serving Area	A.M. Davis	Providence	James River	2019-20 School Year
Current Enrollment	739	1,100	1,904	
Design Capacity ⁽²⁾	780	1,101	2,208	
Enrollment Percent of Design Capacity	95%	100%	86%	
Program Capacity ⁽³⁾	727	1,152	2,164	
Enrollment Percent of Program Capacity	102%	95%	88%	
Total Number of Trailers	10	0	2	
Number of Classroom Trailers	8	0	2	
Note: ⁽¹⁾ Based upon the average number of students per dwelling unit for each of the school attendance zones where the proposal is located. Student Generation Factor (2017) is the actual total number of students by grade level divided by the actual total number of housing units by housing type. ⁽²⁾ Design capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the architectural program design of the existing building including all interior and exterior renovations to date and an inventory of all available space. Design capacity does not include site-based initiatives and is thus not subject to frequent change and represents prototypical design capacity using VDOE standards. ⁽³⁾ Program capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the current school programming that may adjust the number of rooms used for core or grade-level classrooms in the overall building design capacity.				

Public Facilities Plan

Post 2020, the *Public Facilities Plan* recommends the revitalization/replacement of A.M. Davis Elementary School. However, at this time a budget has not been developed for the acquisition of land or construction of this school facility as recommended in the *Plan*.

Additional School Comments

Over time, this case combined with other tentative residential developments, infill developments, and approved residential zoning cases in the area may cause these schools to reach or exceed their capacity.

LIBRARIES

Staff Contact: Jennifer Stevens (804-751-4998) stevensj@chesterfield.gov

Countywide Library Needs

The public library system's role in the county has expanded beyond its traditional function as a resource for information and materials, and now serves as a community gathering place for educational, cultural and informational services; community support during emergencies; economic development; and revitalization activities.

Anticipated Libraries Impacts

- Bon Air Library
- LePrade Library

Additional Library Comments:

The *Public Facilities Plan* suggests the Bon Air library should be expanded to 20,000 square-feet or what the property will allow. Land for expansion of this facility has not been acquired. The plan additionally recommends the expansion of the LaPrade library to a 35,000-40,000 square-feet or what the property will allow to address service gap and demand issues related to increases in population anticipated in this area of the county. Land for expansion or replacement of this facility or new facility has not been acquired.

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

Mission

The County supports a high-quality park system to provide residents and visitors with balanced access to active and passive recreation opportunities. The 2018 level of service is 7.5 acres of regional,

community and neighborhood parkland per 1,000 persons whereas the target level of service is 9 acres per 1,000 persons.

Nearby Parks Facilities

- Davis Athletic Complex
- Providence Athletic Complex
- Manchester Middle School
- Stonebridge Recreation Center

Public Facilities Plan

The *Public Facilities Plan* identifies the need for one Regional Park of 200 acres or multiple community parks of same aggregate acreage, in the Midlothian Area. The land for this park[s] has not been acquired.

The Bikeways and Trails Chapter of the Comprehensive Plan recommends provision of pedestrian/bicycle facilities along all routes shown on the *Plan* and connections from these routes and existing pedestrian/bicycle facilities to adjacent developments. The *Plan* shows a route adjacent or within this property connecting to the Stonebridge Recreation Center and Neighborhood Park.

Recommendation

The Applicant, in their proffered conditions, has addressed the recommendations of the Bikeways and Trails Chapter of the Comprehensive Plan and broad general goal of pedestrian connectivity within the community. The current Stonebridge area is a highly walkable, bikeable community. Their master plan connects the project area to the Chesterfield Bikeways and Trails system along the Powerline and/or throughout the development along Cloverleaf drive and the east-west pedestrian trail and sidewalk along Turner Road. Additional community open space, as proposed by the applicant would support Stonebridge Recreation Center and broader Turner Road service area.

Summary Of Identified Issues

None

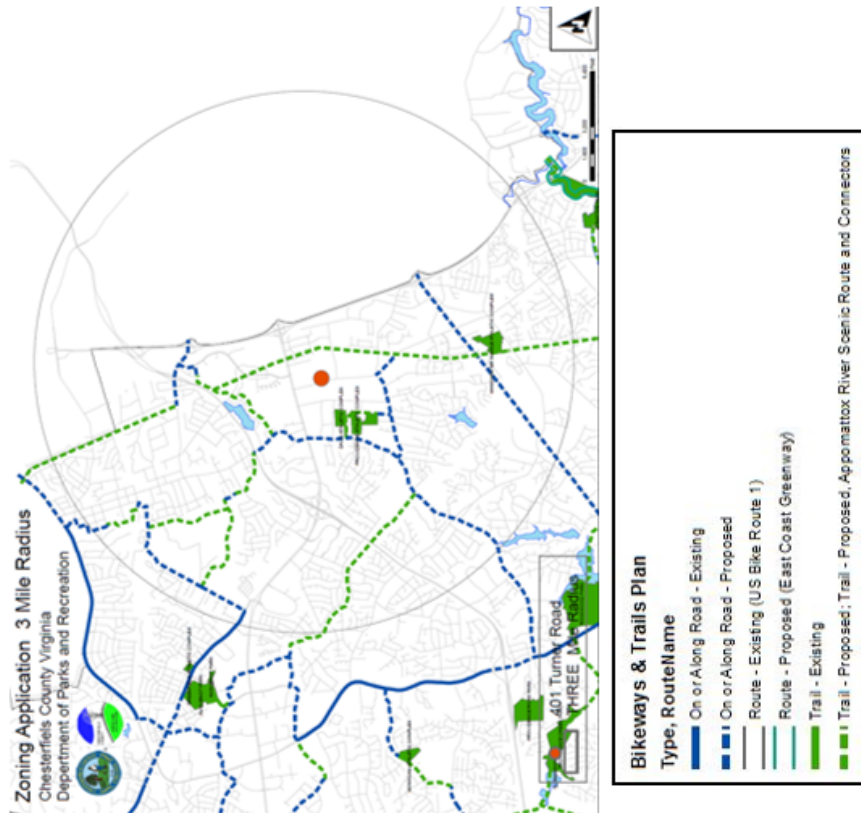
Additional Parks Comments

This project will generate demand for development of additional public recreation which could be accomplished by enhancing the future proposed neighborhood park associated with the Stonebridge Recreation Center.

Outdoor recreation opportunities to complement Stonebridge Recreation Center may include:

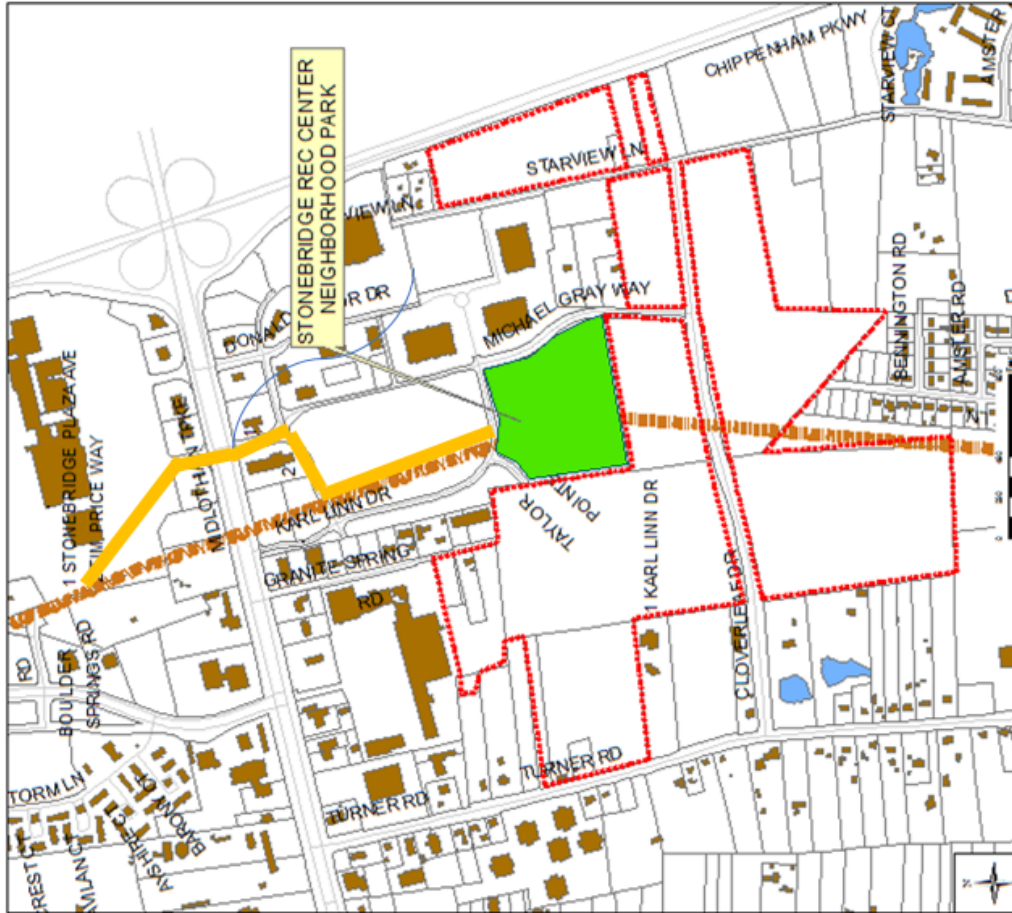
- Open fitness areas to include outdoor gym and fitness opportunities
- Unscheduled pen play area for informal sports, yoga in the park and meditation classes
- Space to accommodate evening programming including outdoor movies

Zoning Case Z00102 - Stonebridge
309, 317, 401, Turner RD,
300, 214, 224, 218, 500 Granite Spring RD,
7431, 7200 Cloverleaf DR
800, 710, 601, 707, 725 Starview LN



Nearby Proposed Trails - 
 This property includes Bikeways and Trails plan following the Powerline.

Outdoor recreation opportunities to complement Stonebridge Recreation Center
 Open fitness areas to include outdoor gym and fitness opportunities
 Open multi-use field for sports, yoga in the park and meditation classes
 Space to accommodate evening programming including outdoor movies



- Nearby Parks**
- Davis Athletic Complex
 - Providence Athletic Complex
 - Manchester Middle School
 - Stonebridge Recreation Center

Recommendation
 There is an opportunity to connect the project area to the Chesterfield Bikeways and Trails system along the Powerline and/or throughout the development. This project presents opportunities to develop public, recreation and enhance the Stonebridge Recreation Center. This is a highly walkable, bikeable community. Additional community open space would support Stonebridge Recreation Center.

UTILITIES

Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	12"	Yes
Wastewater	No	18", 15", 12"	Yes

Additional Utility Comments:

The applicant requests a mixed-use development consisting of multi-family, townhouses, cluster housing, condominiums, office, retail, and other commercial uses using form-based Smart Code design guidelines. The textual statement indicates a maximum density of 150 dwelling units south of Cloverleaf Drive, and 1,100 dwelling units north of Cloverleaf Drive.

The subject properties are located within the mandatory water and wastewater connection areas for new residential and non-residential structures. The applicant has proffered the use of county water and county wastewater for this project. The subject parcels have access to both county water and county wastewater, with an 18", 15", and 12" wastewater line running through the property along Pocosham Creek, and a 12" water lines traversing the properties along Turner Road, Cloverleaf Drive, and Michael Gray Way.

Based on the number of proposed units, the Utilities Department will require multiple water line feeds to ensure reliable service to these customers. Additionally, water and wastewater lines will be designed to allow for extension towards properties without access to county water and wastewater along Starview Lane. To address the size and complexity of this project on the county's utility system, the applicant has proffered completion of an overall utilities master plan, to include hydraulic analysis of the county's water and wastewater systems, with the first site plan or tentative subdivision plan on the property. Further, the applicant has proffered to address any capacity related improvements identified on the overall utilities master plan necessary to support the development of this project.

The Utilities Department supports this case.

CHESTERFIELD COUNTY DEPARTMENT OF UTILITIES



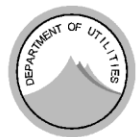
ACCURACY OF INFORMATION NOT GUARANTEED

This information is being provided to you as a public service.
WE DO NOT GUARANTEE ITS ACCURACY.
By using it in any way, you are agreeing to
Release the County, its employees and
officials from responsibility for
any consequence(s) if it proves
to be inaccurate.



Chesterfield County
Department of Utilities
Case 19SN0597
SRBF, LLC
MJR 8/29/2019

1 inch = 800 feet



ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Ward (804-748-1028) WardR@chesterfield.gov

Geography

The majority of the subject properties drains into an unnamed stream which traverses through the properties. The stream drains from northwest to southeast, under Cloverleaf Drive and Starview Lane to the existing ponds at the Cloverleaf Lake Apartments, and then under Chippenham Parkway to Pocoshock Creek. A small portion of properties drains from west to east to an existing ditch along Chippenham Parkway, then directly under Chippenham Parkway and to Pocoshock Creek. All of the subject properties are located within the Falling Creek Watershed.

Natural Resources

A Resource Protection Area (RPA) Designation has been submitted to and confirmed by the Department of Environmental Engineering – Water Quality Section. RPA exists along the stream which traverses through most of the proposed development, as well as two small tributaries of the stream. A Water Quality Impact Assessment must be submitted to and approved by the Department of Environmental Engineering and/or the Board of Supervisors for any improvements which encroach into the RPA.

Additionally, there are areas of wetlands associated with the streams on the properties. Wetlands and/or streams shall not be impacted without approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Drainage

The majority of the subject properties drains via an unnamed stream to the existing ponds at the Cloverleaf Lake Apartments, which were developed prior to the adoption of the Floodplain Ordinance in 1983. Since the mid-1970s, these apartments have experienced flooding of several of the units within at least one of the buildings.

With the proposed development, any increase in the runoff peak rate or volume from the development in this watershed upstream of the apartment complex will result in an increase in the amount and duration of the flooding of the existing apartments. The applicant has offered to address the downstream flooding impact from the proposed development. (Proffered Condition 4)

Stormwater Management

The development of the subject properties will be subject to the Part IIB technical criteria of the VSMP Regulations for water quality and quantity. Any areas of forest/open space used for stormwater quality compliance must be outside the limits of the residential lots, unless otherwise approved by the Department of Environmental Engineering.

CASE HISTORY	
Applicant Submittals	
2/18/19	Application submitted
4/12 & 6/7/19	Application amended
6/4, 6/26, 8/7, 8/12, 9/3, 11/8, 11/18 and 12/5/19	Revised proffered conditions, Textual Statement and exhibits submitted
Community Meeting	
9/5/19	Issues Discussed: <ul style="list-style-type: none"> Existing traffic concerns and impact of development (Future improvements to Midlothian Turnpike/Chippenham Parkway interchange; traffic, speeding and curves on Schloss Road from Hull Street Road to Starview Lane; connectivity/access to Kingsport Lane) Anticipated housing prices and impacts on area schools Enhancement to Corridor; attracting residents back to area and maintaining business growth
Planning Commission	
09/17/19	Action – DEFERRED TO November 19, 2019 ON THE COMMISSION’S OWN MOTION WITH THE APPLICANT’S CONSENT.
11/19/19	Action – DEFERRED TO December 17, 2019 ON THE COMMISSION’S OWN MOTION WITH THE APPLICANT’S CONSENT.
12/17/19	Citizens Comments: <ul style="list-style-type: none"> Consideration should be given to sidewalk and streetscape improvements along Midlothian Turnpike and Turner Road Open space/recreational area to be retained Applicant’s Comments: The applicant’s agent noted that approximately 40 percent of the property will be in open space which includes Resource Protection Areas (RPAs) and wetlands. Recreational amenities and trails will be located within these areas as permitted. He added that the proposal includes pedestrian interconnectivity. Commission Discussion: In response to questions from the Bermuda District Commissioner, staff confirmed that re-evaluation of criteria to determine revitalization areas has begun, and, that overtime, areas such as Stonebridge, may longer be considered revitalization areas due to reinvestment projects. Recommendation – APPROVAL AND ACCEPTANCE OF THE PROFFERED CONDITIONS IN ATTACHMENT 1 Motion: Jones Second: Freye AYES: Jackson, Freye, Jones, Sloan and Stariha
The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.	

PROFERRED CONDITIONS

December 5, 2019

Note: Both the Planning Commission and staff recommend acceptance of the following proffered conditions, as offered by the Applicant.

1. Master Plan. The Textual Statement dated December 5, 2019, and all referenced exhibits shall be considered the Master Plan. (P)
2. Public Water and Sewer. Public water and wastewater will be used. (U)
3. Utilities Master Plan.
 - A. The Developer will submit to the Utilities Department an overall utilities master plan for the development. The utilities master plan will be submitted with the first site plan or tentative subdivision plan on the Property.
 - B. The Developer will perform and submit a hydraulic analysis of the county's water and wastewater system to quantify the existing capacity as part of the overall utilities master plan. Any capacity related improvements required to support the demands of this development will be reflected on the overall utilities master plan.
 - C. To the extent existing capacity of sewer and water lines cannot support the demands of this development, the developer shall be responsible for the necessary water and/or sewer line improvements. (U)
4. Stormwater.
 The post-development peak discharge rates for the 1, 2, and 10-year storm events shall not exceed the pre-development peak discharge rates for the 1, 2 and 10-year storm events, respectively. The post-development 100-year peak discharge rate shall not exceed the 50-year pre-development peak discharge rate. Provided, however, in lieu of providing onsite detention/retention of the 100-year storm, if stormwater improvements per a watershed drainage study approved by the Department of Environmental Engineering are implemented prior to the commencement of the development, then the 100-year post-development peak discharge rate condition is satisfied if the discharge rate is consistent with the implemented improvements. (EE)
5. Parks and Trails.
 - A. North South Path Dedication. Prior to any site plan approval, the developer shall dedicate to the County a public easement for the County's Comprehensive Plan bike and trail system as generally shown on Exhibit A to the Textual Statement. The minimum width of the easement shall be 20 feet, and the exact location of the easement shall be determined at time of site plan approval for any of the parcels.
 - B. East West Pedestrian Path. To the extent permitted by Environmental Engineering and Planning, a path with a minimum width of 6 feet shall be provided generally as depicted on Exhibit A. The exact location shall be determined and designed in conjunction with site plan approval for Parcel 4. (P&R)

6. Dedication. In conjunction with recordation of the initial subdivision plat, prior to any site plan approval or within ninety (90) days from a written request by the Chesterfield Department of Transportation, whichever occurs first, forty-five (45) feet of right-of-way along the east side of Turner Road, measured from the centerline of that part of Turner Road immediately adjacent to the property, shall be dedicated, free and unrestricted, to and for the benefit of Chesterfield County. (T)
7. Access. Direct vehicular access from the Property to Turner Road shall be limited to one (1) entrance/exit. The exact location of the access shall be approved by the Transportation Department. (T)
8. Road Improvements. To provide an adequate roadway system, the developer shall be responsible for the following road improvements and shall be completed, as determined by the Transportation Department. The exact design, length, and/or modifications of these road improvements shall be approved by the Transportation Department. If any of the road improvements identified below are provided by others, as determined by the Transportation Department, then the specific road improvement shall no longer be required.
 - A. Connecting Starview Lane to the Stonebridge Shopping Center with the development of Parcel 1.
 - B. Improving Starview Lane to provide two (2) ten (10) foot wide travel lanes and two (2) seven (7) foot parking lanes from the Cloverleaf Drive/Starview intersection to approximately 1,600 feet north of the Cloverleaf Drive/Starview intersection, as generally shown on Exhibit C.
 - C. Improving Cloverleaf Drive from Turner Road to the eastern edge of the Dominion transmission line easement to provide two (2) eleven (11) foot wide travel lanes and a four (4) foot wide paved shoulder on both sides of the road, as generally shown on Exhibit C.
 - D. Improving Cloverleaf Drive, from the eastern edge of the Dominion transmission line easement to the Cloverleaf Drive/Starview Lane intersection to provide two (2) twelve (12) foot wide travel lanes and two (2) seven (7) foot parking lanes, as generally shown on Exhibit C.
 - E. Construction of a three-lane typical section (i.e. two westbound turn lanes and one eastbound lane) along Cloverleaf Drive at the intersection with Turner Road.
 - F. Construction of additional pavement along the northbound lanes of Turner Road at its intersection with Cloverleaf Drive to provide a separate right turn lane.
 - G. Bearing the full cost of traffic signalization modifications at the Cloverleaf Drive/Turner Road intersection to accommodate the required road improvements.

- H. Constructing additional pavement along the northbound lanes of Turner Road at its intersection with Site Road A to provide a separate right turn lane
 - I. Constructing a VDOT standard sidewalk along the east side of Turner Road for the entire Property frontage.
 - J. Construction of a ten (10) foot wide shared use path along Cloverleaf Drive from Turner Road to the proposed intersection with the North South Path, as generally shown on Exhibit A as "E." At time of site plan, the shared use path alignment and construction limits may be modified as determined by the Planning Department. Provided however, the exact location shall be determined at time of site plan to ensure consistency with the County Bikeway and Trails Plan.
 - K. Dedicating to Chesterfield County, free and unrestricted, of any additional right-of-way (or easements) required for the improvements identified above. In the event the Applicant is unable to acquire the "off-site" right-of-way that is necessary for the road improvements identified in 8.C., 8.E., 8.F., 8.G., 8.H., and 8.J., the Applicant may request, in writing, that Chesterfield County acquire such right-of-way as a public road improvement. All costs associated with the acquisition of the right-of-way shall be borne by the Applicant. In the event Chesterfield County chooses not to assist the Applicant in acquisition of the "off-site" right-of-way, the Applicant shall be relieved of the obligation to acquire the "off-site" right-of-way and shall provide the road improvements to the extent they can be constructed within available right-of- way, as determined by the Transportation Department. (T)
9. Phasing Plan. Prior to any tentative subdivision plan, construction plan, or site plan approval, whichever occurs first, a phasing plan for the required road improvements, as identified in Proffered Condition 8, shall be submitted to and approved by the Transportation Department. (T)
10. Elevator. Any multifamily residential building with more than 3 floors shall contain elevator(s). (P and BI)

EXHIBIT A - TEXTUAL STATEMENT

December 5, 2019

- I. REZONE. Rezone approximately 109.5 acres (the “Property”) from C-5, R-7, and A to C-4 with a Conditional Use Planned Development and Conditional Uses to allow use and standards exceptions as described herein, and as provided in the proffered conditions.
- II. EXHIBITS. Below are listed the Exhibits incorporated as part of the Textual Statement.

- A. Starview Village Concept Plan by Timmons Group dated August 30, 2019
- B. Starview Village SmartCode dated August 30, 2019
- C. Starview Village Public Roads Plan by Timmons Group dated August 30, 2019
- D. Starview Village Pedestrian Shed Plan by Timmons Group dated August 30, 2019

- III. GENERAL CONDITIONS.

- A. SmartCode. The intent of the Starview Village SmartCode (“SmartCode”) is to provide a framework for the development of public spaces in Starview Village. The SmartCode is not aspirational, but an enforceable document that, when followed in design, creates walkable places and helps establish a sense of place. Unless otherwise provided herein, or unless modified at the request of the developer by the Planning Commission at the time of site plan approval, all lots, building, and development standards and conditions shall be governed by and be consistent with the SmartCode. Any modification by the Planning Commission should maintain a sense of place in keeping with the intent of the SmartCode. To the extent the SmartCode addresses a standard or condition, the SmartCode controls over other Zoning Ordinance requirements. Provided, however, to the extent that the SmartCode may be inconsistent or conflict with an express requirement in the Textual Statement, then the language of the Textual Statement controls. Further, unless addressed by the Textual Statement, Proffered Conditions, or SmartCode, R-TH uses shall comply with County Ordinances that at time of zoning currently govern the R-TH Zoning District and R-MF uses will comply with County Ordinances that at time of zoning currently govern the R-MF Zoning District. To the extent applicable, the Emerging Growth District Standards that exist at time of zoning will apply instead of Post Development District Standards. The exact layout of the development shall be governed by the Proffered Conditions, the language of the Textual Statement and the SmartCode.
- B. Minimum Parcel Size. There shall be no minimum parcel size.

C. Prohibited Uses. Unless further restricted for a particular parcel as set forth herein, all C-4 uses by right or with restrictions shall be permitted, except the following shall be prohibited:

- i. All restricted uses identified as R(2) uses in the Zoning Ordinance with the exception of the following uses:
 - a) fabric goods manufacturing,
 - b) mini-storage/mini-warehousing facility
 - c) research development facility
- ii. Automobile repair
- iii. Automobile sales
- iv. Automobile self service station
- v. Automobile self service station, unmanned, but charging stations for electric vehicles are permitted
- vi. Automobile service station
- vii. Automobile wash
- viii. Check cashing incidental use
- ix. Clock manufacturing
- x. Columbarium
- xi. Conference center
- xii. Contractor's office and display room
- xiii. Crematorium
- xiv. Electric power Wind Energy System (WES)
- xv. Feed sales
- xvi. Flea market, indoor
- xvii. Funeral home
- xviii. Heating supply sales, service and display room
- xix. Hospital
- xx. Intercom accessory to permitted use
- xxi. Kennel, commercial
- xxii. Mass transportation station/terminal
- xxiii. Mortuary
- xxiv. Motorcycle, go-cart, all-terrain vehicle or similar type vehicle operation
- xxv. Parking lot, commercial
- xxvi. Parking lot, park and ride
- xxvii. Recycling receiving center, excluding recycling drop off bins
- xxviii. School, private School, public
- xxix. Telegraph service Telephone exchange
- xxx. Warehouse, accessory to permitted use
- xxxi. Warehouse, principal use

D. Restricted Uses.

- i. Mini-storage/mini-warehouse facility. Prohibited on all parcels except on Parcels 4 and 5 (on floors above first floors) and Parcel 8. Provided however, mini-storage/mini-warehouse facility on Parcel 8 is limited to serving residents and businesses in the development.

- ii. Recreational establishments, commercial – outdoor. Limited to one (1) acre in the aggregate for all parcels in the development, except for Parcel 7, where there shall be no area limitations.
- E. Buffers. There shall be no buffers between uses, and no buffers to adjacent properties except for the eastern property line of Parcel 6.
- F. Open Space, Common Area, and Recreational Uses. Unless otherwise provided, the parcels with R-TH or R-MF uses combined shall have an aggregate minimum of eight (8) acres of open space, exclusive of wetlands and resource protection areas. A minimum of four (4) acres of common area, in the aggregate, shall be provided for parcels with R-TH and R-MF residential uses, and each parcel with R-TH or R-MF residential uses shall have access to active recreation.
- G. Building Materials. All buildings shall have exterior wall surfaces constructed of brick, stone or cultured stone, architectural masonry, E.I.F.S., siding or trim, or cementitious board paneling, siding or trim, architectural metals, or other materials comparable in quality as approved by the Planning Department, all exclusive of windows, doors, cornices, accent bands, and architectural treatments which may be constructed of metal, fiberglass, E.I.F.S., stucco, or other materials comparable in quality as approved by the Planning Department. No vinyl products shall be permitted, with the exception of windows, which may be vinyl clad. All roofing materials for cluster homes and townhouses shall have a minimum thirty-year manufacturer's warranty, and the following materials may be used for roofing on townhouses and cluster homes:
- Dimension shingles
 - Natural Slate
 - Synthetic slate or shake
 - Standing seam metal (including copper)
- H. Quality.
- i. HVAC Equipment shall be screened from public view.
- ii. Foundation. Exposed CMU foundations are prohibited.
- iii. Driveways. Driveways and private walkways shall be paved. Exposed aggregate driveways are prohibited.
- I. Parcels. The numbered parcels identified on Exhibit A are comprised of the respective property tax IDs:
- i. Parcel 1: 766-705-1843 and 766-705-1605.
- ii. Parcel 2: 765-704-6589.
- iii. Parcel 3: 764-704-8184.
- iv. Parcel 4: 763-705-9301, 763-705-0418, 762-705-7225, and 762-705-9750.

- v. Parcel 5: 763-705-1590, 763-705-3882, 763-706-7503, 763-705-7094, and 763-703-7089.
 - vi. Parcel 6: 764-703-1276.
 - vii. Parcel 7: 765-704-0028.
 - viii. Parcel 8: 766-704-3488.
- J. Parking. In calculating required minimum parking spaces, parking spaces on immediately adjacent parcels may be aggregated. Provided further, parking spaces located on Parcel 8 may be included in calculating minimum parking spaces for parcels 1, 2, and 7. Each site plan shall address minimum parking requirements for that site and may incorporate existing available parking allocated as shared parking. An overall development parking calculation shall be provided with each site plan submission. On-street parking shall be calculated as part of the required parking. Parking requirements are set forth in Table 11 of the SmartCode.
- K. R-TH. The number of attached townhouses in any R-TH building shall not exceed 8.
- L. Height. Height shall be limited as set forth in the SmartCode. Buildings in T5 shall be limited to a maximum of 5 stories and 3 stories in T4.
- M. Density. There shall be a maximum density of 150 dwellings units south of Cloverleaf Drive. There shall be a maximum density of 1,100 dwelling units north of Cloverleaf Drive.
- N. Parking Setbacks. There shall be a 5-foot minimum setback of all parking spaces from public rights of way. The minimum setback of parking spaces from any building shall be governed by the Uniform Building Code.
- O. T5 Parcel Floor and Height Requirements and Limitations:
- i. There shall a maximum of forty (40) dwelling units per floor of any multifamily use building.
 - ii. R-MF Buildings. All multifamily buildings shall have a minimum of 4 stories, except condominium buildings may have a minimum of 3 stories.
- P. Access Drives. Access drives shall be a minimum of 20 feet in width.
- Q. Parcel 1. Parcel 1 shall be governed by SmartCode T5. Permitted uses include office, research and development facilities, and R-MF. If residential uses are developed on Parcel 1, then Parcel 1 shall be developed as R-MF with accessory uses, including rental and management offices. Provided, however, restaurants,

bars, and entertainment uses shall be permitted on roof tops of R-MF buildings. Provided further, if Parcel 1 is developed with residential uses, then all residential buildings shall have a 200-foot setback from the existing Chippenham Parkway right of way. A maximum of five (5) percent of all apartment units may have more than two (2) bedrooms, and no apartment unit will have more than three (3) bedrooms.

- R. Parcel 2. Parcel 2 shall be governed by SmartCode T5. Permitted uses include C-4 and accessory uses allowed herein and R-MF uses. If residential uses are developed on Parcel 2, then uses on Parcel 2 shall be limited to R-MF and accessory uses, which may include a sales, rental, or management office. Provided however, there may be retail uses on the first floor of a multi-story building and that restaurants, bars, and entertainment uses shall be permitted on roof tops of R-MF buildings. A maximum of five (5) percent of all apartment units may have more than two (2) bedrooms, and no apartment unit will have more than three (3) bedrooms.
- S. Parcel 3. Parcel 3 shall be governed by SmartCode T5. Permitted uses include C-4 and accessory uses allowed herein and R-MF uses. If residential uses are developed on Parcel 3, then uses on Parcel 3 shall be limited to R-MF and accessory uses, which may include a sales, rental, or management office. Provided however, there may be retail uses on the first floor of a multi-story building and restaurants, bars, and entertainment uses shall be permitted on roof tops of R-MF buildings. A maximum of five (5) percent of all apartment units may have more than two (2) bedrooms, and no apartment unit will have more than three (3) bedrooms.
- T. Parcel 4. Parcel 4 shall be governed by SmartCode T5. Permitted uses include C-4 and accessory uses allowed herein and R-MF uses. There shall be a minimum of 10 acres of open space, including wetlands and resource protection areas. Provided further that any retail uses, other than mini-storage/mini-warehouse facilities, shall be limited to the first floor of any building, which must be a multistory building. A maximum of five (5) percent of all apartment units may have more than two (2) bedrooms, and no unit apartment will have more than three (3) bedrooms.
- U. Parcel 5. Parcel 5 shall be governed by SmartCode T5. Permitted uses include C-4 and accessory uses allowed herein. Provided however, no residential uses shall be permitted.
- V. Parcel 6. Parcel 6 shall be governed by SmartCode T4. Parcel 6 shall be limited to R-TH uses, cluster homes, and accessory uses, including sales offices, model townhouses and model cluster homes. Provided further, any cluster home lots shall be a minimum of 5,000 square feet. Any townhouse on Parcel 6 shall be north of the parcel division line as generally shown on the Master Plan. There shall be a minimum of 3 acres of open space, which may include wetlands and resource protection areas. There shall be architectural variation of front elevations among the cluster homes, and adjacent cluster homes and cluster

homes directly across the street from each other shall be architecturally varied. Variation in the front elevation may not be achieved by simply mirroring the façade but may be accomplished by providing at least two (2) of the following architectural changes:

- i. adding or removing a porch or covered entry or increasing or decreasing the length of the porch or entry
- ii. varying the location and/or style of a front facing gable(s)
- iii. alternating the location of the garage
- iv. providing different materials and/or siding types on at least 50% of the elevation
- v. providing a different roof type/roof line.

- W. Parcel 7. Parcel 7 shall be governed by SmartCode T4 and shall be limited to active recreation uses, R-TH uses or condominiums and accessory uses, including sales and management offices. Provided further, Parcel 7 shall have a minimum of 10 acres of open space, which may include wetlands and resource protection areas.
- X. Parcel 8. Parcel 8 shall be governed by SmartCode T5. Parcel 8 may be used for parking for other parcels. It may also be used for indoor storage or outdoor storage, including recreational vehicle, non-commercial equipment, and vehicle storage for residents of any parcel, provided such vehicles and equipment are screened from view from public roadways. Any indoor or outdoor storage shall only be for the use of residents and businesses of the development and not available for general public use. The exact treatment of the screening shall be approved at time of site plan for any development of Parcel 8.
- Y. Minimum Retail and Office Gross Floor Area. There shall be no minimum gross floor area requirement for retail and office uses.

EXHIBIT B: CONCEPT PLAN

August 30, 2019



EXHIBIT C: SMARTCODE

August 30, 2019

SMARTCODE

EXHIBIT B

AUGUST 30, 2019

STARVIEW VILLAGE SMARTCODE

THE MATERIAL FROM THIS CODE HAS BEEN TAKEN FROM 'SMARTCODE VERSION 9.2' PUBLISHED BY THE TOWN
PAPER PUBLISHER, PREPARED BY THE CENTER FOR APPLIED TRANSECT STUDIES

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TABLE 1: Transect Zone Descriptions. This table provides descriptions of the character of each T-zone.

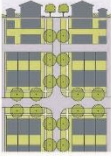
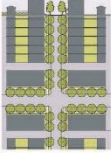
T4 	T-4 GENERAL URBAN T-4 General Urban Zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.	General Character: Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians Building Placement: Shallow to medium front and side yard Setbacks Frontage Types: Porches, fences, Dooryards Typical Building Height: 2- to 3-Story with a few taller Mixed Use buildings Type of Civic Space: Squares, Greens
T5 	T-5 URBAN CENTER T-5 Urban Center Zone consists of higher density mixed use building that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.	General Character: Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity Building Placement: Shallow Setbacks or none; buildings oriented to street defining a street wall Frontage Types: Stoops, Shopfronts, Galleries Typical Building Height: 3- to 5-Story with some variation Type of Civic Space: Parks, Plazas and Squares, median landscaping

TABLE 4A: Public Frontages - General. The Public Frontage is the area between the private Lot line and the edge of the vehicular lanes. Dimensions are given in Table 4B.

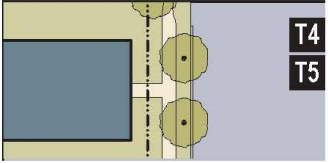
	<p>PLAN</p> <p>LOT R.O.W. PRIVATE FRONTAGE PUBLIC FRONTAGE</p> 
c. (ST) For Street: This Frontage has raised Curbs drained by inlets and Sidewalks separated from the vehicular lanes by individual or continuous Planters, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee, with the exception that Streets with a right-of-way (R.O.W.) width of 40 feet or less are exempt from tree requirements.	

Table 4B: Public Frontages - Specific. This table assembles prescriptions and dimensions for the Public Frontage elements - Curbs, walkways and Planters – relative to specific Thoroughfare types within Transect Zones. Table 4B-a assembles all of the elements for the various street types. Locally appropriate planting species should be filled in to the calibrated Code.

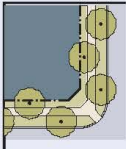
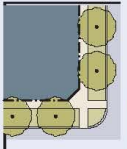


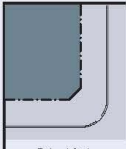
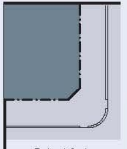


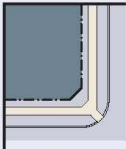
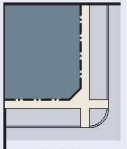

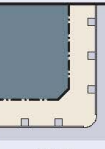
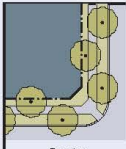
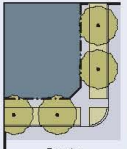
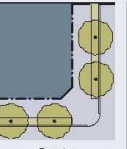

TRANSECT ZONE Public Frontage Type	T4 ST-DR-AV	T4 T5 ST-DR-AV-BV	T5 CS-DR-AV-BV	T5 CS-DR-AV-BV
a. Assembly: The principal variables are the type and dimension of Curbs, walkways, Planters and landscape. <div>Total Width</div>	 12-18 feet	 12 feet	 12 feet	 18-30 feet
b. Curb: The detailing of the edge of the vehicular pavement, incorporating drainage. <div>Type</div> <div>Radius</div>	 Raised Curb 5-20 feet	 Raised Curb 20 feet	 Raised Curb 20 feet	 Raised Curb 5-20 feet
c. Walkway: The pavement dedicated exclusively to pedestrian activity. <div>Type</div> <div>Width</div>	 Sidewalk 4-8 feet	 Sidewalk 5 feet	 Sidewalk 6 feet	 Sidewalk 12-30 feet
d. Planter: The layer which accommodates street trees and other landscape. <div>Arrangement</div> <div>Species</div> <div>Planter Type</div> <div>Planter Width</div>	 Regular Alternating Continuous Planter 8 feet-12 feet	 Regular Single Continuous Planter 12 feet	 Regular Single Continuous Planter 12 feet	 Opportunistic Single Tree Wall 4 feet-6 feet
e. Landscape: The recommended plant species. (See Table 6)				
f. Lighting: The recommended Public Lighting. (See Table 5)				

TABLE 4C: Thoroughfare Assemblies. These Thoroughfares are assembled from the elements that appear in Tables 3A and 3B and incorporate the Public Frontages of Table 4A. The key gives the Thoroughfare type followed by the right-of-way width, followed by the pavement width, and in some instances followed by specialized transportation capability.

KEY		ST-57-20-BL	
Thoroughfare Type			
Right of Way Width			
Pavement Width			
Transportation			
THOROUGHFARE TYPES			
Highway:	HW		
Boulevard:	BV		
Avenue:	AV		
Commercial Street:	CS		
Drive:	DR		
Street:	ST		
Road:	RD		
Rear Alley:	RA		
Rear Lane:	RL		
Bicycle Trail:	BT		
Bicycle Lane:	BL		
Bicycle Route:	BR		
Path:	PT		
Passage:	PS		
Transit Route:	TR		

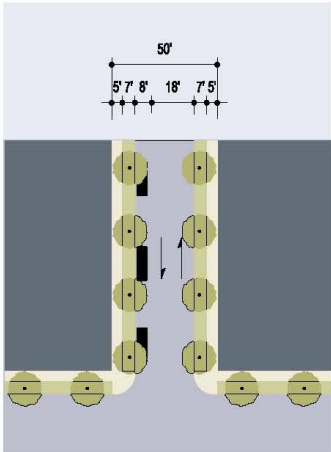
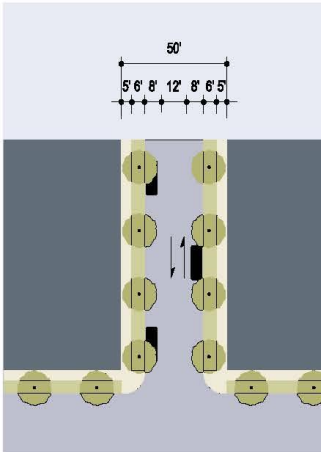
			
			
		ST-50-26	ST-50-28
Thoroughfare Type	Street	Street	Street
Transect Zone Assignment	T4, T5	T4, T5	T4, T5
Right-of-Way Width	50 feet	50 feet	50 feet
Pavement Width	26 feet	28 feet	28 feet
Movement	Slow Movement	Yield Movement	Yield Movement
Design Speed	20 MPH	20 MPH	20 MPH
Pedestrian Crossing Time	7.4 seconds	7.6 seconds	7.6 seconds
Traffic Lanes	2 lanes	2 lanes	2 lanes
Parking Lanes	One side @ 8 feet marked	Both sides @ 8 feet unmarked	Both sides @ 8 feet unmarked
Curb Radius	10 feet	10 feet	10 feet
Walkway Type	5 foot Sidewalk	5 foot Sidewalk	5 foot Sidewalk
Planter Type	7 foot continuous Planter	6 foot continuous Planter	6 foot continuous Planter
Curb Type	Curb	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	BR	BR	BR

TABLE 5: Public Lighting. Lighting varies in brightness and also in the character of the fixture according to the Transect. The table shows five common types. A listed set of streetlights corresponding to these types would be approved by the utility company and listed on the page.












	T4	T5
Cobra Head 		
Pipe 		
Post 	■	
Column 	■	■
Double Column 		■

TABLE 6: Public Planting. This table shows six common types of street tree shapes and their appropriateness within the Transect Zones. The local planning office selects species appropriate for the bioregion.

	T4	T5
Pole 	■	■
Oval 	■	■
Ball 	■	■
Pyramid 	■	
Umbrella 	■	
Vase 	■	

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TABLE 7: Private Frontages. The Private Frontage is the area between the building Facades and the Lot lines.

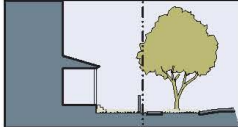
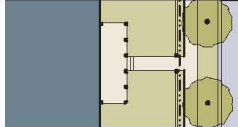


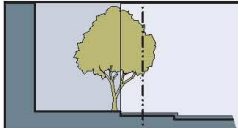
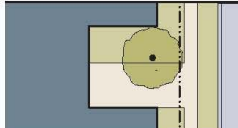
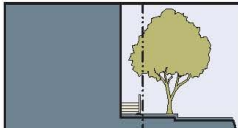

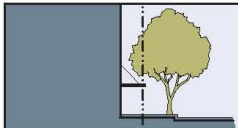

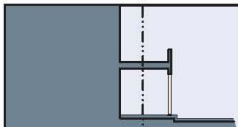

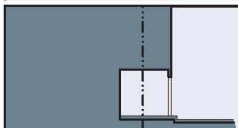

	SECTION		PLAN		
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	
b. Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.					T4
c. Terrace or Lightwell: a Frontage wherein the Facade is set back from the Frontage line by an elevated terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard .					T4 T5
d. Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.					T4 T5
e. Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.					T4 T5
f. Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that may overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.					T4 T5
g. Gallery: a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.					T4 T5
h. Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. See Table 8.					T5

TABLE 8: Building Configuration. This table shows the Configurations for different building heights for each Transect Zone. It must be modified to show actual calibrated heights for local conditions. Recess Lines and Expression Lines shall occur on higher buildings as shown. N = maximum height as specified in Table 14k.

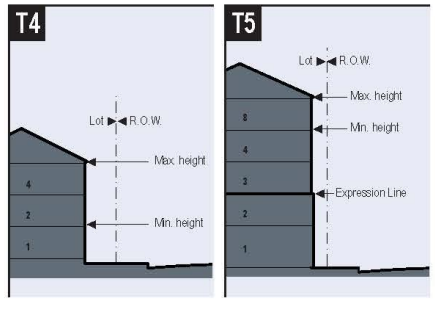
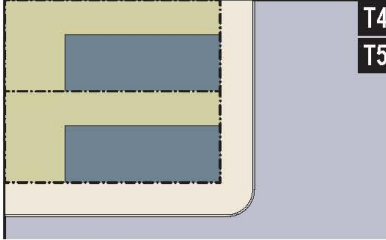


TABLE 9: Building Disposition. This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

<p>a. Edgeyard: Specific Types - single family House, cottage, villa, estate house, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>	
<p>b. Sideyard: Specific Types - Charleston single house, double house, zero lot line house, twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition.</p>	
<p>c. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, loft building, Apartment House, Mixed Use Block, Flex Building, perimeter Block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	
<p>d. Courtyard: Specific Types - patio House. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>	

TABLES 10 & 11. BUILDING FUNCTION & PARKING CALCULATIONS SMARTCODE

TABLE 10: Building Function. This table categorizes Building Functions within Transect Zones. Parking requirements are correlated to functional intensity. For Specific Function and Use permitted By Right or by Warrant, see Table 12.

ALL AREAS	
a. RESIDENTIAL	Residential: The number of dwellings on each Lot is limited by the requirement of either 1.5 or 2.0 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 11).
b. LODGING	Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.0 assigned parking places for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.
c. OFFICE	Office: The building area available for office use on each Lot is limited to the first Story of the principal building and/or to the Accessory building, and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.
d. RETAIL	Retail: The building area available for Retail use is limited to the first Story of buildings at corner locations, not more than one per Block, and by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 40.
e. CIVIC	See Table 12
f. OTHER	See Table 12

TABLE 11: Parking Calculations. The Shared Parking Factor for two Functions, when divided into the sum of the two amounts as listed on the Required Parking table below, produces the Effective Parking needed for each site involved in sharing. Conversely, if the Sharing Factor is used as a multiplier, it indicates the amount of building allowed on each site given the parking available.

T4	
RESIDENTIAL (SF)	2.0 / dwelling
RESIDENTIAL (MF)	1.5 / dwelling
LODGING	1.0 / bedroom
OFFICE	3.0 / 1000 sq. ft.
RETAIL	4.0 / 1000 sq. ft.
CIVIC	To be determined by warrant
OTHER	To be determined by warrant

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SHARED PARKING FACTOR

Function	with		Function
RESIDENTIAL			RESIDENTIAL
LODGING			LODGING
OFFICE			OFFICE
RETAIL			RETAIL

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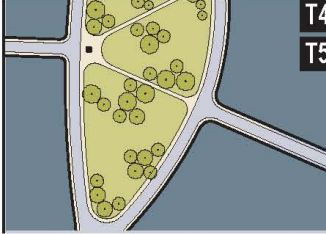
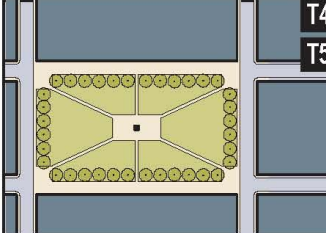
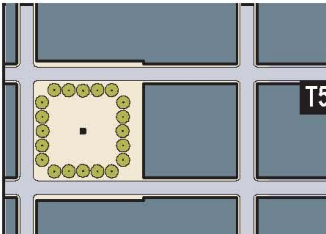
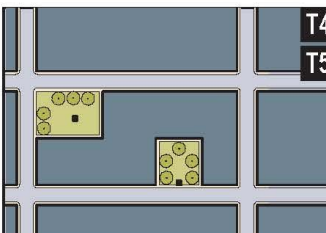
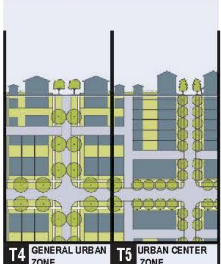
<p>b. Green: An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.</p>	 <div>T4 T5</div>
<p>c. Square: An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.</p>	 <div>T4 T5</div>
<p>d. Plaza: An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.</p>	 <div>T5</div>
<p>e. Playground: An Open Space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.</p>	 <div>T4 T5</div>

TABLE 14. SMARTCODE SUMMARY

SMARTCODE



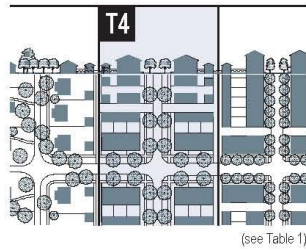
T4 GENERAL URBAN ZONE **T3 URBAN CENTER ZONE**

a. ALLOCATION OF ZONES per		
CLD requires	20 - 40%	not permitted
TND requires	30 - 60 %	10 - 30%
RCD requires	10 - 30%	10 - 30%
b. THOROUGHFARES (see Table 13)		
HW	not permitted	not permitted
BV	permitted	permitted
AV	permitted	permitted
CS	not permitted	permitted
DR	permitted	permitted
ST	permitted	permitted
RD	not permitted	not permitted
Rear Lane	permitted	not permitted
Rear Alley	required	required
Path	permitted	not permitted
Passage	permitted	permitted
Bicycle Trail	permitted	permitted
Bicycle Lane	permitted	permitted
Bicycle Route	permitted	permitted
c. CIVIC SPACES (see Table 13)		
Park	by Warrant	by Warrant
Open	permitted	permitted
Square	permitted	permitted
Plaza	not permitted	permitted
Playground	permitted	permitted
e. LOT OCCUPATION		
Lot Width	18 ft. min 96 ft. max	18 ft. min 180 ft. max
Lot Coverage	70% max	80% max
f. SETBACKS-PRINCIPAL BUILD-		
(g.1) Front Setback (Principal)	6 ft. min 18 ft. max	2 ft. min 15 ft. max
(g.2) Front Setback (Secondary)	6 ft. min 18 ft. max	2 ft. min 20 ft. max
(g.3) Side Setback	0 ft. min	0 ft. min 30 ft. max
(g.4) Rear Setback	3 ft. min *	3 ft. min *
Principal Frontage Buildout	60% min	80% min
g. SETBACKS - OUTBUILDING		
(h.1) Front Setback	20 ft. min -bldg setback	40 ft. max from rear prop.
(h.2) Side Setback	0 ft. min or 3 ft.	0 ft. min
(h.3) Rear Setback	3 ft.	3 ft. max
h. BUILDING DISPOSITION (see Table 13)		
Edgeyard	permitted	not permitted
Sideyard	permitted	permitted
Rearyard	permitted	permitted
Courtyard	not permitted	permitted
i. PRIVATE FRONTAGES (see Table 13)		
Common Yard	not permitted	not permitted
Porch & Fence	permitted	not permitted
Terrace or Dooryard	permitted	permitted
Forecourt	permitted	permitted
Stoop	permitted	permitted
Shopfront & Awning	permitted	permitted
Gallery	permitted	permitted
Arcade	not permitted	permitted
j. BUILDING CONFIGURATION		
Principal Building	3 Stories max, 2 min	5 Stories max, 2 min
Outbuilding	2 Stories max	2 Stories max
k. BUILDING FUNCTION (see Table 13)		
Residential	limited use	open use
Lodging	limited use	open use
Office	limited use	open use
Retail	limited use	open use

ARTICLE 5
ARTICLE 2, 3, 4

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I. BUILDING FUNCTION (see Table 10 & Table 12)

Residential	limited use
Lodging	limited use
Office	limited use
Retail	limited use

k. BUILDING CONFIGURATION (see Table 8)

Principal Building	3 stories max, 2 min
Outbuilding	2 stories max

f. LOT OCCUPATION (see Table 14f)

Lot Width	18 ft min 96 ft max
Lot Coverage	80% max

I. BUILDING DISPOSITION (see Table 9)

Edgeyard	permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	not permitted

g. SETBACKS - PRINCIPAL BUILDING (see Table 14g)

(g.1) Front Setback Principal	6 ft. min. 20 ft. max
(g.2) Front Setback Secondary	6 ft. min. 30 ft. max
(g.3) Side Setback	0 ft. min.
(g.4) Rear Setback	3 ft. min.*
Principal Frontage Buildout	60% min at setback

h. SETBACKS - OUTBUILDING (see Table 14h)

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	0 ft. min. or 3 ft. at corner
(h.3) Rear Setback	3 ft. min

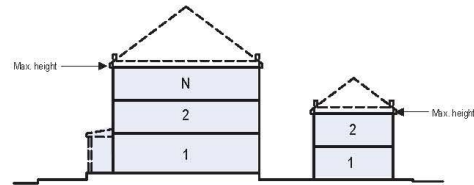
j. PRIVATE FRONTAGES (see Table 7)

Common Lawn	not permitted
Porch & Fence	permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	not permitted

Refer to Summary Table 14

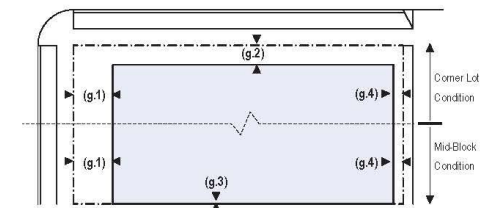
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 8.



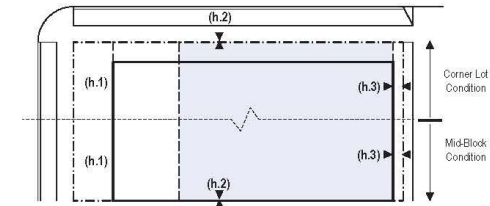
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



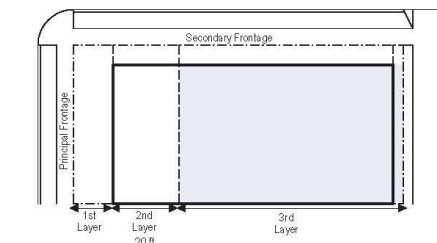
SETBACKS - OUTBUILDING

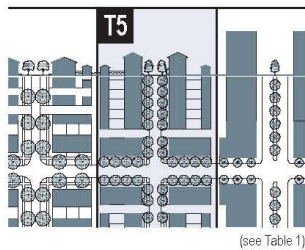
1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.





(see Table 1)

I. BUILDING FUNCTION (see Table 10 & Table 12)

Residential	open use
Lodging	open use
Office	open use
Retail	open use

k. BUILDING CONFIGURATION (see Table 8)

Principal Building	5 stories max. 2 min.
Outbuilding	2 stories max.

f. LOT OCCUPATION (see Table 14f)

Lot Width	18 ft. min. 180 ft. max.
Lot Coverage	80% max.

i. BUILDING DISPOSITION (see Table 9)

Edgeyard	not permitted
Sidyard	permitted
Rearyard	permitted
Courtyard	permitted

g. SETBACKS - PRINCIPAL BUILDING (see Table 14g)

(g.1) Front Setback Principal	2 ft. min. 15 ft. max.
(g.2) Front Setback Secondary	2 ft. min. 20 ft. max.
(g.3) Side Setback	0 ft. min. 24 ft. max.
(g.4) Rear Setback	3 ft. min.*
Principal Frontage Buildout	70% min. at setback

h. SETBACKS - OUTBUILDING (see Table 14h)

(h.1) Front Setback	40 ft. max. from rear prop.
(h.2) Side Setback	0 ft. min. or 2 ft. at corner
(h.3) Rear Setback	3 ft. max.

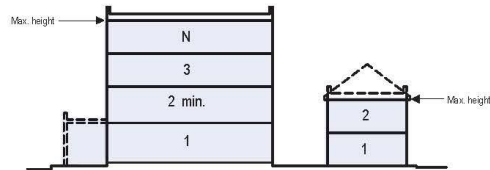
j. PRIVATE FRONTAGES (see Table 7)

Common Lawn	not permitted
Porch & Fence	not permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

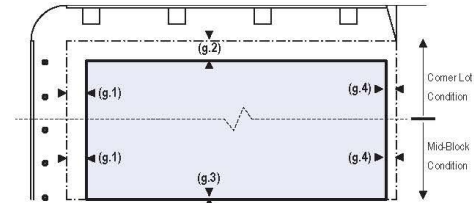
Refer to Summary Table 14

BUILDING CONFIGURATION

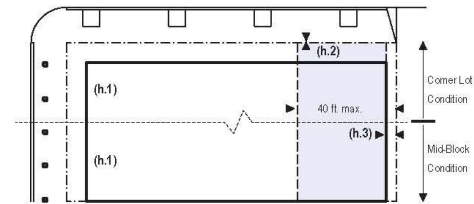
1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 8.
4. Expression Lines shall be as shown on Table 8.

**SETBACKS - PRINCIPAL BLDG**

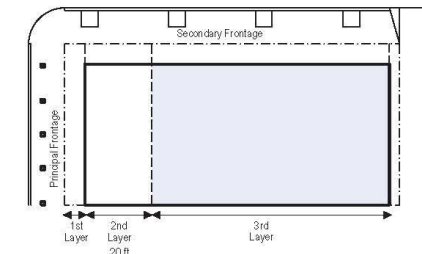
1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table:

**SETBACKS - OUTBUILDING**

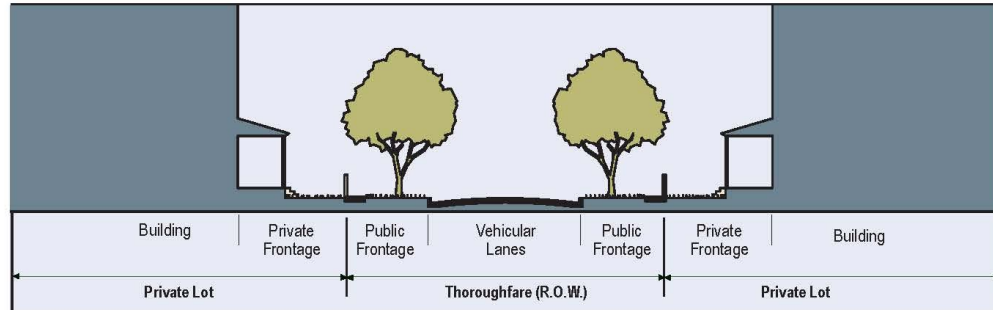
1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.

**PARKING PLACEMENT**

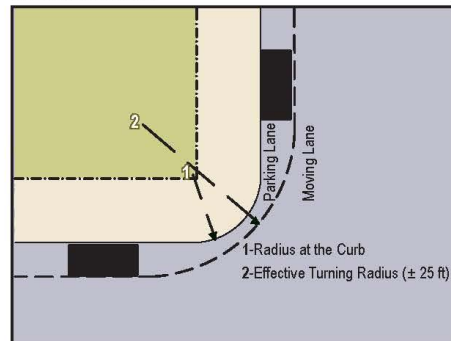
1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.



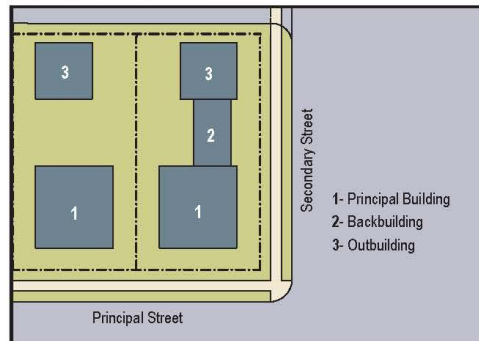
a. THOROUGHFARE & FRONTAGES



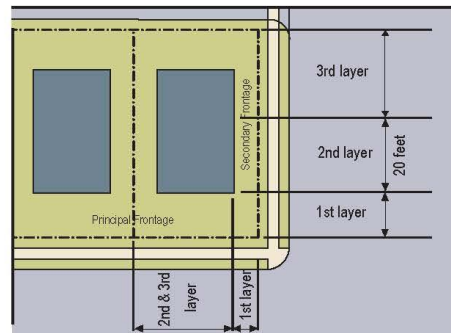
b. TURNING RADIUS



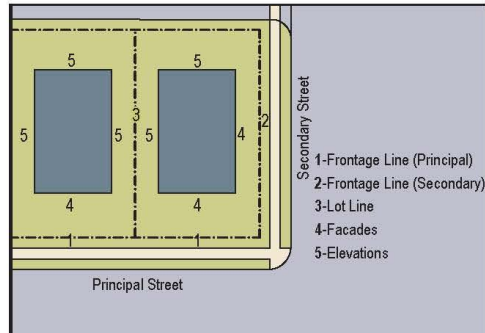
c. BUILDING DISPOSITION



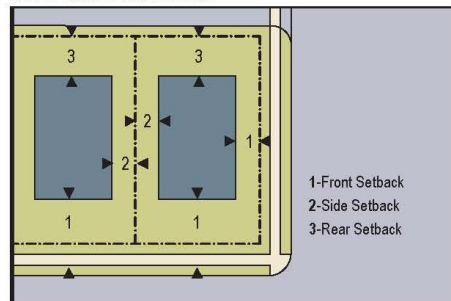
d. LOT LAYERS



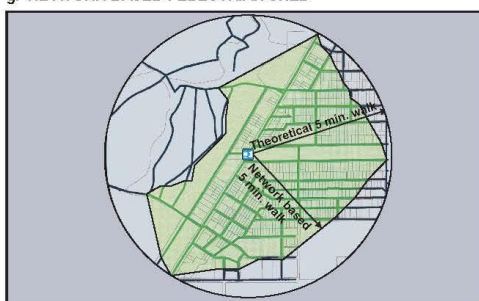
e. FRONTAGE & LOT LINES



f. SETBACK DESIGNATIONS



g. NETWORK-BASED PEDESTRIAN SHED



SMARTCODE VERSION 9.2

SC17

DEFINITIONS

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the CRC shall determine the correct definition. Items in italics refer to *Articles*, *Sections*, or *Tables* in the SmartCode.

A-Grid: cumulatively, those Thoroughfares that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Code. See B-Grid. (Syn: primary grid.)

Accessory Building: an Outbuilding with an Accessory Unit.

Accessory Unit: an Apartment not greater than 440 square feet sharing ownership and utility connections with a Principal Building; it may or may not be within an Outbuilding. See Table 10 and Table 17. (Syn: ancillary unit)

Adjusted Pedestrian Shed: a Pedestrian Shed that has been adjusted according to Section 3.2, creating the regulatory boundary of a Community Unit.

Allee: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Apartment: a Residential unit sharing a building and a Lot with other units and/or uses; may be for rent, or for sale as a condominium.

Arcade: a Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at the Frontage Line.

Attic: the interior part of a building contained within a pitched roof structure.

Avenue (AV): a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

B-Grid: cumulatively, those Thoroughfares that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the A-Grid. See A-Grid. (Syn: secondary grid.)

BRT: see **Bus Rapid Transit**.

Backbuilding: a single-story structure connecting a Principal Building to an Outbuilding. See Table 17.

Base Density: the number of dwelling units per acre before adjustment for other Functions and/or TDR. See **Density**.

Bed and Breakfast: an owner-occupied Lodging type offering 1 to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

Bicycle Lane (BL): a dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.

Bicycle Route (BR): a Thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds.

Bicycle Trail (BT): a bicycle way running independently of a vehicular Thoroughfare.

Block: the aggregate of private Lots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares.

Block Face: the aggregate of all the building Facades on one side of a Block.

Boulevard (BV): a Thoroughfare designed for high vehicular capacity and moderate speed, traversing an Urbanized area. Boulevards are usually equipped with Slip Roads buffering Sidewalks and buildings.

Brownfield: an area previously used primarily as an industrial site.

Bus Rapid Transit: a rubber tire system with its own right-of-way or dedicated lane along at least 70% of its route, providing transit service that is faster than a regular bus.

By Right: characterizing a proposal or component of a proposal for a Community Plan or Building Scale Plan (*Article 3, Article 4, or Article 5*) that complies with the SmartCode and is permitted and processed administratively, without public hearing. See **Warrant** and **Variance**.

CLD or Clustered Land Development: a Community Unit type structured by a Standard Pedestrian Shed oriented toward a Common Destination such as a general store, Meeting Hall, schoolhouse, or church. CLD takes the form of a small settlement standing free in the countryside. See *Table 2 and Table 14a*. (Syn: Hamlet, Conservation Land Development, cluster)

CRC: Consolidated Review Committee.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic Building: a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

Civic Parking Reserve: Parking Structure or parking lot within a quarter-mile of the site that it serves. See *Section 5.9.2*.

Civic Space: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their Enfronting buildings. See *Table 13*.

Civic Zone: designation for public sites dedicated for Civic Buildings and Civic Space.

Commercial: the term collectively defining workplace, Office, Retail, and Lodging Functions.

Common Destination: An area of focused community activity, usually defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, or a transit station, and may act as the social center of a neighborhood.

Common Yard: a planted Private Frontage wherein the Facade is set back from the Frontage line. It is visually continuous with adjacent yards. See *Table 7*.

Community Unit: a regulatory category defining the physical form, Density, and extent of a settlement. The three Community Unit types addressed in this Code are CLD, TND, and RCD. Variants of TND and RCD for Infill (*Article 4*) are called Infill TND and Infill RCD. The TOD Community Unit type may be created by an overlay on TND or RCD.

Configuration: the form of a building, based on its massing, Private Frontage, and height.

Consolidated Review Committee (CRC): Usually part of the Planning Office, a CRC is comprised of a representative from each of the various regulatory agencies that have jurisdiction over the permitting of a project, as well as a representative of the Development and Design Center. *See Section 1.4.3.*

Corridor: a lineal geographic system incorporating transportation and/or Greenway trajectories. A transportation Corridor may be a lineal Transect Zone.

Cottage: an Edgeyard building type. A single-family dwelling, on a regular Lot, often shared with an Accessory Building in the back yard.

Courtyard Building: a building that occupies the boundaries of its Lot while internally defining one or more private patios. *See Table 9.*

Curb: the edge of the vehicular pavement that may be raised or flush to a Swale. It usually incorporates the drainage system. *See Table 4A and Table 4B.*

DDC: Development and Design Center.

Density: the number of dwelling units within a standard measure of land area.

Design Speed: is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired Design Speed. *See Table 3A.*

Developable Areas: lands other than those in the O-1 Preserved Open Sector.

Development and Design Center (DDC): A component of the Planning Office assigned to advise on the use of this Code and to aid in the design of the Communities and buildings based on it.

Disposition: the placement of a building on its Lot. *See Table 9 and Table 17.*

Dooryard: a Private Frontage type with a shallow Setback and front garden or patio, usually with a low wall at the Frontage Line. *See Table 7.* (Variant: **Lightwell**, light court.)

Drive: a Thoroughfare along the boundary between an Urbanized and a natural condition, usually along a waterfront, Park, or promontory. One side has the urban character of a Thoroughfare, with Sidewalk and building, while the other has the qualities of a Road or parkway, with naturalistic planting and rural details.

Driveway: a vehicular lane within a Lot, often leading to a garage. *See Section 5.10 and Table 3B-f.*

Edgeyard Building: a building that occupies the center of its Lot with Setbacks on all sides. *See Table 9.*

Effective Parking: the amount of parking required for Mixed Use after adjustment by the Shared Parking Factor. *See Table 11.*

Effective Turning Radius: the measurement of the inside Turning Radius taking parked cars into account. *See Table 17.*

Elevation: an exterior wall of a building not along a Frontage Line. *See Table 17.* See: **Facade.**

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above

a height limit.

Enfront: to place an element along a Frontage, as in "porches Enfront the street."

Estate House: an Edgeyard building type. A single-family dwelling on a very large Lot of rural character, often shared by one or more Accessory Buildings. (Syn: country house, villa)

Expression Line: a line prescribed at a certain level of a building for the major part of the width of a Facade, expressed by a variation in material or by a limited projection such as a molding or balcony. *See Table 8* (Syn: transition line.)

Extension Line: a line prescribed at a certain level of a building for the major part of the width of a Facade, regulating the maximum height for an Encroachment by an Arcade Frontage. *See Table 8*.

Facade: the exterior wall of a building that is set along a Frontage Line. *See Elevation.*

Forecourt: a Private Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. *See Table 7.*

Frontage: the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into **Private Frontage** and **Public Frontage**. *See Table 4A and Table 7.*

Frontage Line: a Lot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines. *See Table 17.*

Function: the use or uses accommodated by a building and its Lot, categorized as *Restricted*, *Limited*, or *Open*, according to the intensity of the use. *See Table 10 and Table 12.*

Gallery: a Private Frontage conventional for Retail use wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk. *See Table 7.*

GIS (Geographic Information System): a computerized program in widespread municipal use that organizes data on maps. The protocol for preparing a *Regional Plan* should be based on GIS information. *See Section 2.1.*

Green: a Civic Space type for unstructured recreation, spatially defined by landscaping rather than building Frontages. *See Table 13.*

Greenfield: an area that consists of open or wooded land or farmland that has not been previously developed.

Greenway: an Open Space Corridor in largely natural conditions which may include trails for bicycles and pedestrians.

Greyfield: an area previously used primarily as a parking lot. Shopping centers and shopping malls are typical Greyfield sites. (Variant: Grayfield.)

Growth Sector: one of four Sectors where development is permitted By Right in the SmartCode, three for New Communities and one for Infill. *See Article 2.*

Hamlet: *See CLD.* (Syn: cluster, settlement.)

Highway: a rural and suburban Thoroughfare of high vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T-1, T-2, and T-3).

Home Occupation: non-Retail Commercial enterprises. The work quarters should be invisible from the Frontage, located either within the house or in an Outbuilding.

Permitted activities are defined by the Restricted Office category. *See Table 10.*

House: an Edgeyard building type, usually a single-family dwelling on a large Lot, often shared with an Accessory Building in the back yard. (Syn: single.)

Infill: *noun* - new development on land that had been previously developed, including most Greyfield and Brownfield sites and cleared land within Urbanized areas. *verb*- to develop such areas.

Infill RCD: a Community Unit type within an Urbanized, Greyfield, or Brownfield area based on a Long or Linear Pedestrian Shed and consisting of T-4, T-5, and/or T-6 Zones. An Infill RCD is permitted By Right in the G-4 Infill Growth Sector and is regulated by Article 4. *See Section 4.2.3.* (Var: downtown.)

Infill TND: a Community Unit type within an Urbanized, Greyfield, or Brownfield area based on a Standard Pedestrian Shed and consisting of T-3, T-4, and/or T-5 Zones. An Infill TND is permitted By Right in the G-4 Infill Growth Sector and is regulated by Article 4. *See Section 4.2.2.* (Var: neighborhood.)

Inn: a Lodging type, **owner-occupied**, offering **6 to 12 bedrooms**, permitted to serve breakfast in the mornings to guests. *See Table 10.*

Layer: a range of depth of a Lot within which certain elements are permitted. *See Table 17.*

Lightwell: A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements. *See Table 7.* (Syn: light court.)

Linear Pedestrian Shed: A Pedestrian Shed that is elongated along an important Mixed Use Corridor such as a main street. A Linear Pedestrian Shed extends approximately 1/4 mile from each side of the Corridor for the length of its Mixed Use portion. The resulting area is shaped like a lozenge. It may be used to structure a TND, RCD, Infill TND, or Infill RCD. (Syn: elongated pedestrian shed.)

Liner Building: a building specifically designed to mask a parking lot or a Parking Structure from a Frontage.

Live-Work: a Mixed Use unit consisting of a Commercial and Residential Function. The Commercial Function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry. *See Work-Live.* (Syn.: flexhouse.)

Lodging: premises available for daily and weekly renting of bedrooms. *See Table 10 and Table 12.*

Long Pedestrian Shed: a Pedestrian Shed that is an average 1/2 mile radius or 2640 feet, used when a transit stop (bus or rail) is present or proposed as the Common Destination. A Long Pedestrian Shed represents approximately a ten-minute walk at a leisurely pace. It is applied to structure an RCD Community Unit type. *See Pedestrian Shed.*

Lot: a parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Lot Line: the boundary that legally and geometrically demarcates a Lot.

Lot Width: the length of the Principal Frontage Line of a Lot.

Main Civic Space: the primary outdoor gathering place for a community. The Main Civic Space is often, but not always, associated with an important Civic Building.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery or artisanal equipment, and including their Retail sale.

Meeting Hall: a building available for gatherings, including conferences, that accommodates at least one room equivalent to a minimum of 10 square feet per projected dwelling unit within the Pedestrian Shed in which it is located.

Mixed Use: multiple Functions within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by Warrant.

Net Site Area: all developable land within a site including Thoroughfares but excluding land allocated as Civic Zones.

Network Pedestrian Shed: a Pedestrian Shed adjusted for average walk times along Thoroughfares. This type may be used to structure Infill Community Plans. See *Table 17*.

Office: premises available for the transaction of general business but excluding Retail, artisanal and Manufacturing uses. See *Table 10*.

Open Space: land intended to remain undeveloped; it may be for Civic Space.

Outbuilding: an Accessory Building, usually located toward the rear of the same Lot as a Principal Building, and sometimes connected to the Principal Building by a Backbuilding. See *Table 17*.

Park: a Civic Space type that is a natural preserve available for unstructured recreation. See *Table 13*.

Parking Structure: a building containing one or more Stories of parking above grade.

Passage (PS): a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

Path (PT): a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Sidewalk network.

Pedestrian Shed: An area that is centered on a Common Destination. Its size is related to average walking distances for the applicable Community Unit type. Pedestrian Sheds are applied to structure Communities. See **Standard, Long, Linear or Network Pedestrian Shed**. (Syn: walkshed, walkable catchment.)

Planter: the element of the Public Frontage which accommodates street trees, whether continuous or individual.

Plaza: a Civic Space type designed for Civic purposes and Commercial activities in the more urban Transect Zones, generally paved and spatially defined by building Frontages.

Principal Building: the main building on a Lot, usually located toward the Frontage. See *Table 17*.

Principal Entrance: the main point of access for pedestrians into a building.

Principal Frontage: On corner Lots, the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum Lot width. Prescriptions for the parking Layers pertain only to the Principal Frontage.

Prescriptions for the first Layer pertain to both Frontages of a corner Lot. See **Frontage**.

Private Frontage: the privately held Layer between the Frontage Line and the Principal Building Facade. See *Table 7 and Table 17*.

Public Frontage: the area between the Curb of the vehicular lanes and the Frontage Line. See *Table 4A and Table 4B*.

RCD: see **Regional Center Development**.

Rear Alley (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll Curbs at the edges.

Rear Lane (RL): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Curb, and is drained by percolation.

Rearyard Building: a building that occupies the full Frontage Line, leaving the rear of the Lot as the sole yard. See *Table 9*. (Var: Rowhouse, Townhouse, Apartment House)

Recess Line: a line prescribed for the full width of a Facade, above which there is a Stepback of a minimum distance, such that the height to this line (not the overall building height) effectively defines the enclosure of the Enfronting public space. Var: Extension Line. See *Table 8*.

Regional Center: **Regional Center Development** or **RCD**.

Regional Center Development (RCD): a Community Unit type structured by a Long Pedestrian Shed or Linear Pedestrian Shed, which may be adjoined without buffers by one or several Standard Pedestrian Sheds, each with the individual Transect Zone requirements of a TND. RCD takes the form of a high-Density Mixed Use center connected to other centers by transit. See **Infill RCD**, *Table 2 and Table 14a*. (Var: town center, downtown. Syn: **Regional Center**)

Regulating Plan: a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the SmartCode.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service. See *Table 10 and Table 12*.

Retail Frontage: Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use. See **Special Requirements**.

Road (RD): a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3). See *Table 3A*.

Rowhouse: a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line. See **Rearyard Building**. (Syn: **Townhouse**)

Rural Boundary Line: the extent of potential urban growth as determined by existing geographical determinants. The Rural Boundary Line is permanent.

Sector: a neutral term for a geographic area. In the SmartCode there are six specific Sectors for regional planning that establish the legal boundaries for Open Space and development.

Secondary Frontage: on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated. *See Table 17.*

Setback: the area of a Lot measured from the Lot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments listed in *Section 5.7*. *See Table 14g.* (Var: build-to-line.)

Shared Parking Factor: an accounting for parking spaces that are available to more than one Function. *See Table 11.*

Shopfront: a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. *See Table 7.*

Sidewalk: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Sidyard Building: a building that occupies one side of the Lot with a Setback on the other side. This type can be a Single or Twin depending on whether it abuts the neighboring house. *See Table 9.*

Slip Road: an outer vehicular lane or lanes of a Thoroughfare, designed for slow speeds while inner lanes carry higher speed traffic, and separated from them by a planted median. (Syn: access lane, service lane)

Specialized Building: a building that is not subject to Residential, Commercial, or Lodging classification. *See Table 9.*

Special District (SD): an area that, by its intrinsic Function, Disposition, or Configuration, cannot or should not conform to one or more of the normative Community Unit types or Transect Zones specified by the SmartCode. Special Districts may be mapped and regulated at the regional scale or the community scale.

Special Flood Hazard Area: a designation by the Federal Emergency Management Agency (FEMA) that may include the V (Velocity) Zones and Coastal A Zones where building construction is forbidden, restricted, or contingent upon raising to the Base Flood Elevation.

Special Requirements: provisions of *Section 3.9*, *Section 4.7*, and *Section 5.3* of this Code and/or the associated designations on a Regulating Plan or other map for those provisions.

Square: a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed. *See Table 13.*

Standard Pedestrian Shed: a Pedestrian Shed that is an average 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. *See Pedestrian Shed.*

Stepback: a building Setback of a specified distance that occurs at a prescribed number of Stories above the ground. *See Table 8.*

Stoop: a Private Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance. *See Table 7.*

Story: a habitable level within a building, excluding an Attic or raised basement.
See *Table 8*.

Street (ST): a local urban Thoroughfare of low speed and capacity. See *Table 3B* and *Table 4B*.

Streetscreen: a freestanding wall built along the Frontage Line, or coplanar with the Facade. It may mask a parking lot from the Thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm. (Syn: streetwall.)
See *Section 5.7.5f*.

Substantial Modification: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

Swale: a low or slightly depressed natural area for drainage.

T-zone: Transect Zone.

TDR: Transfer of Development Rights, a method of relocating existing zoning rights from areas to be preserved as Open Space to areas to be more densely urbanized.

TDR Receiving Area: an area intended for development that may be made more dense by the purchase of development rights from TDR Sending Areas.

TDR Sending Area: an area previously zoned for development within a designated Reserved Open Sector (O-2), from which development rights may be transferred to a Growth Sector.

Terminated Vista: a location at the axial conclusion of a Thoroughfare. A building located at a Terminated Vista designated on a Regulating Plan is required or recommended to be designed in response to the axis.

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage. See *Table 3A*, *Table 3B* and *Table 17a*.

TND: Traditional Neighborhood Development, a Community Unit type structured by a Standard Pedestrian Shed oriented toward a Common Destination consisting of a Mixed Use center or Corridor, and in the form of a medium-sized settlement near a transportation route. See *Table 2* and *Table 14a*. (Syn: village. Variant: **Infill TND**, neighborhood.)

TOD: Transit Oriented Development. TOD is created by an overlay on all or part of a TND or RCD, or by designation on a Regional Plan, permitting increased Density to support rail or Bus Rapid Transit (BRT) as set forth in *Section 5.9.2d*.

Townhouse: See **Rearyard Building**. (Syn: **Rowhouse**)

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the SmartCode template is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and Urbanism.

Transect Zone (T-zone): One of several areas on a Zoning Map regulated by the SmartCode. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Lot and building and Public Frontage. See *Table 1*.

Turning Radius: the curved edge of a Thoroughfare at an intersection, measured

at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. See *Table 3B and Table 17*.

Urban Boundary Line: the extent of potential urban growth as determined by the projected demographic needs of a region. The Urban Boundary Line may be adjusted from time to time.

Urbanism: collective term for the condition of a compact, Mixed Use settlement, including the physical form of its development and its environmental, functional, economic, and sociocultural aspects.

Urbanized: generally, developed. Specific to the SmartCode, developed at T-3 (Sub-Urban) Density or higher.

Variance: a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of this Code (*Section 1.3*). Variances are usually granted by the Board of Appeals in a public hearing. See *Section 1.5*.

Warrant: a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent (*Section 1.3*). Warrants are usually granted administratively by the CRC. See *Section 1.5*.

Work-Live: a Mixed Use unit consisting of a Commercial and Residential Function. It typically has a substantial Commercial component that may accommodate employees and walk-in trade. The unit is intended to function predominantly as work space with incidental Residential accommodations that meet basic habitability requirements. See Live-Work. (Syn: Live-With.)

Yield: characterizing a Thoroughfare that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. Also, characterizing parking on such a Thoroughfare.

Zoning Map: the official map or maps that are part of the zoning ordinance and delineate the boundaries of individual zones and districts. See **Regulating Plan**.

STARVIEW THOROUGHFARE ROADS PLAN

THE MATERIAL FROM THIS MODULE HAS BEEN TAKEN FROM 'COMPLETE STREETS THOROUGHFARE ASSEMBLIES
SMARTCODE MODULE', PREPARED BY DUANY PLAYER ZYBERK & CO. WITH CHESTER (RICK) CHELLMAN, P.E.; RICH-
ARD A. HALL, P.E.; PETER SWIFT, P.E.

SMARTCODE VERSION 9.2

TABLE 4C THOROUGHFARE ASSEMBLIES

The following street should be used for residential thoroughfares serving townhouses and single family detached or low intensity commercial uses with minimal average daily trips.

KEY

ST-57-20-BL

Thoroughfare Type

Right of Way Width

Pavement Width

Transportation

THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

Thoroughfare Type
Transect Zone Assignment
Right-of-Way Width
Pavement Width
Movement
Design Speed
Pedestrian Crossing Time
Traffic Lanes
Parking Lanes
Curb Radius
Walkway Type
Planter Type
Curb Type
Landscape Type

53'

5' 6' 7' 15' 7' 6' 5'

PARKING

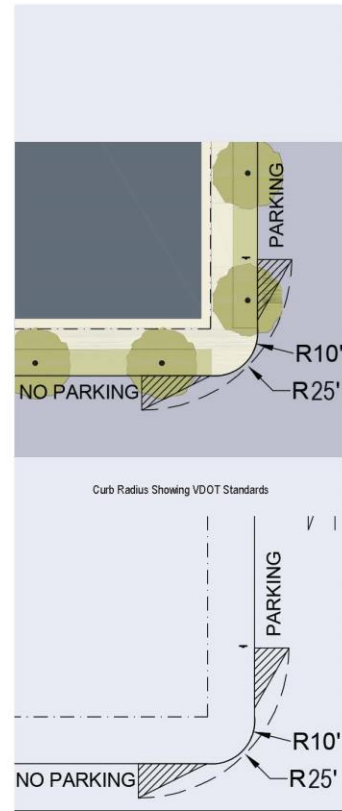
NO PARKING

R10'

28'25"

ST-53-29

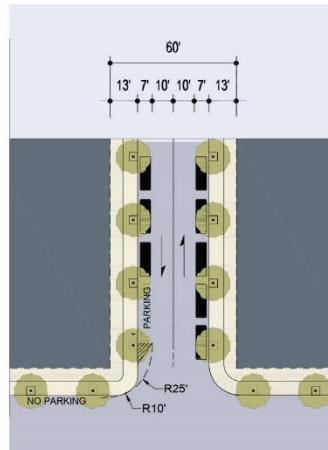
Street
T4, T5, T6
53 feet
28 feet
Yield Movement
20 MPH
7.6 seconds
2 lane
Both sides @ 7 feet unmarked
10 feet
5 foot Sidewalk
6 foot continuous Planter
Curb
Trees at 50' o.c. Avg.



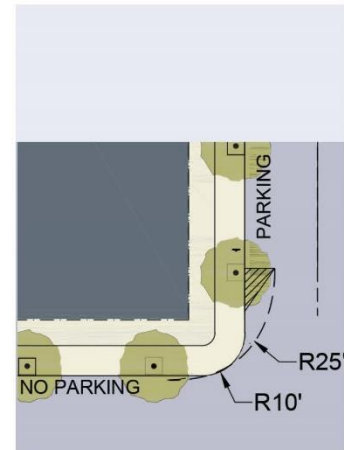
The following street should be used for residential thoroughfares or commercial uses throughout a development.

KEY	
Thoroughfare Type	ST-57-20-BL
Right of Way Width	
Pavement Width	
Transportation	
THOROUGHFARE TYPES	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

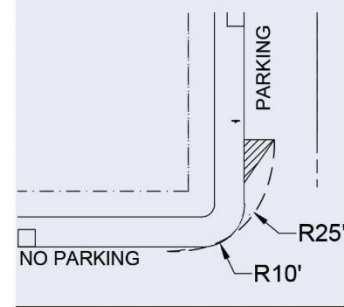
Thoroughfare Type	Street
Transect Zone Assignment	T3, T4, T5
Right-of-Way Width	60 feet
Pavement Width	34 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	9.7 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 foot marked
Curb Radius	10 foot
Walkway Type	6 foot Sidewalk
Planter Type	6 foot continuous Planter
Curb Type	Curb
Landscape Type	Trees at 50' o.c. Avg.



ST-60-34



Curb Radius Showing VDOT Standards



The following street should be used for residential thoroughfares or commercial uses throughout a development.

KEY

ST-57-20-BL

Thoroughfare Type

Right of Way Width

Pavement Width

Transportation

THOROUGHFARE TYPES

Highway: HW

Boulevard: BV

Avenue: AV

Commercial Street: CS

Drive: DR

Street: ST

Road: RD

Rear Alley: RA

Rear Lane: RL

Bicycle Trail: BT

Bicycle Lane: BL

Bicycle Route: BR

Path: PT

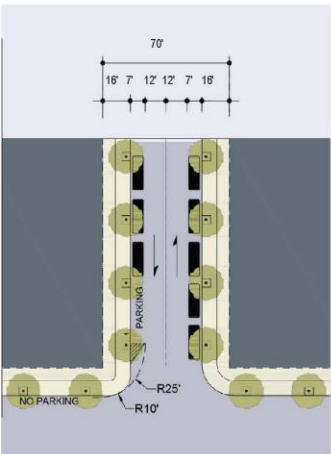
Passage: PS

Transit Route: TR

Thoroughfare Type	Street
Transect Zone Assignment	T3, T4, T5
Right-of-Way Width	70 feet
Pavement Width	38 feet
Movement	Free Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8 seconds at corners
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	10 feet
Walkway Type	10 foot Sidewalk
Planter Type	6 foot continuous Planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	see Cycling Module and TOD Module

70'

16' 7' 12' 7' 16'



ST-70-38

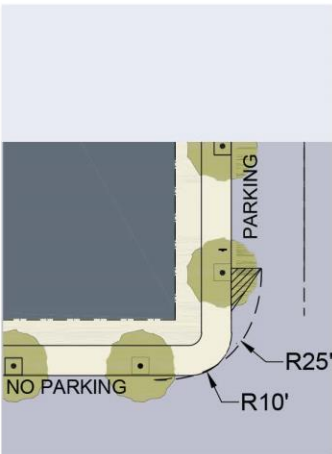
Thoroughfare Type	Street
Transect Zone Assignment	T3, T4, T5
Right-of-Way Width	70 feet
Pavement Width	38 feet
Movement	Free Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8 seconds at corners
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	10 feet
Walkway Type	10 foot Sidewalk
Planter Type	6 foot continuous Planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	see Cycling Module and TOD Module

PARKING

R25'

R10'

NO PARKING



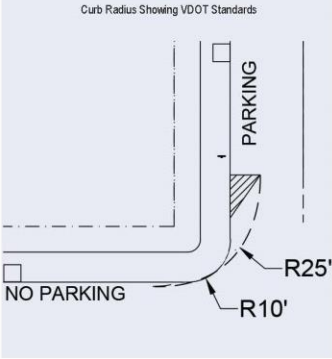
Curb Radius Showing VDOT Standards

PARKING

R25'

R10'

NO PARKING



SCA4

SMARTCODE VERSION 9.2

60

19SN0597-2020JAN22-BOS

Page 262 of 563

EXHIBIT D: PUBLIC ROADS PLAN

August 30, 2019

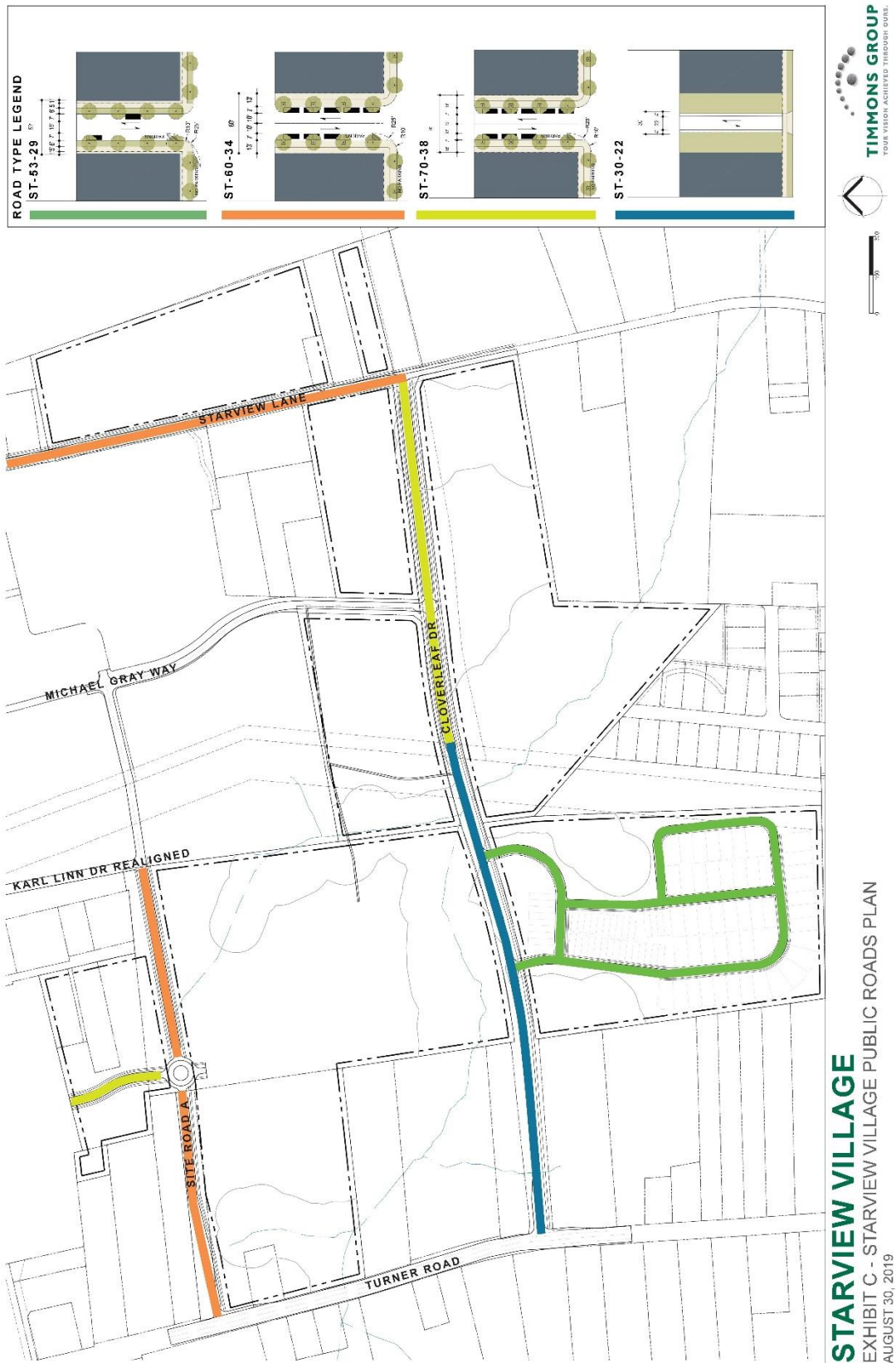
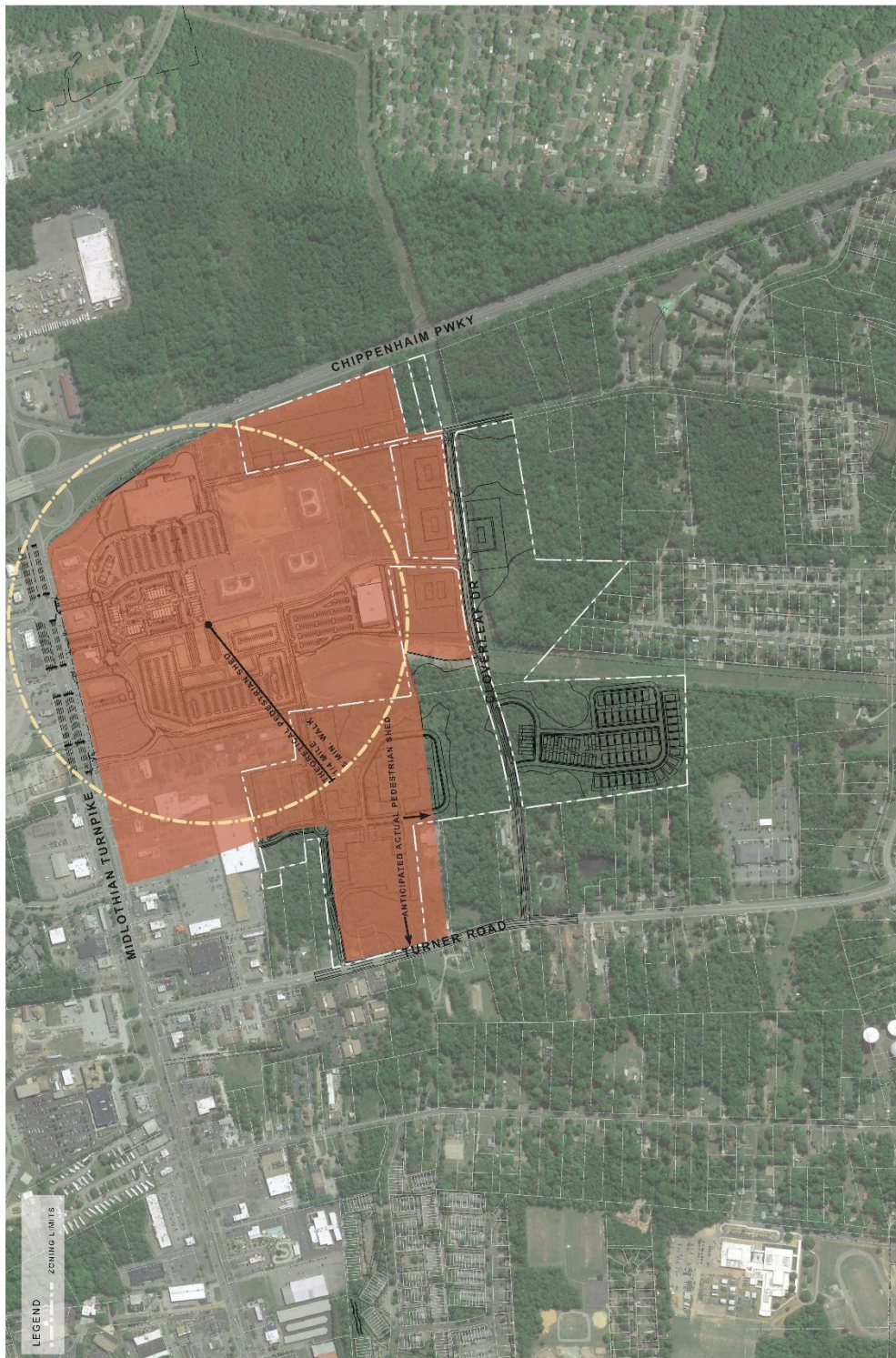


EXHIBIT E: PEDESTRIAN SHED PLAN

August 30, 2019



STARVIEW VILLAGE

EXHIBIT D - STARVIEW VILLAGE PEDESTRIAN SHED PLAN

EXHIBIT D-3
AUGUST 30, 2019



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 16.B.

Subject:

20SN0526: 29:11 Chesterfield, LLC (project commonly known as Courthouse Landing), Dale District

Board Action Requested:

Summary of Information:

20SN0526: In Dale Magisterial District, 29:11 Chesterfield, LLC requests a rezoning from Agricultural (A) and General Business (C-5) to Community Business (C-3), with conditional use and conditional use planned development to permit multi-family and townhome uses plus to permit exceptions to ordinance requirements and amendment of zoning district map on 123.9 acres located at the northeast quadrant of Iron Bridge and Courthouse Roads, also fronting the south line of Route 288. Density will be controlled by zoning conditions or ordinance standards. The Comprehensive Plan suggests the property is appropriate for Corporate Office uses. Tax IDs 768-666-9817, 769-667-9512, 770-664, -Part of 0099, 773-665, - Part of 2424.

Attachments:

1. 20SN0526-2020JAN22-BOS-RPT

Preparer:

Approved By:

CASE NUMBER: 20SN0526
APPLICANT: 29:11 Chesterfield, LLC

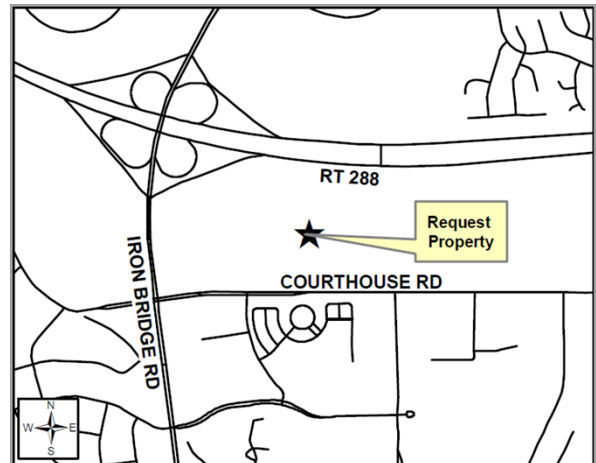


CHESTERFIELD COUNTY, VIRGINIA
DALE DISTRICT

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Public Hearing:
JANUARY 22, 2020
BOS Time Remaining:
365 DAYS

Applicant's Agent:
ANDREW CONDLIN (804-977-3373)
Planning Department Case Manager:
HAROLD ELLIS (804-768-7592)



123.9 Acres – 9201 Iron Bridge Road
COURTHOUSE LANDING

REQUEST

Rezoning from Agricultural (A) and General Business (C-5) to Community Business (C-3) with conditional use and conditional use planned development to permit multi-family and townhome uses plus exceptions to ordinance requirements.

Notes: A. Conditions may be imposed or the property owner may proffer conditions.
B. Proffered conditions, Textual Statement, and exhibits are located in Attachments 1-4

SUMMARY

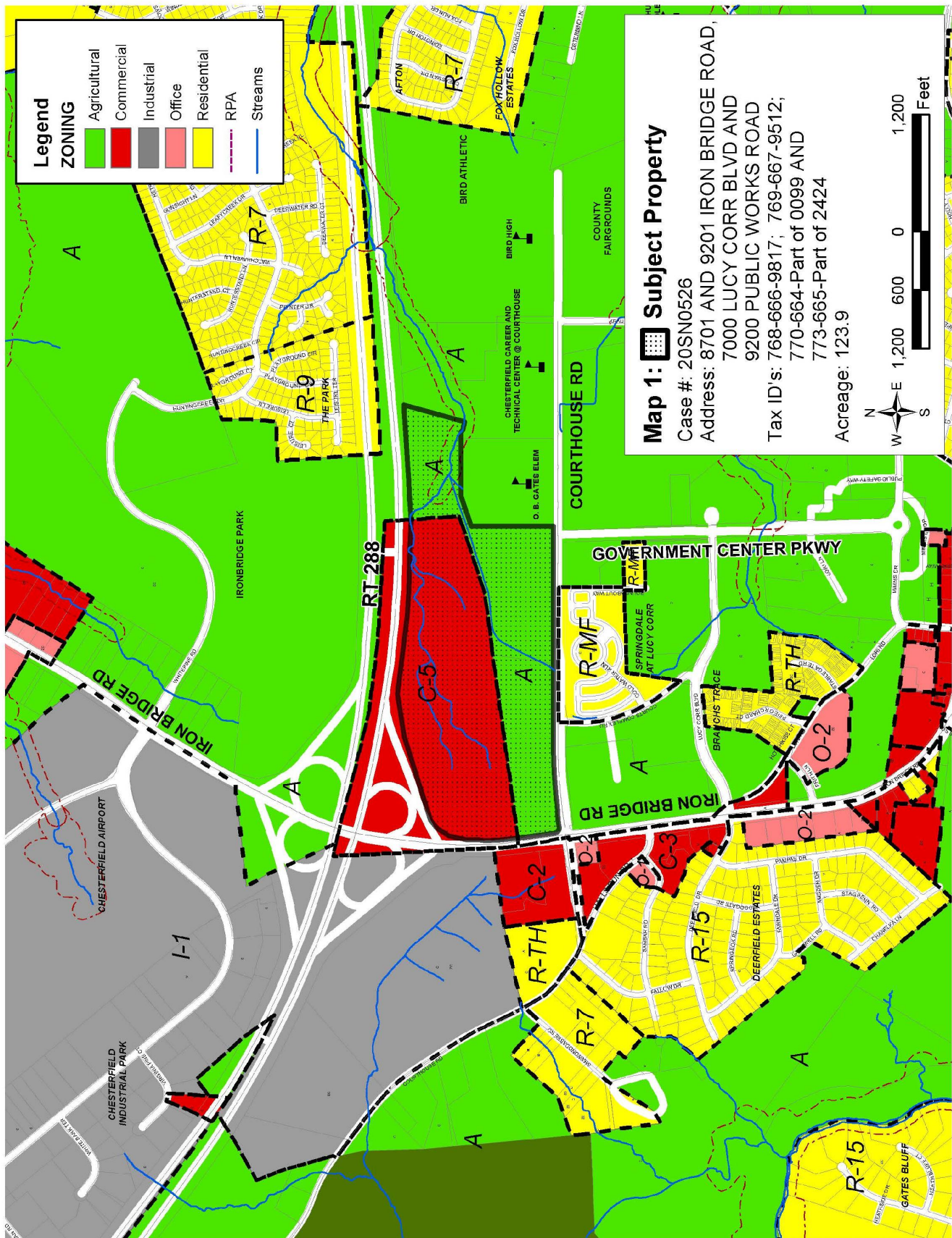
A mixed-use project is planned, incorporating commercial and office uses, and a maximum of 600 dwelling units (multi-family and townhouse). Exceptions to ordinance requirements are requested to provide for residential uses and flexibility in overall development design.

The traffic impact of this development could be valued at \$3,468,600 (a road cash proffer of \$5,922 for each of the townhome units and \$5,640 for each of the multifamily units). The applicant has proffered to construct specific off-site road improvements along Route 10 and Courthouse Road, identified in Proffered Conditions 6.a.i - 6.a.i.i.i and 6.b, prior to issuance of any final occupancy permit. These improvements are estimated at \$6,686,180 in value.

The proposal offers quality design and architectural standards (pages 5-7) which should complement the surrounding area.

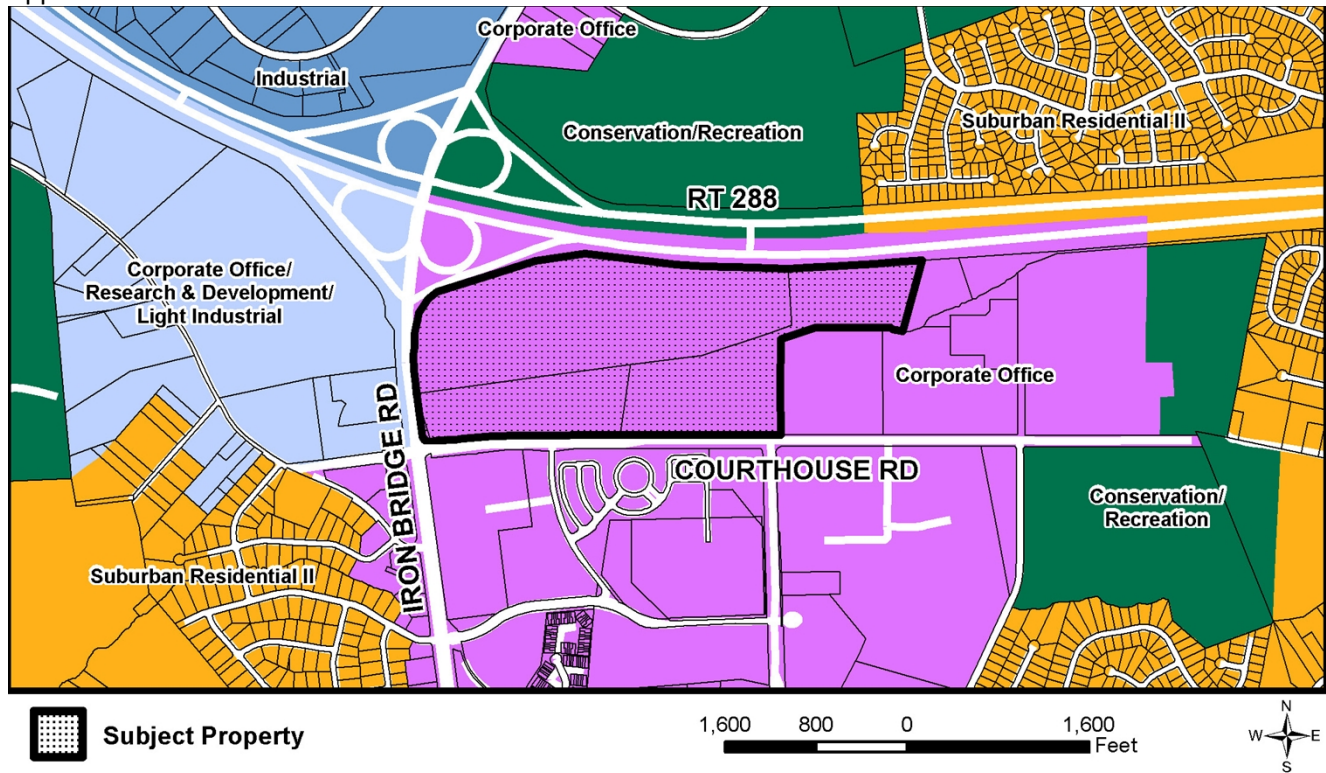
RECOMMENDATION	
PLANNING COMMISSION	<p>DENIAL</p> <p>Concerns pertaining to transportation impacts, airport proximity (safety and noise), location and visibility of uses, and assurances relative to a guaranteed mix of uses and development phasing not resolved.</p>
STAFF	<p>PLANNING - APPROVAL</p> <ul style="list-style-type: none"> Proposed office uses comply with the recommendations of the Comprehensive Plan. Further, the Plan supports mixed use projects at key intersections when providing land aggregation, use integration, and land use transition. The Plan identifies this site as being within the airport operational and runway approach areas. Appropriate agencies provided review and input pertaining to this request. In accordance with development regulations, detailed FAA review will occur at time of plans review. Quality design and architecture offered by the applicant provide for a convenient, attractive and harmonious community that should complement the surrounding development. <p>TRANSPORTATION – CANNOT SUPPORT</p> <ul style="list-style-type: none"> Proposal fails to address its impact on the increased volume of traffic on the road network based upon a 20-year traffic projection. Proposal fails to address its impact on the safety of the roads on which the increased volume of traffic will be traveling based upon a 20-year traffic projection.

SUMMARY OF IDENTIFIED ISSUES	
Department	Issue
SCHOOLS	<p>Post 2020, the <i>Public Facilities Plan</i> recommends a new middle school in the vicinity of Chester and West Hundred Roads and a new high school in the vicinity of Chester Road and Route 288, north of Route 10. However, at this time, a budget has not been developed for the acquisition of land or construction of these school facilities as recommended in the <i>Plan</i>.</p> <p>The proposed project is accessed through Courthouse Road, which is also the main thoroughfare for O.B. Gates ES, L.C. Bird HS, Chesterfield Career and Technical Center (CTC) at Courthouse and CCPS offices for Pupil Transportation (Main Office, Area 1 and Area 5), Fleet Garage, Training Office and ESOL-Prekindergarten Welcome Center. This could impact traffic and school bus operations, especially during drop-off and pick-up of students.</p>
CDOT	<p>Proposal fails to address its impact on the increased volume of traffic on the road network based upon a 20-year traffic projection.</p> <p>Proposal fails to address its impact on the safety of the roads on which the increased volume of traffic will be traveling based upon a 20-year traffic projection.</p>
AIRPORT	<p>Stormwater management facilities should be designed as a detention pond(s) rather than retention ponds. Water features may attract birds, which can be significantly hazardous to safe operation of aircraft.</p>

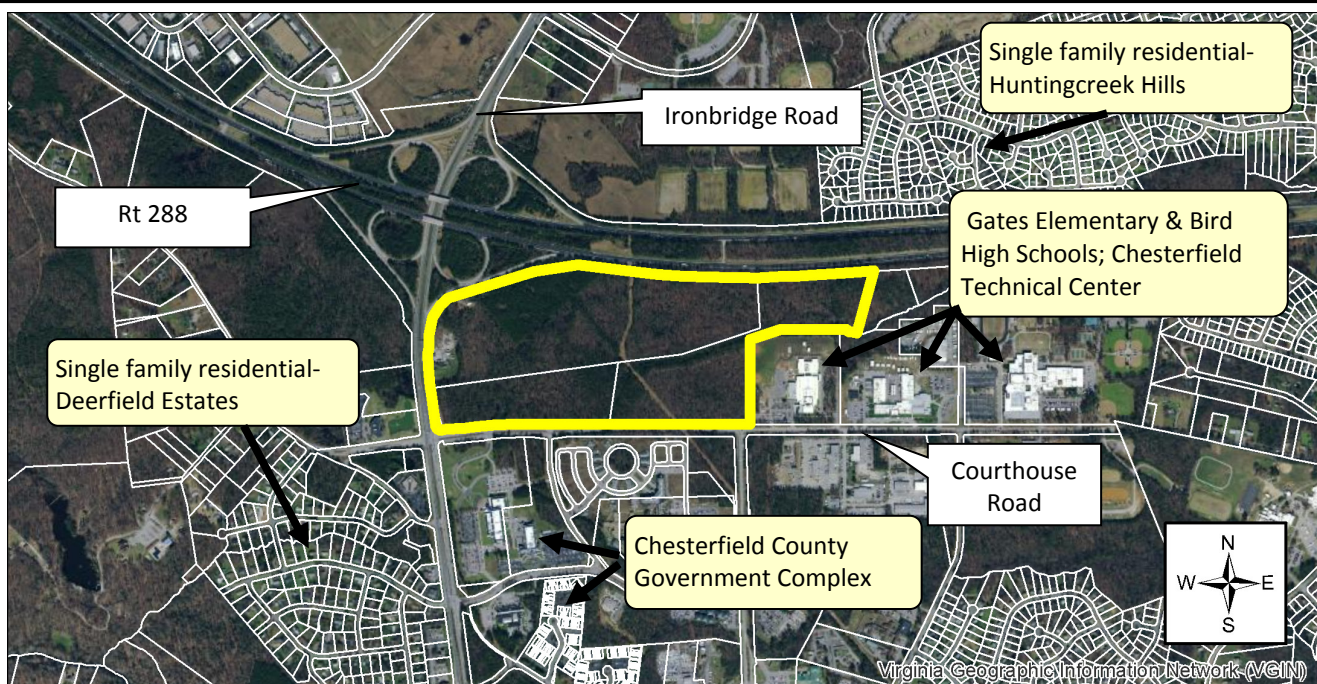


Comprehensive Plan Classification: CORPORATE OFFICE

This designation suggests appropriate uses as professional and administrative offices, or similar uses. Under certain circumstances, within larger tracts developed for office use, integrated supporting retail and services uses may be appropriate. The subject property is also within the Chesterfield County Airport Operational and Runway Approach areas.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Harold Ellis (804-768-7592) ellish@chesterfield.gov

Zoning History

Case Number	Request
6600097C Approved 7/13/66	<ul style="list-style-type: none">• Rezoning to General Business (C-2) (now C-5)• Uses limited to oil or allied oil business, excluding asphalt plants.
7200097C Approved 12/13/72	Rezoning to General Business (C-2) (now C-5)

Proposal

A mixed-use development, known as Courthouse Landing, is planned, incorporating commercial and office uses, and residential dwelling units. The residential units will consist of 300 multi-family and 300 townhouse and condominium units. The development is planned with tree lined streets, cohesive and architecturally-attractive buildings, recreational amenities and open space, and pedestrian connectivity throughout.

The Conceptual Plan divides the property into four development areas “Tiers” with permitted uses identified for each Tier, as depicted on Page 20 of Attachment 3, and as follows:

Tier 1 – Commercial

- Community Business (C-3)
 - Excluding land uses listed in II A i of Textual Statement
- Automobile self service station with convenience store
 - Limitations in II A iii of Textual Statement, including a limit of one station
- Hotel (a hotel may be placed in Tier 1 or Tier 2)
 - Limitations in II A iv of Textual Statement
- Self-storage facility
 - Limitations in II A v of Textual Statement, including a limit of one facility

Tier 2 – Office

- Corporate Office (O-2)
- Neighborhood Business (C-2)

Tier 3 – Multi-Family Residential

- Maximum of 300 units

Tier 4 – Townhouse and Condominium Residential

- Maximum of 300 units (may include a mixture of townhouse and condominium uses)

Ordinance Exceptions

Conditional Use Planned Development is requested to permit exceptions to ordinance requirements. Exceptions are requested to development standards, including a reduction in setbacks from interior streets and exterior property boundaries, reduction in required recreation area for multi-family units, and reduction in parking requirements in order to allow flexibility in design.

Design

High quality residential development addresses the Comprehensive Plan goals for strong and sustainable neighborhoods that are visually attractive, well-planned and well-maintained. Further, the purpose and intent of the zoning ordinance is to promote the health, safety, convenience and general welfare of the public. This includes the creation of convenient, attractive, and harmonious communities, protection against overcrowding of land, and protection of the natural environment. Developments that promote unique, viable and long-lasting places and enhance the community are encouraged.

The following provides a general overview of design requirements offered as part of this request, as described in Attachments 1 – 3, Proffered Conditions, Textual Statement and Design Guidelines:

- Development Design
 - Integrated development with architectural styles, building types, colors, features, and materials, with commonality throughout the development
 - Minimum of 10 acres of common and open space, including “The Landing” area as detailed in the Design Guidelines with a minimum of 3 acres
 - Internal system of sidewalks, paths, trails and walks to provide overall pedestrian connectivity within the development, with pedestrian scale lighting
 - Decorative street lights along Courthouse and Iron Bridge Roads, and along internal Roadways A, B, and C
- Commercial and Office Design
 - Tier 1 (Commercial):
 - Minimum of 50% masonry (brick, stone, or brick veneer)
 - No single tenant shall exceed 56,000 square feet (excluding office and self-storage)
 - Enhanced architectural standards for convenience store with gasoline sales (Design Guidelines)
 - Required hotel amenities, and maximum height of 4 stories
 - Enhanced architectural standards and restricted sign standards for self-storage facility (Design Guidelines)
 - Tier 2 (Office, to include commercial uses):
 - Limited to uses permitted in O-2 and C-2 Districts
 - Provides for a minimum of 100,000 square feet of office space (may also be provided in Tier 1)
 - Building height limited to 5 stories and 75 feet

- Minimum of 50% masonry (brick, stone, or brick veneer)
- Residential Design
 - Tier 3 (Multi-family):
 - Maximum of 300 multi-family units permitted; maximum 15% containing up to 3 bedrooms
 - On-street and garage parking to satisfy minimum parking requirements
 - Minimum of 50% masonry (brick, stone, or brick veneer), for all facades facing a public or private roadway
 - Enhanced entry roadway featuring design element such as pedestrian plaza, traffic circle/roundabout, or water feature
 - Written airport proximity notification provided to all tenants at time of lease
 - Recreational amenities including a minimum of 5,000 square feet of clubhouse with fitness center, as well a minimum of .5 acre of amenity space
 - Tier 4 (Townhome/Condominium):
 - Maximum of 300 dwelling units permitted
 - Sound suppression for units backing to Route 288 requiring units be designed so that average interior decibel level shall not exceed 45 DBA
 - On-street or drive aisle and garage parking spaces permitted to satisfy minimum parking requirements
 - Minimum of a 1 car garage
 - Varied elevations for adjacent townhouse units, with a porch or stoop
 - Minimum of 30% masonry (brick, stone, or brick veneer), for all front facades, measured in the aggregate of the building, and 20% for sides, measured in the aggregate of the building, and 40% for rear elevations which are identified as “Landing Units”, measured in the aggregate
 - Written airport proximity notification provided to all purchasers

As suggested by the Comprehensive Plan goals and the Zoning Ordinance, the proffered conditions offered with this request include high quality design and architectural elements that will serve to complement the surrounding community.

COMMUNITY ENHANCEMENT

Staff Contact: Matt Becker (804-751-2368) beckerm@chesterfield.gov

The proposed project presents an opportunity for re-investment in an area in which investment activity and home values are below the County average. Although many of the neighborhoods surrounding the project have median assessment values below the County average, these neighborhoods also feature direct access to major transportation corridors, a major employment center at the Chesterfield County government complex, and multiple public facilities. Additionally, these neighborhoods are also within close proximity to a regional amenity and Pocahontas State Park. The area has many of the assets that are critical to attracting the re-investment this area would benefit from.

The Department of Community Enhancement supports this proposed project as it provides re-investment in the area’s housing market by increasing the supply of a various housing types.

BUDGET & MANAGEMENT

Staff Contact: Karen Bailey (804-751-4327) baileykl@chesterfield.gov

County finance staff is responsible for managing the finances of the County and making recommendations to the County Administrator regarding the allocation of available resources for the provision of services and capital facilities to serve the citizens of the County. Finance staff will advise the County Administrator if changed economic circumstances require adjustments to the County's budget or capital improvement program.

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamsSt@chesterfield.gov

EXECUTIVE SUMMARY

In accordance with Section 19.1-231 of the County Code, the applicant submitted a traffic study for an examination of the development's impact on the transportation network for various scenarios as noted below. Staff requested the applicant analyze the Ironbridge Road (Route 10)/Courthouse Road intersection and the site intersections along Courthouse Road. Staff did not request the applicant address the Route 288 off-ramp to Courthouse Road weave as part of this analysis. The following is a summary of the results:

- Existing (2019) overall intersection level of service (LOS) at the Route 10/Courthouse Road intersection is an "E" during the morning peak hour and a "D" during the afternoon peak hour.
- At development build-out (2024), acceptable overall level of service ("D" or better) is anticipated at the Route 10/Courthouse Road intersection and the Courthouse Road site intersections. This analysis includes Route 10 (Frith Lane to Whitepine Road) Widening Project ("Route 10 Widening Project") and all proffered road improvements.
- In 2039, without the development, unacceptable overall LOS ("F" during morning and afternoon peak hours) is anticipated at the Route 10/Courthouse Road intersection.
- In 2039, with the development, unacceptable overall LOS ("F" during peak hours) is anticipated at the Route 10/Courthouse Road; however, with the proffered road improvements, the LOS is slightly improved over the 2039 scenario without the development.
- In August 2017, the Board appropriated \$15,200,000 in anticipated VDOT reimbursements to proceed with the Route 10 Widening to six (6) lanes between Frith Lane and Whitepine Road. Construction is anticipated to begin in late 2020 with completion in early 2022. This project will not modify the Route 288 interchange or modify existing intersection movements. Staff anticipates an additional public project would be needed to analyze and provide alternative intersection modifications along Route 10 to better accommodate 2039 traffic volumes with or without the development. To date, there is no funding identified or appropriated for these interchange/intersection modifications.

The following chart summarizes the overall intersection levels-of-service:

	2019 EXISTING		2024 DEVELOPMENT BUILD-OUT (includes Rt 10 Widening & Proffered Improvements)		2039 BACKGROUND WITHOUT DEVELOPMENT (includes Rt 10 Widening)		2039 BACKGROUND WITH DEVELOPMENT (includes Rt 10 Widening & Proffered Improvements)	
INTERSECTION	AM	PM	AM	PM	AM	PM	AM	PM
Route 10 & Courthouse Rd	E (59)	D (53)	D (47)	D (45)	F (127)	F (115)	F (93)	F (98)
Courts Complex & Courthouse	Not applicable		C	D	Not applicable		C	D
Govt Center & Courthouse	Not applicable		A	A	Not applicable		B	B
(##): Value represent delay in seconds per vehicle at signal or roundabout controlled intersection.								

Per the County Code, the development does not maintain a minimum “D” level of service based upon a 20 year traffic projection and the resulting level of service with the development and proffered road improvements is lower (“F” during the morning peak hour and “F” during the afternoon peak hour) than that which currently exists (“E” during the morning peak hour and “D” during the afternoon peak hour). Staff cannot support this request; however, the development would adequately address its traffic impact at build-out in 2024 (“D” during the morning peak hour and “D” during the afternoon peak).

TRIP GENERATION

As evaluated in the traffic study, the applicant has proffered a maximum density (or equivalent) of 265,000 square feet (sf) of shopping center/retail, 150,000 sf of medical/dental office, 100,000 sf of mini-warehouse, 120 room hotel, and 600 residential multi-family units (Proffered Condition 3). The proposed development is anticipated to generate approximately 22,916 average daily trips (approximately 930 of these trips will occur in the morning peak hour and approximately 2,000 trips will occur in the evening peak hour). Traffic generated by development of the property would initially be distributed along Courthouse Road and Ironbridge Road (Route 10).

THOROUGHFARE PLAN & PUBLIC PROJECTS

Courthouse Road is a major arterial with a recommended right of way width of 90 feet, as identified on the County’s *Thoroughfare Plan*. Courthouse Road is a four-lane road from Route 10 to Courts Complex Road and a two-lane road from Courts Complex Road to the eastern terminus. In 2018, the VDOT traffic count on this section of Courthouse Road was 8,200 vehicles per day.

Route 10 is a major arterial with a recommended right of way width of 120 to 200 feet, as identified on the County’s *Thoroughfare Plan*. Route 10 is a four-lane divided road. In 2018, the VDOT traffic count on Route 10 between Route 288 and Beach Road was 45,320 vehicles per day (Level of Service “D”). As previously noted, staff is managing the Route 10 Widening Project from Frith Lane to Whitepine Road.

South of this proposed development, staff is managing the Nash Road Extension Project. The project will extend Nash Road as a two-lane facility from Beach Road to Route 10. An alignment has been determined and the design of the project is underway. Construction is anticipated in 2022.

PROFFERED ROAD IMPROVEMENTS

Section 19.1-231 of the County Code outlines the general requirements to meet the needs of the traffic generated by a proposed development, including acceptable levels of service. This proposed mixed-use development would contribute to an identifiable need for transportation and access improvements. The applicant has offered the following:

Vehicular Access (Proffered Condition 4):

- One direct access to Route 10 limited to right-in only, if approved by VDOT.
- Courthouse Road access based on an approved access plan at time of plan of development.

Dedication (Proffered Condition 5):

- Dedication of all right-of-way and easements as shown on the construction plans for the Route 10 Widening Project.

Road Improvements (Proffered Condition 6):

- Off-site Road Improvement at the Route 10/Courthouse Road Intersection:
 - Construction of an additional westbound left turn lane (6.a.i., estimated cost \$500,000)
 - Construction of replacement eastbound right turn lane (6.a.ii., estimated cost \$400,000)
 - Construction of northbound Route 10 right turn lane to Courthouse Rd (6.a.iii., estimated cost \$500,000)
- Off-site Road Improvement: Widen Courthouse Road to four (4) lane divided road from Route 10 to Government Center Pky. (6.b., estimated cost \$5,286,180)
- Route 10/Courthouse Road intersection improvements as follows:
 - Seven (7) lane section at westbound approach (5 westbound lanes, 2 eastbound lanes).
 - Five (5) lane section at eastbound approach (4 eastbound lanes, 1 westbound lane).
 - Traffic signal modifications
- Construction of left and right turn lanes along Courthouse Road at each approved access
- Construction of dual left turn lanes along eastbound Courthouse Road at the Road A/Courts Complex Road intersection
- Construction of traffic signal or other intersection control at the Courthouse Road/Courts Complex Road/Road A and Courthouse Road/Government Center Parkway/Road B intersections.
- Construction of additional pavement along the eastbound lanes of Courthouse Road to provide a separate right turn lane at the Government Center Parkway intersection.
- Construction of a ten (10) foot VDOT standard shared use path along Courthouse Road for the entire property frontage.
- Relocation of the stormwater management facility for the Route 10 Widening Project and restoration of the area.
- All proffered road improvements will be completed prior to issuance of any final certificate of occupancy, as determined by the Transportation Department. In the event the Route 10 Widening Project impacts the completion of the proffered road improvements, staff may permit issuance of occupancy permit(s) if the developer provides assurance that the improvements are completed in a timely manner (i.e. phasing plan with appropriate surety/bonding).

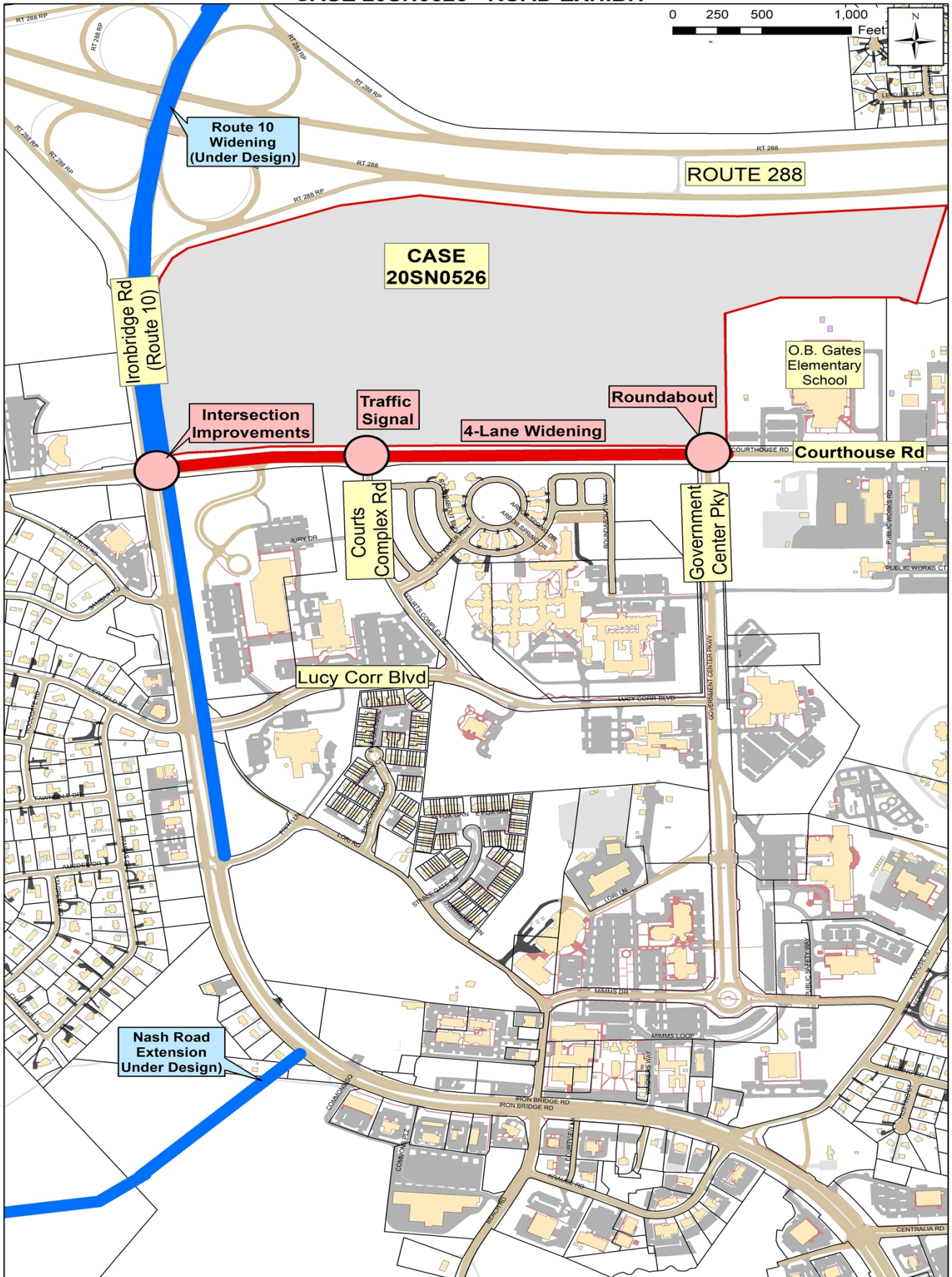
ROAD CASH PROFFERS

The property is within Traffic Shed 13, which encompasses the area south of Route 288, north and east of Route 10, and west of Chester Road. Many roads in this part of the county have little or no shoulders, fixed objects (trees) adjacent to the edge of the pavement and poor vertical and horizontal alignments. The traffic volume generated from this proposed residential development will contribute to an identifiable need for transportation facility improvements to these roads in excess of existing transportation facility capacity. Roads in this shed or which serve this shed need to be improved or widened to address safety and accommodate increased traffic, including the increased traffic from the proposed development.

An applicant may choose to address the development's impact on the county's road transportation network through dedication of property, construction of road improvements, or a cash proffer. If an applicant elects to offer cash to address the impact on the county's road transportation network, Transportation staff has calculated the average impact of a single-family dwelling unit on the road network to be \$12,652; however, the Board of Supervisors has adopted a policy establishing that it would accept a maximum cash proffer of \$9,400 per dwelling unit as addressing the traffic impacts of residential development, with all of the funds to be dedicated towards improvements to the transportation network. The Policy allows the county to consider mitigating circumstances about a proposed development. In this case, the residential development is limited to townhome and multi-family (apartment/condominium) uses, which generate approximately 63% and 60% of the traffic of single-family dwelling units, respectively. Because of this, the traffic impact could be addressed with \$5,922 (63% of \$9,400) per townhome dwelling unit and \$5,640 (60% of \$9,400) per multi-family dwelling unit. The traffic impact of the proposed development could be valued at \$3,468,600 ($300 \times \$5,922 + 300 \times \$5,640$).

As previously noted, the applicant has proffered to construct specific off-site road improvements along Route 10 and Courthouse Road (Proffered Conditions 6.a.i., 6.a.ii., 6.a.iii., and 6.b). The condition requires the applicant to complete all road improvements prior to issuance of any final occupancy permit. The applicant has provided information that the estimated cost of the off-site road improvements is \$6,686,180. Staff agrees with the developer's evaluation. It should be noted, however, that the actual cost to provide these improvements could be more or less than this amount.

CASE 20SN0526 - ROAD EXHIBIT



VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804-674-2907) willie.gordon@vdot.virginia.gov

As the proposed site will generate over 5,000 vehicle trips per day, and Chapter 527 Traffic Impact Analysis (TIA) is required. The original TIA was submitted to VDOT for review, with VDOT comments provided to the County dated September 13, 2019. The applicant revised the TIA and provided an updated report for review on November 14, 2019. VDOT is currently reviewing the updated report for compliance with the Chapter 527 TIA regulations. In the event a signal is warranted by the proposed site traffic, VDOT will require the applicant to submit a Signal Justification Report (SJR) to the department to analyze appropriate alternative intersection treatments in order to determine the appropriate traffic control measures necessary at the intersection. The applicant has requested a right-in only access off of Route 10 that will require a VDOT Access Management Exception for not meeting the minimum spacing requirements from the on-ramp to eastbound Route 288 and the signalized intersection of Route 10 and Courthouse Road. Specific features of the proposed site will be addressed during the County Site Plan Review Process.

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

Mission

The mission of Fire and Emergency Medical Services (EMS) is to protect life, property and the environment through a comprehensive fire and life safety program that ensures an adequate and timely response to emergencies.

Response Times

The proposed development is located in the urban response zone for which Fire & EMS has a goal of responding to at least 90% of the calls for service in under seven (7) minutes. Fire and EMS is currently unable to meet that goal.

Nearby Fire/EMS Facilities

The Airport Fire Station, Company Number 15

Anticipated Fire & EMS Impacts/Needs

Based on an average of .374 calls per dwelling, it is estimated that this development will generate 281 annual calls for Fire/EMS services.

Additional Fire and EMS Comments

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Buildings greater than 3 stories in height will require a second access when developed.

20SN0526-2020JAN22-BOS-RPT

To satisfy the requirements of Section 17-76 of the Subdivision Ordinance, when the cumulative total of homes in a proposed development exceeds fifty (50), a second public road access to all dwellings should be provided. This requirement is necessary to provide emergency vehicle a second access to the homes should the other entrance become blocked.

SCHOOLS

Staff Contact: Atonja Allen (804-318-8740) atonja_allen@ccpsnet.net

Mission

High performing, high quality public schools contribute to the quality of life and economic vitality of the County. The comprehensive plan suggests a greater focus should be placed on linking schools with communities by providing greater access, flexible designs and locations that better meet the needs of the communities in which they are located.

Capital Improvements

The School Board FY2020 adopted Capital Improvement Plan (CIP) continues to support the 2013 voter approved school revitalization program that will replace or renovate ten schools and construct one new elementary school to add capacity in the Midlothian area of the county. The ten existing facilities that are part of the revitalization program are Beulah Elementary School, Crestwood Elementary School, Enon Elementary School, Ettrick Elementary School, Harrowgate Elementary School, Matoaca Elementary School, Reams Elementary School, Manchester Middle School, Providence Middle School, and Monacan High School. A replacement Manchester Middle School is planned for construction on the existing school site, and the Beulah Elementary School, Enon Elementary School, Providence Middle School, and Monacan High School projects are complete. Additional school construction projects include a Matoaca Middle School addition on the east campus site, and the new Matoaca Elementary School will be constructed on the existing west campus site. Upon completion of the east campus addition, the current west campus building will be demolished and Matoaca Middle School will operate as a single, unified campus. Information on the CIP and School Board approved construction projects can be found in the financial section of the CCPS Adopted Budget for FY2020.

Anticipated School Impacts

	Elementary (PK to 5)	Middle (6 to 8)	High (9 to 12)	Total ⁽¹⁾
Anticipated Student Yield by School Type	51	26	41	118
Schools Currently Serving Area	O.B. Gates	Salem Church	L.C. Bird	2019-20 School Year
Current Enrollment	682	919	1,795	
Design Capacity ⁽²⁾	1,020	1,216	2,454	
Enrollment Percent of Design Capacity	67%	76%	73%	
Program Capacity ⁽³⁾	874	993	2,311	
Enrollment Percent of Program Capacity	78%	93%	78%	
Total Number of Trailers	0	5	5	
Number of Classroom Trailers	0	2	2	
Note: ⁽¹⁾ Based upon the average number of students per dwelling unit for each of the school attendance zones where the proposal is located. Student Generation Factor (2017) is the actual total number of students by grade level divided by the actual total number of housing units by housing type. ⁽²⁾ Design capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the architectural program design of the existing building including all interior and exterior renovations to date and an inventory of all available space. Design capacity does not include site-based initiatives and is thus not subject to frequent change and represents prototypical design capacity using VDOE standards. ⁽³⁾ Program capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the current school programming that may adjust the number of rooms used for core or grade-level classrooms in the overall building design capacity.				

Public Facilities Plan

Post 2020, the *Public Facilities Plan* recommends a new middle school in the vicinity of Chester and West Hundred Roads and a new high school in the vicinity of Chester Road and Route 288, north of Route 10. However, at this time, a budget has not been developed for the acquisition of land or construction of these school facilities as recommended in the *Plan*.

Additional School Comments

The proposal is adjacent to O.B. Gates Elementary School. For safety and security of schools, access (such as pedestrian paths and connections) should be from the front or main entrance of the school. The developer indicated that the initially proposed northernmost trail connector along "Road B" would not be made. Any proposed road improvements or pedestrian access/connectivity in front of the school property should be in accordance with VDOT's and CDOT's regulations within school zones.

The portion of the school property closest to this proposal may be redeveloped to a more intense school use over time.

The proposed project is accessed through Courthouse Road, which is also the main thoroughfare for O.B. Gates ES, L.C. Bird HS, Chesterfield Career and Technical Center (CTC) at Courthouse and CCPS offices for Pupil Transportation (Main Office, Area 1 and Area 5), Fleet Garage, Training Office and ESOL-Prekindergarten Welcome Center. This could impact traffic and school bus operations, especially during drop-off and pick-up of students.

LIBRARIES

Staff Contact: Jennifer Stevens (804-751-4998) stevensj@chesterfield.gov

Countywide Library Needs

The public library system's role in the county has expanded beyond its traditional function as a resource for information and materials, and now serves as a community gathering place for educational, cultural and informational services; community support during emergencies; economic development; and revitalization activities.

Anticipated Libraries Impacts

While all county libraries could be potentially impacted by the proposed development, the following library is nearby:

Central Library

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

Mission

The County supports a high-quality park system to provide residents and visitors with balanced access to active and passive recreation opportunities. The 2018 level of service is 7.5 acres of regional, community and neighborhood parkland per 1,000 persons whereas the target level of service is 9 acres per 1,000 persons.

Nearby Parks Facilities

- Cogbill Park & Harry G. Daniel Park at Ironbridge
- Fairgrounds Event Park
- Bird Athletic Complex & Chesterfield Technical Center – Courthouse
- L. C. Bird High School & O. B. Gates Elementary School

Public Facilities Plan

The *Public Facilities Plan* identifies the need for a neighborhood park. Cogbill Park meets this need in the area and is planned for development.

The Bikeways and Trails Chapter of the Comprehensive Plan recommends provision of pedestrian/bicycle facilities along all routes shown on the *Plan* and connections from these routes and existing pedestrian/bicycle facilities to adjacent developments. The *Plan* shows a route on or along the Courthouse Road.

RECOMMENDATION

Proposed development sidewalks and trails should connect to the Bikeways and Trails located on Courthouse Road and the existing and proposed trails near the Government Center.

SUMMARY OF IDENTIFIED ISSUES

None

Additional Parks Comments

The *Plan* addresses connection of the development to the Bikeways and Trails both existing and planned on Courthouse Road. The Bikeways and Trails routes throughout the Chesterfield County Government Complex and along Ironbridge Road will also provide pedestrian and bicycle connectivity to this community.

See attached Bikeways and Trails Plan (Pages BT1-BT21 - https://www.chesterfield.gov/mwg-internal/de5fs23hu73ds/progress?id=SwnDyiT70vfqILT1k7TZEy5Md3xR8_cGf2hYwl2u9EQ,&dl) & Fairgrounds Park Master Plan (see attached concept plan).

Internal recreation amenities and open space should be planned to incorporate areas not restricted to development (e.g. Resource Protection Areas, Wetlands and steep slopes).



UTILITIES

Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems			
Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	Yes & No	16"	Yes
Wastewater	Yes & No	18"	Yes

Additional Utility Comments:

The applicant is proposing a development that includes up to 265,000 square feet (sf) of shopping center/retail, 150,000 sf of medical/dental office, 100,000 sf of mini-warehouse, 120 room hotel, and 600 residential multi-family units (Proffered Condition 3).

The subject properties are located within the mandatory water and wastewater connection areas for new residential and non-residential structures. The existing gas station along Iron Bridge Road is currently served by County water and wastewater. The applicant has proffered use of County water and wastewater to support this development. (Proffered Condition 10)

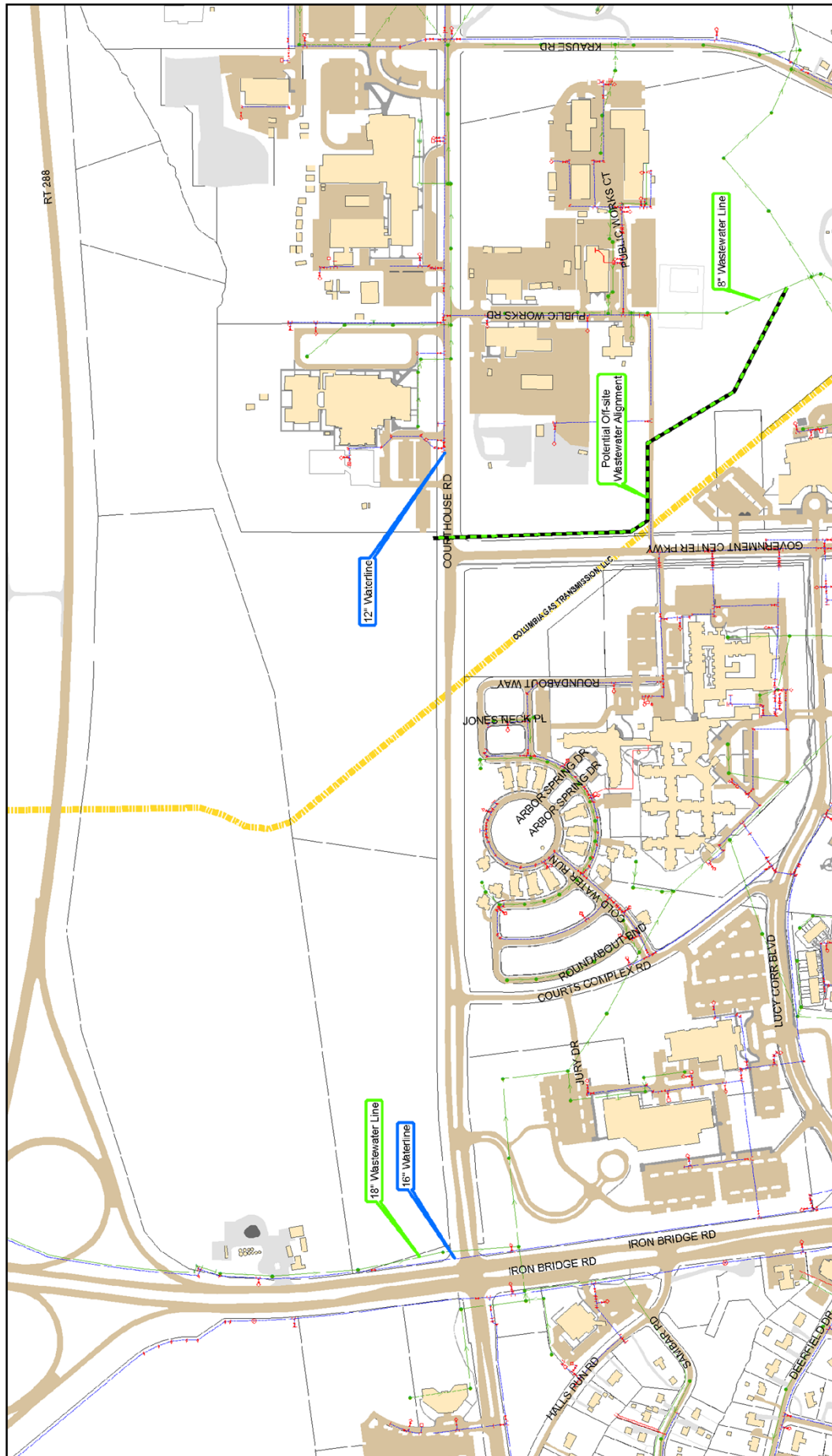
Due to the size and scope of the project the applicant has proffered to submit an overall utilities master plan for review and approval by the Utilities Department (Proffered Condition 11). Further, the applicant has proffered to analyze the hydraulic capacity of the county's water and wastewater systems as part of that plan and make any related capacity improvements to the systems necessary to support the development of the project.

County wastewater is available at the intersection of Iron Bridge Road and Courthouse Road to serve this development. Due to grade and the gas transmission main that bisects the property, staff anticipates an offsite wastewater extension will be necessary to serve the development from south of Courthouse Road from the area behind the Smith-Wagner building and Public Works Road. This extension will cross property owned by the County, and coordination with various County departments will be required prior to approval of the wastewater alignments to verify the County's future use of these lands will not be adversely impacted by this extension.

County water is available at the intersection of Iron Bridge Road and Courthouse Road to serve this development. Due to the number of units proposed, a looped water system will be required. This will involve construction of a waterline through the development along Courthouse Road and interconnecting with a waterline stub along Courthouse Road in front of Gates Elementary School.

All extensions of the County water and wastewater systems will be subject to formal review and approval of the Utilities Department. The Utilities Department supports this case.

CHESTERFIELD COUNTY DEPARTMENT OF UTILITIES



Chesterfield County
Department of Utilities
20SN0526
29.11 Chesterfield, LLC
MJR, 9/12/2019
1 inch = 600 feet

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ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) rochetr@chesterfield.gov

Geography

The subject properties are generally very flat and contain a large area of wetlands in the center of the proposed development. The properties drain from southwest to northeast to an existing natural stream which crosses under Route 288 and into Proctors Creek. All of the properties are located within the Proctors Creek Watershed.

Environmental Features

A Resource Protection Area (RPA) Designation must be submitted to the Department of Environmental Engineering – Water Quality Section prior to the submittal of any site plans and/or preliminary plats. A Water Quality Impact Assessment must be submitted to and approved by the Department of Environmental Engineering and/or the Board of Supervisors for any improvements which may encroach into the RPA.

Additionally, there are areas of wetlands within the drainageways located on the properties. Wetlands and/or streams shall not be impacted without approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Drainage

The subject properties currently drain to an existing natural stream which crosses under Route 288 and into Proctors Creek. Proctors Creek drains through several existing subdivisions which contain homes currently located within the FEMA 100-year floodplain; therefore, any increase in the 100-year discharge rate from the development of the subject properties may result in increased flooding of these homes. As a result, the maximum post-development discharge rate for the 100-year storm shall be based on the maximum capacity of the existing facilities downstream, and shall not increase the recorded 100-year backwater and/or floodplain. On-site detention of the post-development discharge rate for the 100-year storm to below the pre-development discharge rate may be provided to satisfy this requirement. The applicant has offered Proffered Condition 9 to address this impact.

A portion of the County Complex currently drains through an existing ditch which will be impacted with the proposed development. A new alignment of the stormwater conveyance system, within a permanent drainage easement, shall be provided through the subject properties to an adequate receiving channel, as determined by the Department of Environmental Engineering at the time of site plan review. The applicant has offered Proffered Condition 9 to address this impact.

Stormwater Management

The development of the subject properties will be subject to the Part IIB technical criteria of the Virginia Stormwater Management Program Regulations for water quality and quantity. Any areas of forest/open space used for stormwater quality compliance must be outside the limits of the residential lots, unless otherwise approved by the Department of Environmental Engineering.

AIRPORT

Staff Contact: Clay Bowles (804-748-1373) bowlesc@chesterfield.gov

The property is within the Chesterfield County Airport Operational and Runway Approach areas per the Comprehensive Plan. The property, however, is outside the boundary of the Runway Protection Zone (RPZ), an established area off the end of the runway with limitations on obstructions. The property also falls within a 50:1 Surface Approach Zone (Glide Slope Ratio) which establishes the maximum building height across the property (reference Attachment 4).

The county airport consulting engineer, Delta Airport Consultants, reviewed the proposed project and offered the following comments. Based on these comments, General Services defers to Community Development to determine the appropriate time in the site plan review process to address the following items. General Services views these following items as requirements and not merely options.

Compliance with all applicable FAA Requirements 7460 Review

Once final building plans are determined, the developer should be required to demonstrate compliance with all applicable FAA restrictions (e.g., Runway Protection Zone, building height requirements, etc.). We believe this is best accomplished by completing a FAA 7460 review, whereby the specifics of planned construction are evaluated for hazards to air navigation. This is a pass/fail type of review and documentation of compliance should be required before site plan approval. Further, if changes are made, a new review should be required.

Aesthetic Water Features & Proposed Stormwater Management

The concern is the likelihood of these items to attract birds, which can be significantly hazardous to safe operation of aircraft. Any water feature proposed purely for aesthetics should not be allowed. Stormwater management should be designed as a detention pond(s) (i.e., not a retention pond) that will drain quickly.

Noise

The development must comply with the FAA-mandated 65 DNL sound requirement as detailed in the Airport Master Plan. In addition to utilization of noise-mitigating construction materials, a buyer-signed disclosure statement should be required to notify buyers that they are purchasing property in an airport landing approach pattern where jet aircraft regularly operate.

CASE HISTORY

Applicant Submittals	
8/20/19	Application submitted
9/10, 9/11, 9/12, 9/17, 9/27, 9/30, 10/16, 11/7, 11/27 & 12/4/19	Proffered conditions, Textual Statement and exhibits submitted

Community Meetings	
9/23/19	<p>Issues Discussed:</p> <ul style="list-style-type: none"> • Timing of public hearings for case • Potential site impediments such as gas easement and wetlands • Proximity to airport and potential structure height limitations • Quantity and long-term quality of proposed apartments and potential impact to schools • Multiple variations in proposed architectural treatment • Need for a hotel • Widening of Courthouse Road and its impact on nearby pedestrian facilities • Timeline of Route 10 widening project • Impact on existing traffic conditions on Iron Bridge and Courthouse Roads and proposed site access • Development impact on first responders • Development density • Project completion/timeline • Public outreach
11/21/19	<p>Issues Discussed:</p> <ul style="list-style-type: none"> • Widening of Courthouse Road and its impact on nearby pedestrian facilities • Timeline and details of Ironbridge Rd widening project and aesthetic impact widening project may have on surrounding area • Impact of roadway projects and traffic from development on nearby schools • Impact on existing traffic conditions on Iron Bridge and Courthouse Roads and proposed site access • Vehicular cut-thru traffic impact on Deerfield Estates • Architectural details • Proximity to airport and potential structure height limitations • Impact of Chesterfield County Public Schools

Planning Commission	
10/15/19	Action – DEFERRED TO DECEMBER 17, 2019 ON THE COMMISSION’S OWN MOTION, WITH THE APPLICANTS CONSENTING TO THE FIRST 34 DAYS (NOVEMBER 19) AND THE REMAINING 28 DAYS COUNTED AGAINST THE CPC’S 100 DAYS.
12/18/19	<p>Citizen Comments: Citizens spoke in favor and opposition to the request. Those in favor noted:</p> <ul style="list-style-type: none"> • Need for mixed-use development in area, including medical office and hotel • Future residents would become accustomed to aircraft noise • Satisfaction with proposed higher development standards • Resulting traffic would be mitigated with proposed roadway improvements <p>Citizens who spoke in opposition to the request noted concerns relative to:</p> <ul style="list-style-type: none"> • Proposed development too large and out of scale with the area • Resolution of outstanding traffic details with VDOT prior to approval • Increase in traffic and impact on challenged roadway networks and adjacent school traffic. Anticipated problems with proposed roundabout. Traffic impacts on Deerfield Estates. • Wet ponds attractive to water fowl and hazardous for aircraft • Residential units located in runway approach path; posing noise and safety concerns • Residential impact on nearby schools • Compliance with the Comprehensive Plan • Need for additional open space and area parks • Lack of development phasing may result in more desirable uses, such as medical office and hotel, never being constructed • Reservation of space for future government use <p>Applicant’s comments: The applicant indicated the following:</p> <ul style="list-style-type: none"> • Fencing between the site and O.B. Gates proposed • Preference for traffic signal at access; roundabout supported by CDOT • Off-site roadway improvements completed prior to certificates of occupancy • Proposed development would not address regional site traffic but would provide significant tax revenue for the County • Compliance with all FAA regulations. • Development details evaluated through site plan review process • No anticipated changes to proposal to warrant deferral of case

Commission Discussion:

The Commission noted the following:

- Consideration for deferral to provide applicant time to work with VDOT on remaining traffic issues, to include traffic weave from Route 288/Route 10 to Courthouse Road (east), and access (right-in) from northbound Iron Bridge Road
- Concerns pertaining to current and future levels of service for area roads; need for Route 10 Corridor study and phasing of associated road improvements
- Lack of development phasing plan (commercial with residential) and guarantees for medical/office and hotel uses
- Airport safety concerns, including use of wet detention ponds (water fowl)
- Completion of FAA application process and approvals
- Limiting noise levels for residential based on airport proximity and the flight approach path
- Insufficient screening for proposed gas station at highly-visible corner of Iron Bridge and Courthouse Roads

Recommendation – DENIAL

Motion: Jackson **Second:** Sloan

AYES: Jackson, Freye, Jones, Sloan and Stariha

PROFFERED CONDITIONS

December 4, 2019

1. Master Plan. The Textual Statement last revised December 4, 2019, shall be considered the Master Plan. (P)
2. Burning ban. The Developer shall not use burning to clear or timber the Property. (F)
3. Density. The maximum density of this development shall be 265,000 square feet of shopping center/retail, 150,000 square feet of medical/dental office, 100,000 square feet of mini-warehouse, 120 room hotel, and 600 multi-family units; or equivalent density as approved by the Transportation Department. At the request of the Developer, higher densities may be approved by the Planning Commission if the other requirements of zoning are met. (T)
4. Access.
 - a. Direct vehicular access from the Property to Ironbridge Road (Route 10) shall be limited to one (1) entrance/exit, if approved by the Virginia Department of Transportation (VDOT).
 - b. Prior to any tentative subdivision plan, site plan, or construction plan approval, whichever occurs first, an access plan for Courthouse Road shall be submitted to and approved by the Transportation Department. Vehicular access from the Property to Courthouse Road shall conform to the approved access plan. (T)
5. Dedication. Prior to any site plan approval, in conjunction with recordation of the initial subdivision plat, or within thirty (30) days from a written request by the Transportation Department, whichever occurs first, all rights of way and easements as shown on the construction plans for the widening of Ironbridge Road (Route 10 Widening from Frith Lane to Whitepine Widening Project) from the Property, as determined by the Transportation Department, shall be dedicated, free and unrestricted, to Chesterfield County. (T)
6. Road Improvements. To provide an adequate roadway system, prior to the issuance of any final certificate of occupancy, the following road improvements shall be completed as determined by the Transportation Department. The exact alignment, design, and length of these road improvements shall be approved by the Transportation Department.
 - a. Ironbridge Road (Route 10) and Courthouse Road intersection:
 - i. Construction of additional pavement along the western approach of Courthouse Road to provide a seven (7) lane typical section [i.e., five (5) westbound lanes (dual lefts, one thru, and dual rights) and two (2) eastbound lanes].

- ii. Construction of additional pavement along the eastern approach of Courthouse Road to provide a five (5) lane typical section [i.e., four (4) eastbound lanes (left, two (2) thru, and right) and one (1) westbound lane].
 - iii. Construction of additional pavement along northbound lanes of Route 10 at the Courthouse Road intersection to provide a separate right turn lane.
 - iv. Full cost of traffic signal modifications at the Route 10/ Courthouse Road intersection to accommodate road improvements identified above.
- b. Construction of Courthouse Road to a four (4) lane divided road section from Route 10 to the Government Center Parkway intersection, with modifications approved by the Transportation Department.
- c. Construction of additional pavement along Courthouse Road to provide separate right turn lanes and adequate left turn lanes (where left turn movements are permitted) at each approved access. These improvements may be modified based on intersection control at the Courts Complex/Road A and Government Center Parkway/Road B intersections, as determined by the Transportation Department and approved by VDOT.
- d. Construction of additional pavement along the eastbound lanes of Courthouse Road to provide dual left turn lanes at the Courts Complex Road/Road A intersection, unless otherwise approved by the Transportation Department. This improvement may be modified based on approved intersection control, as determined by the Transportation Department and approved by VDOT.
- e. Construction of traffic signal or other intersection control at the Courthouse Road/Courts Complex Road/Road A and Courthouse Road/Government Center Parkway/Road B intersections, if warranted by the Transportation Department and approved by VDOT.
- f. Construction of additional pavement along the eastbound lanes of Courthouse Road to provide a separate right turn lane (slip lane) at the Government Center Parkway intersection, with modifications approved by the Transportation Department.
- g. Construction of a 10 foot VDOT standard shared use path along the north side of Courthouse Road ("Courthouse Shared Use Path") for the entire Property frontage, unless otherwise approved by the Transportation Department. This path may be located within the Courthouse Road buffer.
- h. Relocation of the stormwater management facility as shown on the construction plans for the Route 10 Widening (Frith Lane to Whitepine Road) Project (labeled as "SWM 17" on the construction plans) and restoration of the area as determined by the Planning Department. On-site stormwater system shall be designed and constructed to accommodate the relocated stormwater management facility drainage, including

dedication of any required drainage easements.

- i. Dedication to Chesterfield County, free and unrestricted, of any additional right-of-way (or easements) required for the improvements identified above. (T)

7. Open Space/Pedestrian Areas.

- a. Common and open space areas designated in the Design Guidelines shall include common spaces for use by all owners, residents, tenants, guests, and invitees of all or any specific portions of the Property, designed to include amenities that add high visual interest, such as some or all of the following, but not limited to: decorative pedestrian-style lighting; benches; landscaped areas; plantings; bike racks; plazas; water features; gathering areas; multi-purpose open lawn (for use for such activities as bocce ball and Frisbee golf); pond overlook; native plant meadow; grilling areas; fire pit areas; outdoor dining areas; dog park; fitness stations; community gardens; picnic shelters; bird-watching areas; and other pedestrian elements.
- b. Pedestrian areas such as trails, walks and paths, and the above amenities along such areas, shall be provided throughout the Property as generally shown in the Design Guidelines to provide pedestrian connectivity throughout the entire development and in particular between buildings and different uses on the Property and to and from the Courthouse Shared Use Path, all as generally shown in the Design Guidelines. The exact design, material and location of such pedestrian elements shall be approved by the Planning Director as part of plan approval.
- c. There shall be an internal system of sidewalks, paths and crosswalks along and between roads and drives providing overall pedestrian connectivity within the Property and to and from the Courthouse Shared Use Path. Such hardscaped walks shall be constructed of various hard and decorative materials, such as, but not limited to pavement, concrete, stone pavers, asphalt, or stamped concrete, in locations as generally shown in the Design Guidelines.
- d. The Landing, as shown in the Design Guidelines, shall be a minimum of 3 acres, serve as a focal point upon entry into the Property and provide a common area transition between the residential and commercial portions of the Property. The Landing shall be connected to all portions of the Property by the various pedestrian elements described above. (P)

8. Street Lights. Decorative street lights will be provided along the Property boundary as it adjoins Iron Bridge Road and Courthouse Road and such lights shall be limited to 15 feet in height. Decorative street lights will also be provided along those internal roads designated in the Design Guidelines as "Road A", "Road B" and "Road C". The specific light fixture and spacing shall be approved by the Planning Director in conjunction with plan approval. The installation of the street lights may be phased as approved by the Planning Director based on the extent of the plan approval. (P)

9. Stormwater. The maximum post-development discharge rate for the 100-year storm shall be based on the maximum capacity of the existing facilities downstream, and shall not increase the recorded and/or established 100-year backwater and/or floodplain. On-site detention of the post-development 100-year discharge rate to below the pre-development 100-year discharge rate may be provided to satisfy this requirement. Further, the Developer shall dedicate a permanent drainage easement for the benefit of the County for the upstream off-site drainage through the Property as determined at the time of plan review and approval. Any wet stormwater management facility shall be designed as a visual amenity to create water features, which shall include pedestrian areas and fountain type aerators, unless specifically prohibited or restricted by law or government regulation, and as determined by Environmental Engineering. Further, any such wet stormwater management facility shall include features to discourage use of such facilities by wildlife, such as sound measures or otherwise. (EE)
10. Public Water and Wastewater. Public water and wastewater system shall be used. (U)
11. Utilities. The Developer shall submit and receive approval from the Utilities Department for an overall utilities master plan indicating the on-site and off-site utilities improvements necessary to support the development prior to the submission of any schematic, tentative subdivision, construction, or site plan on the Property. The Developer shall perform a hydraulic analysis of the county's water and wastewater systems to verify adequate capacity exists as part of the overall utilities master plan. Any capacity related improvements required to support the demands of this development will be reflected on the overall utilities master plan and shall be the responsibility of the Developer. (U)

TEXTUAL STATEMENT

Last Revised December 4, 2019

Design Guidelines. This Textual Statement shall include the following exhibits which by this reference are made a part hereof:

- A. Exhibit A – Design Guidelines attached hereto as Exhibit A, entitled “COURTHOUSE LANDING, DESIGN GUIDELINES, CHESTERFIELD, VA”, dated November 5, 2019, and prepared by CiteDesign (the “Design Guidelines”).

Design Intent. Courthouse Landing is a mixed use community to live, work, shop and recreate with a focus on common gathering spaces, public spaces and pedestrian connections. The development is intended to provide seamless transitions to integrate the commercial areas and residential sections by use of connecting streets, common spaces, open areas, public spaces, and walkways as generally shown within the Design Guidelines. While the particular uses are located in various specific areas of the Property, the overall design of the Property will include common spaces for use by all owners, residents, tenants, guests, and invitees of the Property, designed to include amenities that add high visual interest and pedestrian connections to such common spaces and all uses on the Property by use of various pedestrian elements. The feel of the project will also be achieved with quality materials, finishes, design elements and architectural features on buildings to reflect a variety of architectural styles, buildings types, textures, and colors, but providing a commonality of quality material, finishes and styles as generally reflected in the Design Guidelines.

CUPD. Development of the Property shall comply with the Zoning Ordinance requirements except as outlined herein.

I. General Requirements:

- A. Design Guidelines Requirements. The Property shall be designed as generally depicted within the Design Guidelines, provided the exact number, number, location and style of buildings, drive areas, parking areas, common areas, open spaces, pedestrian elements, and features shall be designed to achieve the goals of the Design Intent.

B. Setbacks.

- i. All structures, parking areas, drive aisles and public and private access roads shall (i) not have any setback requirements from interior streets or the exterior property lines, other than as needed to provide sufficient room for a pedestrian street environment (that may include on-street parking, street trees, sidewalks, and a landscaping strip between internal parking and any sidewalk) and necessary utility areas, (ii) be setback a minimum of 30 feet from Iron Bridge Road, (iii) be setback a minimum 30 feet from Courthouse Road, and (iv) for Tier 4, be a setback a minimum of 100 feet from I- 288.

- ii. I-288. The setback required by Section 17-70(a) for residential dwellings along I-288 shall be at least 100 feet.

C. Landscaping.

- i. Iron Bridge Road. A landscape strip shall be provided along Iron Bridge Road planted in accordance with Zoning Ordinance requirements for Tree Preservation and Perimeter Landscaping C.
- ii. Courthouse Road. A tree preservation and landscape strip shall be provided along Courthouse Road in accordance with Zoning Ordinance requirements for Tree Preservation and Perimeter Landscaping C.

- D. Architecture. Architectural styles within the project shall provide a variety of architectural features, buildings types, textures, design elements, and colors, as well as a commonality of quality material, finishes and styles as generally reflected by the Design Guidelines.

EIFS shall consist of no more than 15% of the exposed portion of any wall of any building on the Property, shall not be located less than six feet from the ground adjoining the building, and EIFS is to be used primarily as an accent material.

- E. Recreation Areas. Common open spaces and recreation areas on the Property shall total at a minimum, at full build out, at least 10 acres, which areas shall include common open spaces, such as the Landing, as generally shown in the Design Guidelines, various pedestrian elements within and around such areas, walkways and sidewalks connecting the various uses, outdoor areas (hardscaped and natural), playgrounds, outdoor dining areas, fitness stations, seating areas (benches), bike racks, educational plaques, bird-watching areas and the various Recreation Areas within each Tier that are referenced below.
- F. I-288 Signage. A sign shall be permitted along I-288 provided such sign shall be limited to a height of 20 feet and with no more than 150 square feet of sign area per side.

II. Tier 1 – Commercial Tier:

A. Uses.

- i. All uses within the Community Business (C3) District shall be permitted, except for the following uses which shall be prohibited:
 - a. Automobile sales and rental, including consignment lots
 - b. Commercial kennels
 - c. Funeral homes
 - d. Feed sales
 - e. Flea markets
 - f. Laundromat
 - g. Mortuary

- h. Motorcycle, Go Cart, All-Terrain Vehicle, or similar type vehicle track or operation
 - i. Greenhouse
 - j. Veterinary clinic or hospital with accessory kennel for overnight stays
- ii. Other than an office user and the self-storage use, no more than one tenant or user for any such permitted C-3 use may exceed 56,000 square feet.
- iii. An automobile self service station with convenience store shall be permitted subject to the following:
 - a. No more than 1 automobile self service station shall be permitted on the Property and such use shall be located in Tier 1.
 - b. No more than 8 fueling stations shall be permitted.
 - c. Any such building for such use shall be generally compatible with respect to building materials and architectural style with the elevations shown in the Design Guidelines.
 - d. The exterior portions of the wall surfaces of any such building, excluding windows, doors, breezeways, gables and architectural design features, shall consist of 70% of masonry material (brick, stone, or brick veneer). All columns for gas canopies shall be wrapped with brick or stone a minimum of 6' in height.
 - e. The canopy and gas pumps for any such use shall be located such that the convenience store is located between such canopy and gas pumps and Courthouse Road. Any portion of such building facing Courthouse Road shall include windows or the appearance of windows and awnings as part of its architectural design.
- iv. Hotels shall be permitted subject to the following:
 - a. No more than one hotel shall be permitted on the Property and such use shall be located in Tier 1 or Tier 2.
 - b. Any such hotel shall include a fitness center and at least one such hotel shall incorporate an outdoor seating area or with an amenity connected to the common Recreation Areas, and at least 3 of the following amenities: a pool, business center, café, indoor common seating area, conference room, fire pit, and such other amenity features approved by the Planning Department.
 - c. The exterior portions of the wall surfaces of any such building, excluding windows, doors, breezeways, gables and architectural design features, shall consist of 70% of masonry material (brick, stone, or brick veneer).
 - d. The hotel shall not be greater than 4 stories in height.
- v. A self-storage facility shall be permitted subject to the following:

- a. No more than one self-storage facility shall be permitted on the Property and such use shall be generally located in Tier 1 as shown in the Design Guidelines.
- b. The self-storage facility shall be generally compatible with respect to building materials and architectural style with the elevations shown in the Design Guidelines, with the appearance of fenestration and architectural articulation as shown on such elevations. All buildings shall incorporate such architectural standards with respect to all portions of the exterior building walls that can be seen from any public rights-of-way, drives, pedestrian ways, or Recreational Areas.
- c. No sign attached to the self-storage facility may be seen from I-288.
- d. The exterior portions of the wall surfaces of any such building, excluding windows, doors, breezeways, gables and architectural design features, shall consist of 70% of masonry material (brick, stone, or brick veneer).
- e. Any such self-storage facility shall be climate controlled and any units shall be access by interior hallways.
- f. Any such building shall be limited to 3 stories in height and a maximum of 100,000 square feet of space.
- g. No recreational vehicle or boat storage shall be permitted.

B. Exterior Materials. Unless otherwise specified herein, the exterior portions of the wall surfaces of any building within Tier 1 excluding windows, doors, breezeways, gables and architectural design features, shall consist of 50% of masonry material (brick, stone, or brick veneer).

C. Recreational Areas. Recreational Areas shall be provided within and around Tier 1, which shall include 4 or more of the following: walking trails, plazas, outdoor dining areas, picnic shelters, multi-purpose lawns, hardscaped areas, seating areas (benches), and other outdoor amenity features approved by the Planning Department.

III. Tier 2 – Office Tier

A. Uses. Uses shall be limited to those uses permitted by right or with restrictions in the Corporate Office (O-2) and the Neighborhood Business (C-2) Districts. A minimum of 100,000 square feet of office space in total shall be provided within Tier 1 and Tier 2. Such office space shall not be required prior to any other use within Tier 2, so long as enough area is reserved to accommodate a minimum of 100,000 square feet of office space and accessory parking within Tier 1 or Tier 2 or a combination of both Tier 1 and Tier 2. Any plan approval request for any use within Tier 2, shall incorporate a master plan showing the possible location of such office space and accessory parking and potential access thereto.

- B. Building Height. Buildings shall be limited to 5 stories in height, not to exceed 75 feet in height.
 - C. Exterior Materials. Unless otherwise specified herein, the exterior portions of the wall surfaces of any building within Tier 2 excluding windows, doors, breezeways, gables and architectural design features, shall consist of 70% of masonry material (brick, stone, or brick veneer).
 - D. Recreational Areas. Recreational Areas shall be provided within and around Tier 2, which shall include the Landing and 6 or more of the following: walking trails, fitness stations, plazas, outdoor dining areas, picnic areas, picnic shelters, multi-purpose lawns, lawn games, hardscaped areas, seating areas (benches), fire pits, and other outdoor amenity features approved by the Planning Department.
- IV. Tier 3 – Multi-Family Residential Tier: Development shall comply with the RMF Standards except as outlined herein.
- A. Uses. Permitted uses shall be limited to uses permitted by right or with restriction in the Residential Multi-family (R-MF) District. No more than 300 dwelling units shall be permitted in Tier 3 and no more than 15% of such units shall contain 3 bedrooms.
 - B. Development Standards. Development of multiple family dwelling units within the Tier 3 portion of the Property shall comply with the R-MF Zoning Ordinance with the exception of Tables set forth in 19.1-121 of the County Zoning Ordinance, which shall be replaced with the attached Schedule 1, dated October 15, 2019.
 - C. Parking. Parking within Tier 3 shall be provided at a minimum of 1.65 spaces for each dwelling unit. On street marked parking along streets or drive aisles within the project shall be counted towards the required parking. Garage parking spaces and tandem parking spaces in front of residential garages shall be counted towards the required parking.
 - D. Exterior Materials. Unless otherwise specified herein, the exterior portions of the wall surfaces of any building within Tier 3, excluding windows, doors, breezeways, gables and architectural design features, shall consist of 50% of masonry material (brick, stone, or brick veneer) for all facades facing a public or private road or street.
 - E. Recreational Areas (Clubhouse and Amenities). Prior to the issuance of certificates of occupancy for more than one hundred (100) dwelling units within Tier 3, amenities shall be provided for the benefit of the residents of such dwelling units, including, but not limited to, a clubhouse of a minimum of 5,000 square feet in size with a fitness center. The clubhouse and fitness center shall be permitted to be contained within one of the residential buildings or within a separate building. Prior to the issuance of certificates of occupancy for more than two hundred (200) dwelling units, interior and external amenities shall be provided on the multi-family

residential tract within and surrounding the residential buildings, which shall include at least 4 or more of the following: exterior common gathering spaces, pool, sundeck, dog park, outdoor grills, fire pit, bike racks and storage, multi-purpose lawn, and other community amenity features approved by the Planning Department. All such amenities to be provided as set forth herein shall total a minimum of ½ acre in area and satisfy the Recreational Area requirement.

- F. Notice. All tenants of any dwelling units within Tier 3 shall be provided written notification prior to the execution of a lease that there is an airport in the proximity of the Property and that arrivals and departures of aircraft may, from time to time, potentially result in higher than average levels of noise.
- G. East West Road. The road running east and west shall be generally designed within Tier 3 as provided for in the Design Guidelines, including, without limitation, terminating at a visual focal point, such as one or more of a building, pedestrian plaza, traffic circle or roundabout, or water feature.

V. Tier 4 – Townhouse and Condominium Tier:

- A. Overall Standards. No more than 300 dwelling units may be developed within Tier 4. Such dwelling units shall be either townhouse dwelling units on individual lots or multiple-family dwelling (condominium) units.
- B. Single-Family Townhouse Standards. Development of townhouse units within Tier 4 shall comply with the R-TH Zoning Ordinance with the exception of Table 19.1-111 of the County Zoning Ordinance, which shall be replaced with the attached Schedule 2, dated October 14, 2019.
- C. Condominium Standards. Development of condominium dwelling units within Tier 4 shall comply with the Residential Multi-family (R-MF) District, other than as follows:
 - i. There shall be no minimum project size.
 - ii. There shall be no more than 250 condominium dwelling units located within Tier 4.
 - iii. No building setback shall be greater than 20 feet.
 - iv. No building shall be greater than 4 stories, with a rooftop terrace.
- D. Sound Suppression. Any unit backing up to I-288 will be designed to have an average interior decibel level that does not exceed 45 DBA. A sound engineer shall certify that all such units are appropriately designed so that the average interior decibel level shall not exceed 45 DBA. A cross section detail, reviewed and approved by a certified architect or engineer as to the methodology accomplishing the sound transmission coefficient rating shall be provided to the Department of Planning during plan review for such building(s).
- E. Parking. Parking shall be provided as required by the County Ordinance, but marked parking along streets or drive aisles within the project shall be counted towards the

required parking. Garage parking spaces and tandem parking spaces in front of residential garages shall be counted towards the required parking.

F. Architectural Standards and Exterior Materials.

- i. To minimize visual repetition of buildings, no two adjacent townhouse units or condominium units shall have the same identical individual elevation sequence pattern across the front of the building. All townhouse units shall have a front porch or stoop. Architectural materials will vary every 40 linear feet to provide diversity in material. All townhouse units and condominium units shall have a minimum of a 1 car garage.
- ii. All buildings shall have exposed exterior walls (above grade and exclusive of trim) of stone, stone veneer, brick, hardi-plank, vinyl or a combination of the foregoing. Any vinyl siding shall be a minimum of .44" thickness. The exterior portions of the building wall surfaces of each building, excluding windows, doors, breezeways, gables and architectural design features, shall be of masonry material (brick, stone, or brick veneer), as follows:
 1. A minimum of 30% on the front elevation measured in the aggregate of the building.
 2. A minimum of 20% total on the side elevation measured in the aggregate of the building.
- iii. Any buildings identified on the Concept Plan as "Landing Units" shall include the following:
 1. Various architectural features to provide articulation, such as enhanced window features and doors, patios, and decks.
 2. A minimum of 40% on any rear elevation measured in the aggregate of such building.

G. Recreational Areas. Recreational Areas shall be provided within and around Tier 4, which shall include 4 or more of the following: walking trails, plazas, playgrounds, picnic shelters, gazebo, fitness stations, seating areas (benches), nature trails, pond overlook, community gardens, and other outdoor amenity features approved by the Planning Department.

H. Notice. All purchasers of any dwelling units within Tier 4 shall be provided written notification that there is an airport in the proximity of the Property and that arrivals and departures of aircraft may, from time to time, potentially result in higher than average levels of noise.

A. Project Standards.

A. Project Size	None ^[1]
B. Density (maximum)	300 units
C. Number of Accesses to Road ^[2]	
1. 50 units or fewer	1
2. 51 to 200 units	2
3. More than 200 units	^[3]
D. Recreational Area ^[4]	0.5 acre
E. Pavement Width of Access Drives	30 feet
F. Pavement Width of Other Drives	24 feet
G. Parcel Coverage for Project (maximum) ^[7]	40 % of acreage
H. Private Pavement Setbacks ^[5]	
1. Major Arterials ^[6]	25 feet
2. Other Roads	15 feet

Notes for Table 19.1-121.A.

- [1] Minimum acreage requirements do not apply to the Enon and Chester Special Design Districts.
- [2] Access drives shall be those that connect residential clusters to roads. The number of required access points shall be provided prior to occupancy of the specified number of units.
- [3] At time of plan review, additional access points may be required.
- [4] Recreational facilities shall include active recreation, passive recreation and community buildings, as deemed appropriate during plan review. If facilities are required, a phasing plan for their construction and completion shall be submitted for approval prior to final site plan approval. Construction of facilities shall occur in accordance with the approved phasing plan which may include limitation on the issuance of occupancy permits for multifamily dwelling units.
- [5] Perimeter Landscaping C shall be installed within the setback.
- [6] This setback may be reduced as provided in 19.1-316.A.2.

- [7] Parcel Coverage is the area of the parcel occupied by any principal and accessory buildings.

C. Building Standards.

A. Individual Building Setbacks (feet) ^[1]	
1. Project property lines ^[2]	
a. Adjacent to R-MF	30
b. Adjacent to other than R-MF	50
2.a Courthouse Road ^{[2] [3]}	25
2.b. Other Roads	5
3. Interior private pavement excluding parking spaces ^[4]	10
4. Parking spaces	0
5. Distance between buildings	20 feet
B. Dwelling Units per Floor (maximum)	30
C. Principal Building Heights (maximum) ^[5]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2. Other Special Design Districts excluding Ettrick	Lesser of 3 stories or 40 feet
3. Other Areas	4 stories
D. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-121.C.

- [1] Setbacks may be impacted by Buffer, Setbacks -- Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [2] Within these setbacks, Landscaping C shall be installed.
- [3] A multifamily building constructed along a public road shall front the road.
- [4] Setbacks for a building with a height of 48 feet or greater which is adjacent to a fire lane may be reduced to 20 feet.
- [5] Height limits are subject to Article IV, Division 2.

DIVISION 11. R-TH RESIDENTIAL TOWNHOUSE DISTRICT

Sec. 19.1-110. Purpose and Intent of R-TH District. Reserved.

A. Subdivision Standards.

Table 19.1-111. A. Required Conditions R-TH District-Subdivision Standards	
A. Subdivision Size	None
B. Density	300 dwelling units
C. Private Pavement Setbacks	
1. Major arterial	20 feet
2. Other road	5 feet
D. Common Area ^{[2][3]}	40% of subdivision acreage
E. Maximum Number of Attached Homes in Each Group	8

Notes for Table 19.1-111. A.

- [1] Not applicable
- [2] Within required common area, except where lots abut a public street, a 5 foot wide common area shall be provided around the perimeter of each group of attached lots.
- [3] Within the common area of the project, a minimum of .5 acres shall be provided for passive and active recreational use and community space, including pedestrian areas, the central common area shown on the Concept Plan and other uses deemed appropriate during plan review. Unless a phasing plan is approved through preliminary plat review, construction shall be completed prior to issuance of building permits for individual townhouse units. An approved phasing plan may include limitations on the issuance of building permits for individual townhouse units.

FIG. III Div. 11-1

B. Other Required Subdivision Standards.

1. Common Areas Ownership. Areas which are not contained in roads or in lots that are conveyed to individual owners shall be maintained by, and be the sole responsibility of, the developer and/or owner of the townhouse development, unless and until the developer and/or owner conveys such areas to a nonprofit corporate owner, whose members shall be all of the individual owners of townhouses in the development, or to a nonprofit council of co-owners as provided under the Code of Virginia. The land shall be conveyed to, and be held by, the nonprofit corporate owner or the nonprofit council of co-owners and used for the recreational and parking purposes of the individual townhouse lot owners. If the developer and/or owner makes the conveyance to a nonprofit corporate owner, deed restrictions and covenants, in a form and substance satisfactory to the county attorney, shall provide, among other things, that any assessments, charges and costs of the maintenance of such areas shall constitute a pro rata lien against the individual townhouse lots, inferior in dignity only to taxes and bona fide duly recorded deeds of trust on each townhouse lot. An applicant seeking to subject property to townhouse development under this section whose ownership or interest in the property is held by a valid lease, shall provide for an initial term of not less than 99 years in such lease.
2. Roads and Private Pavement. All roads and private pavement shall have concrete curb and gutter, except for alley access roads that access the rear of the dwelling unit.
3. Architecture. Buildings shall be designed to impart harmonious proportions and avoid monotonous facades or large bulky masses. Townhouse buildings shall possess architectural variety while at the same time have an overall cohesive residential character. Residential character may be achieved through the creative use of design elements such as, but not limited to, balconies, terraces, articulation of doors and windows, sculptural or textural relief of facades, architectural ornamentation, varied rooflines, or other appurtenances such as lighting fixtures and planting.
4. Architectural and Landscaping Plans. In conjunction with construction plan submission, landscape and architectural renderings or elevations shall be submitted for approval.

C. Lot and Building Standards.

Table 19.1-111.C. Required Conditions R-TH District-Lot and Building Standards	
A. Lot Standards	
1. Lot area (square feet)	
a. Internal lot	1040
b. End lot in row of less than 5 attached lots	1040
c. End lot in row of 5 or more attached lots	1040
2. Lot width (feet) minimum	
a. Internal lot	20
b. End lot in row of less than 5 attached lots	20
c. End lot in row of 5 or more attached lots	20
3. Lot coverage (maximum %)	60
B. Road Frontage for Townhouse Units ^[1]	
C. Principal Building Setbacks (feet) ^[2]	
1. Major arterial all yards	20
2. Front yard ^{[3][4]}	
a. Non cul-de-sac	10
b. Permanent cul-de-sac	10
3. Side yard	
a. End unit in a row of less than 5 attached lots	5
b. End unit in a row of 5 or more attached lots	5
4. Corner side yard	5
5. Rear yard	
a. Non through lot	5
b. Through lot	5
D. Principal Building Height (maximum)	
1.	Lesser of 4 stories or 48 feet
E. Accessory Building Requirements	
Subject to Section 19.1-304	

Notes for Table 19.1-111.C.

- [1] All lots shall have frontage on a road. If approved by the director of transportation, lots may front on private pavement which has direct access to a public road when the private pavement is designed and constructed in accordance with the provisions of Chapter 17 for alleys and private pavement.
- [2] Setbacks may be impacted by Buffer, Setbacks --Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [3] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [4] The front yard setback of each unit shall be varied at least 2 feet from the adjacent unit and every third unit shall be varied at least 4 feet from the adjacent unit.
- [5] Height limits are subject to Article IV, Division 2.

EXHIBIT A

COURTHOUSE LANDING, DESIGN GUIDELINES
November 5, 2019



DESIGN GUIDELINES
CHESTERFIELD, VA

11.05.19

Developer:

29:11 Chesterfield, LLC

Landscape Architects/Conceptual Planners:



Attorneys:



Civil/Environmental Engineers



Traffic Engineers:



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Revision Date:

Revision:

09.12.19	Original
09.27.19	Revised per County comments
09.30.19	Revised corner sign wall height
10.14.19	Revised per County comments
11.04.19	Revised per County comments
11.05.19	Revised per County comments



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Introduction

Location & Context

Courthouse Landing will be a landmark development at the gateway to Chesterfield County. The 122-acre site is located at the doorstep to Chesterfield County's Courthouse Business District. Offering great access and visibility, the project is positioned at the intersection of Iron Bridge Road (Rt 10) and Courthouse Road at the Route 288 interchange. The upscale mixed use development will integrate retail, hotel, office, medical office, residential (apartments and townhomes), and outdoor recreational areas, providing residents and customers a sense of Urban Living in a Suburban setting!



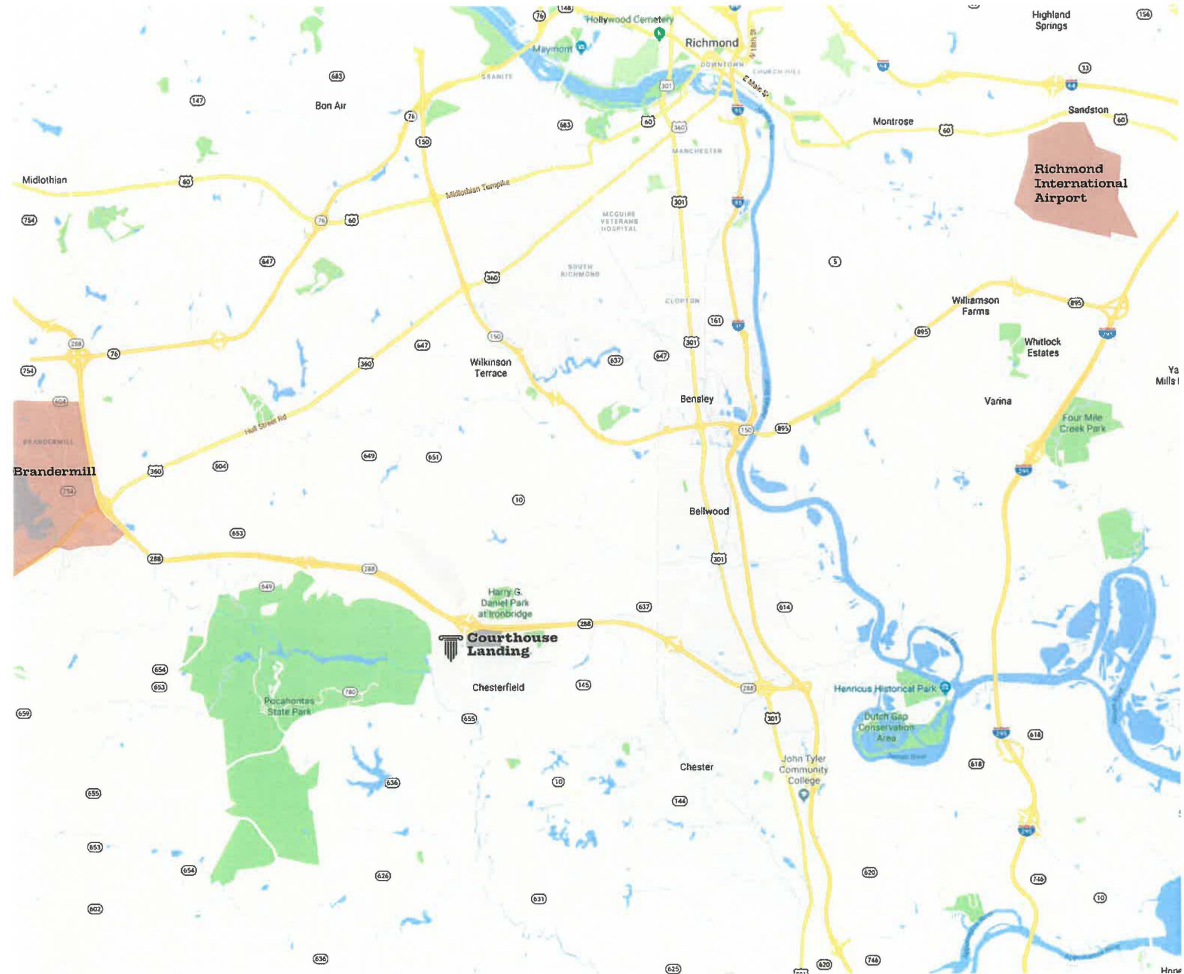
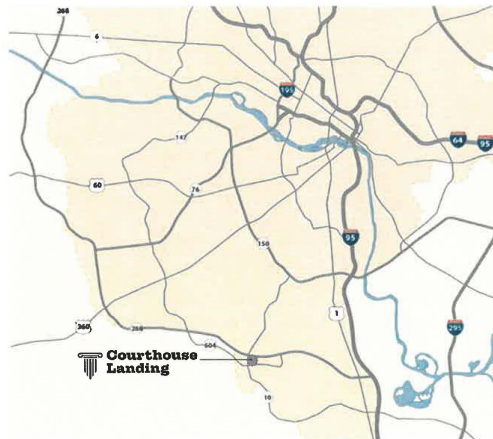
From the Courthouse Landing to:

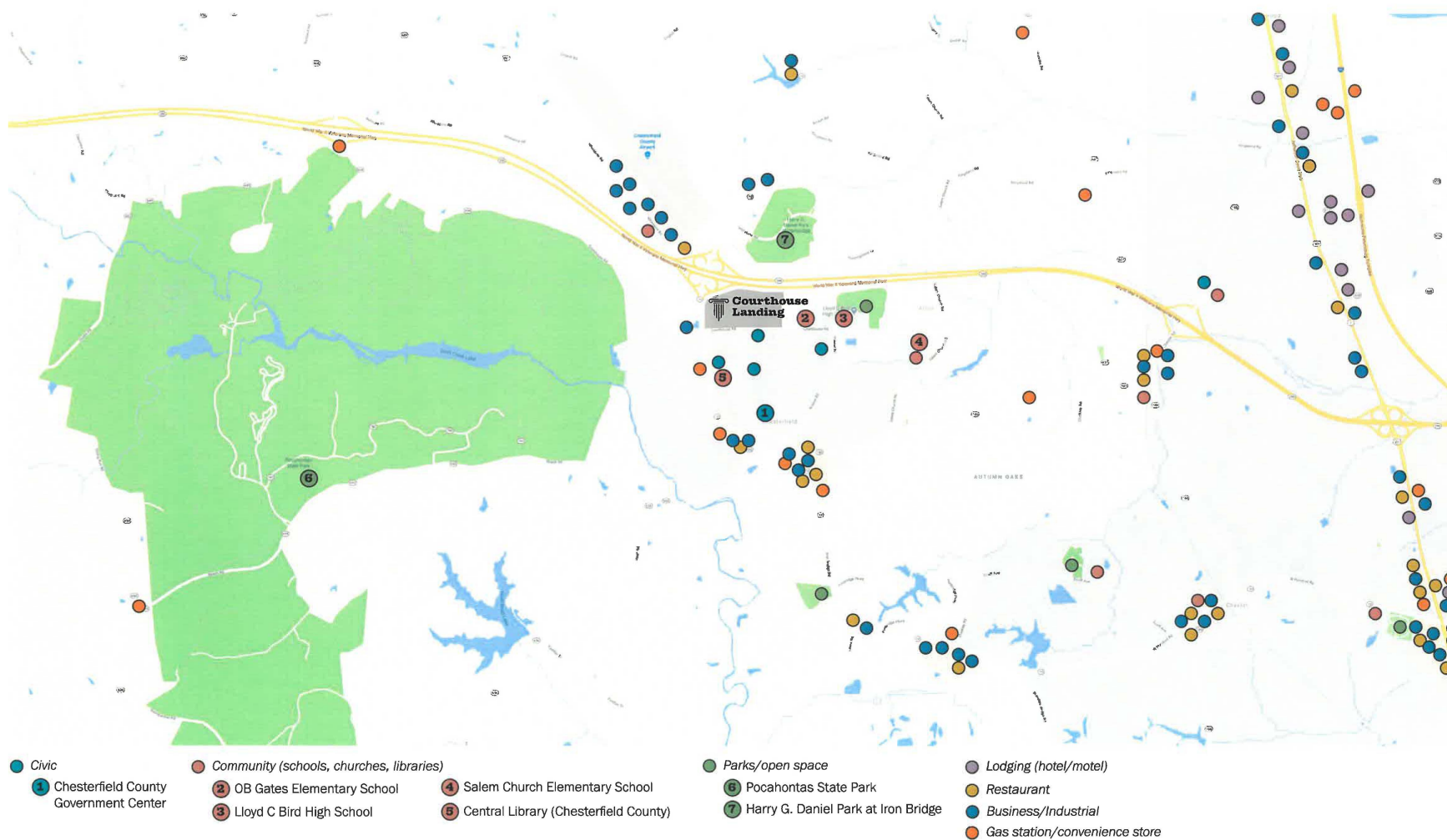
Brandermill - 12.9 miles (16 minutes)

City of Richmond - 16.5 miles (22 minutes)

Short Pump - 29 miles (32 minutes)

Richmond International Airport - 17.6 miles (24 minutes)







Trails:

- ① adjacent trails at Springdale at Lucy Corr village
- ② adjacent trails around part of Chesterfield County Government complex
- ③ miscellaneous nearby trail

Nearby sites:

- Ⓐ Springdale at Lucy Corr Village
- Ⓑ OB Gates Elementary School
- Ⓒ Chesterfield Technical Center
- Ⓓ Lloyd C Bird High School
- Ⓔ Chesterfield County Fairgrounds
- Ⓕ YMCA Camp Thunderbird
- Ⓖ Chesterfield County Central Library



Environmental:

- wetlands
- RPA
- creek

Existing uses:

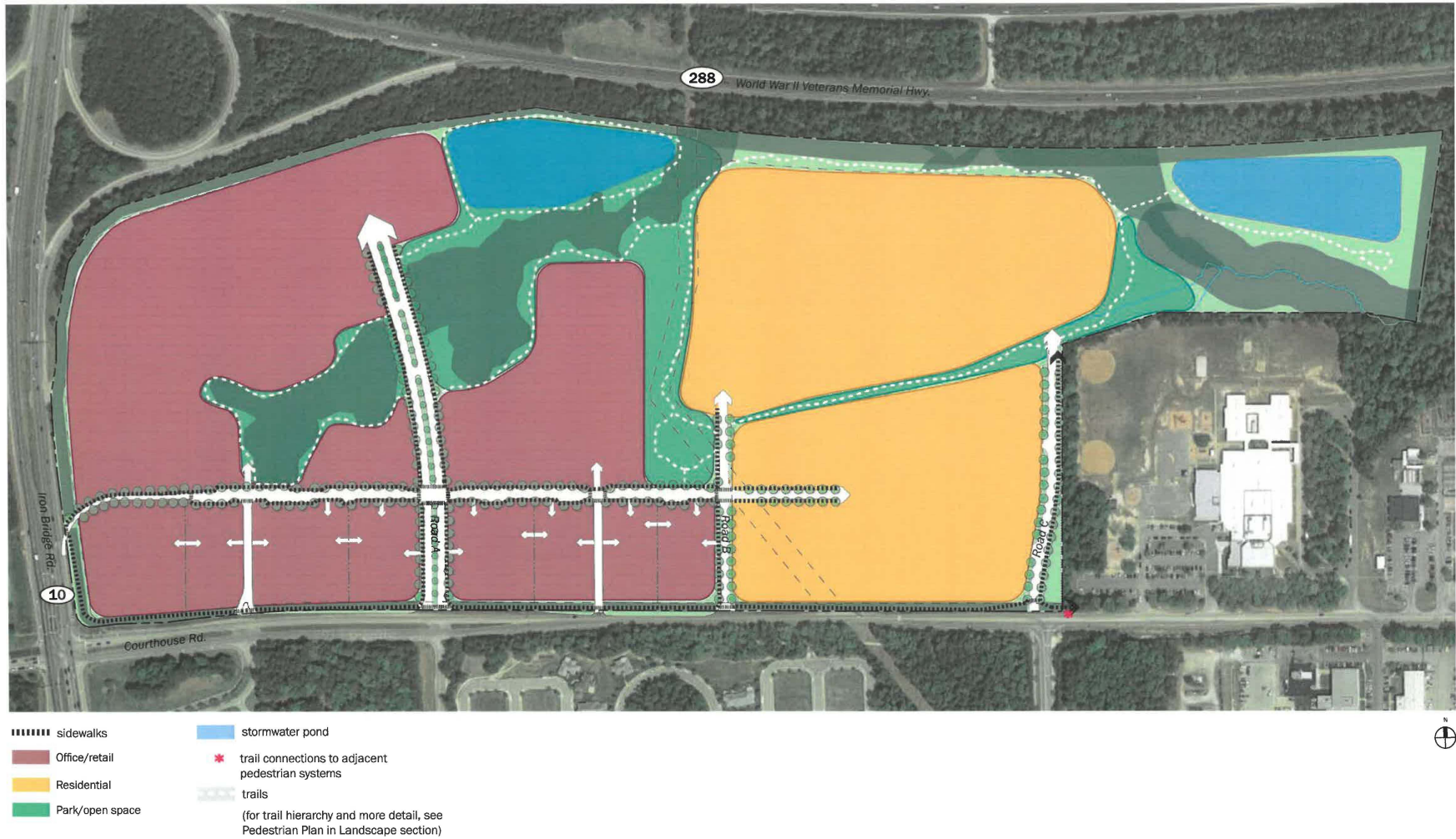
- A gas station



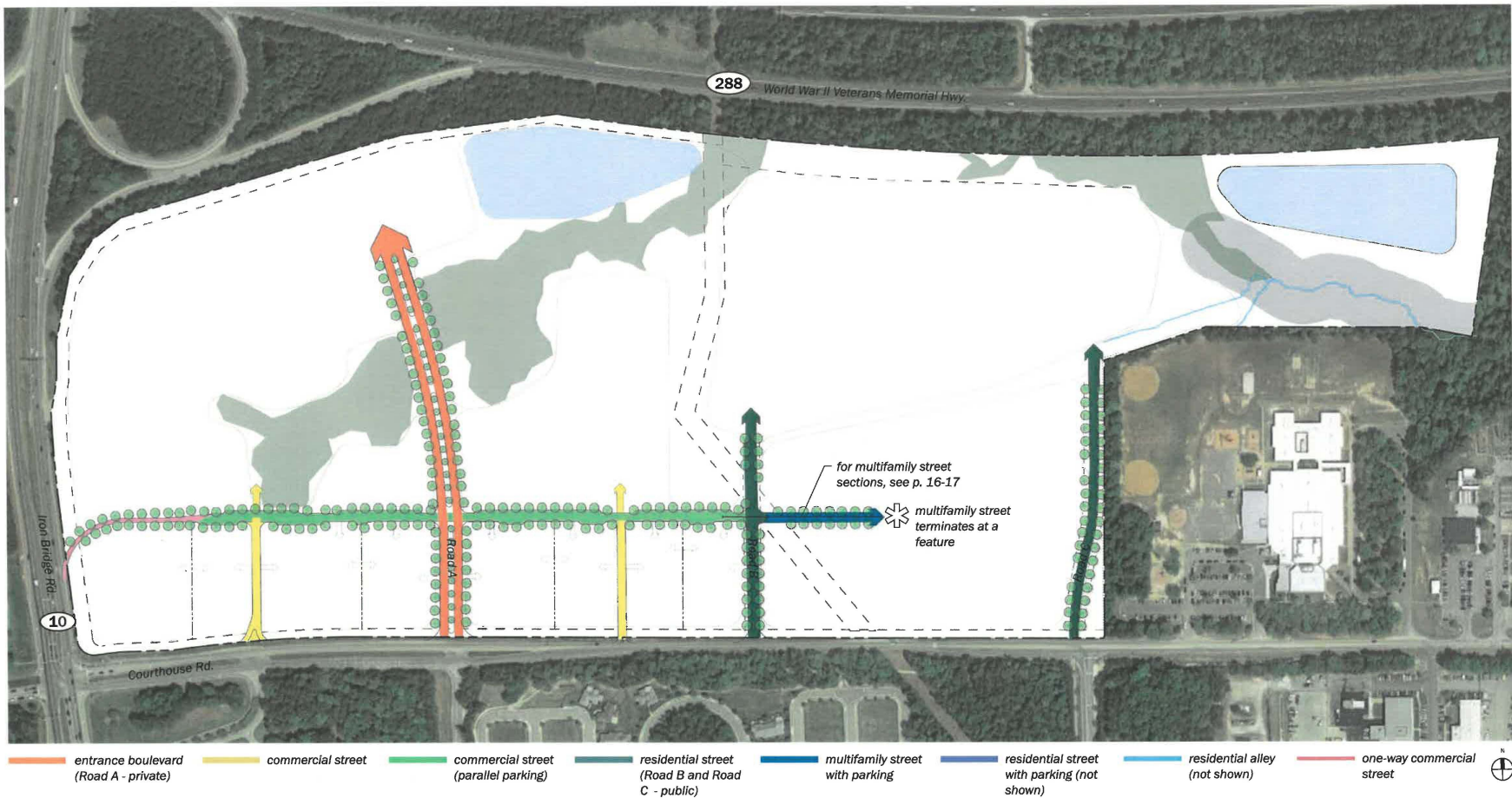


Conceptual Plan

Conceptual Plan	12
Street Types	13

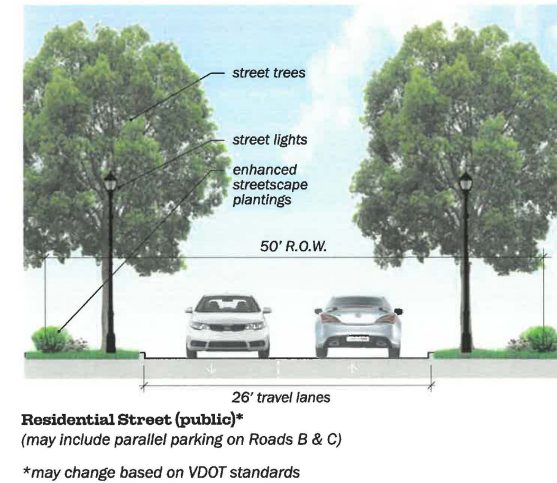
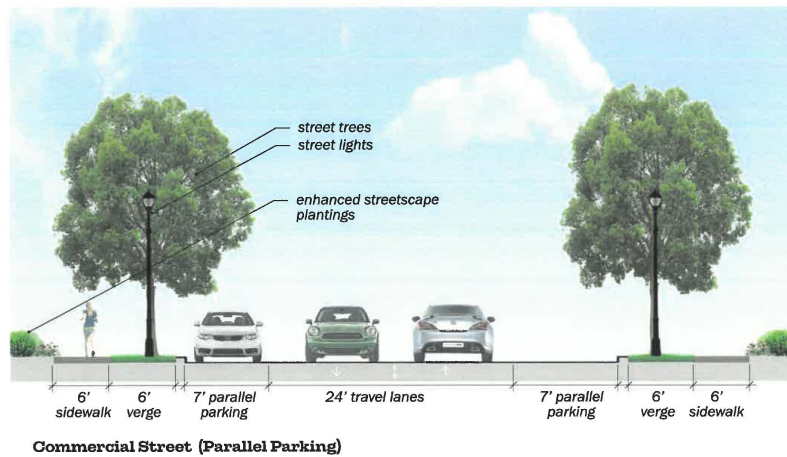
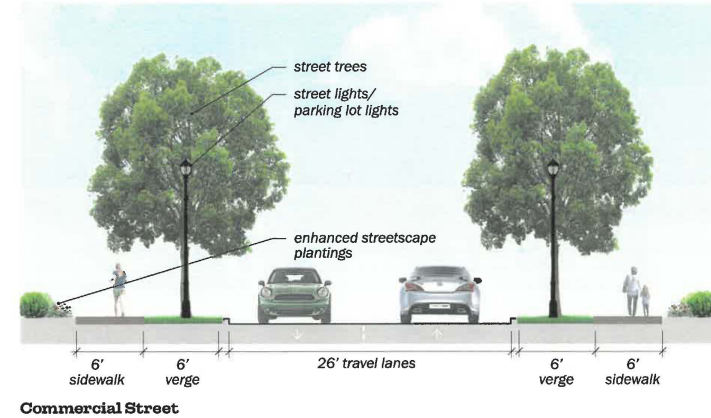
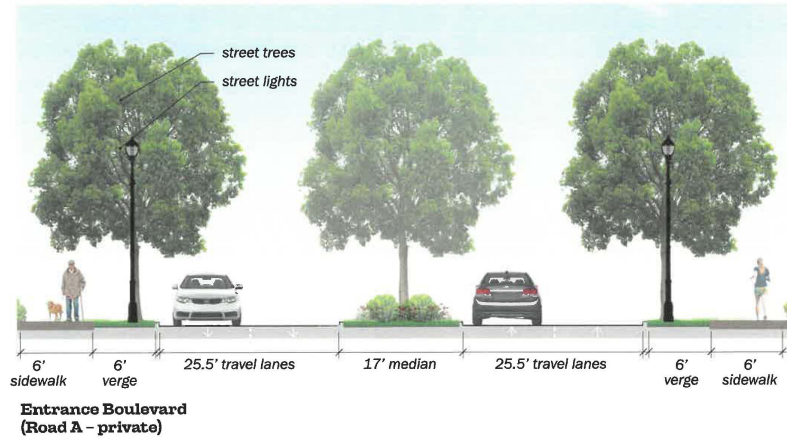


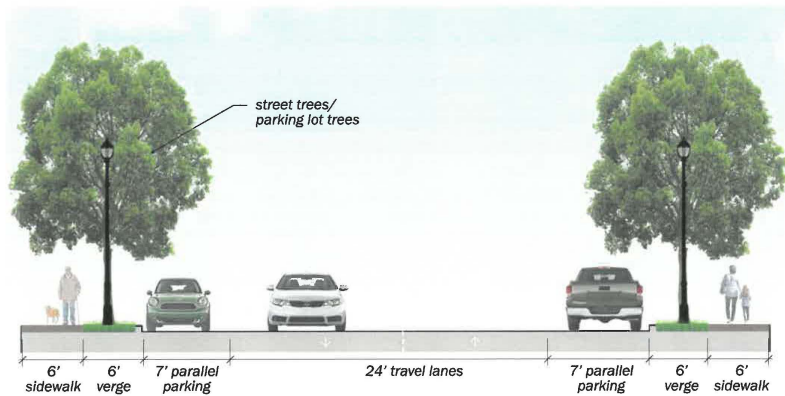
12 // Courthouse Landing - Design Guidelines



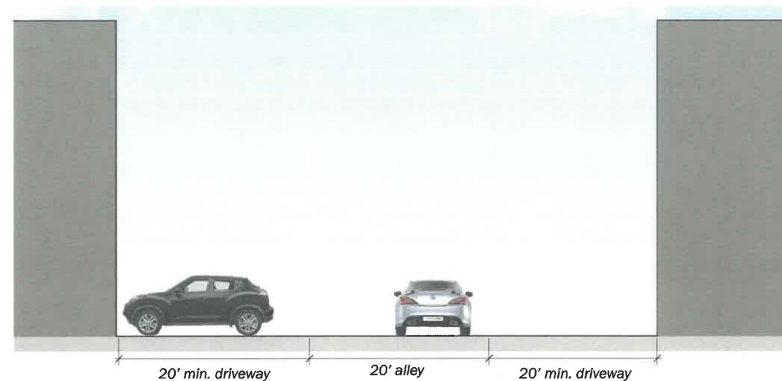
Street network and road layout is illustrative in nature; final circulation details will be finalized during site plan review. The commercial outparcels along Iron Bridge Rd. and Courthouse Rd. are intended to have internal circulation (arrows for reference).

Conceptual Plan
Street Types

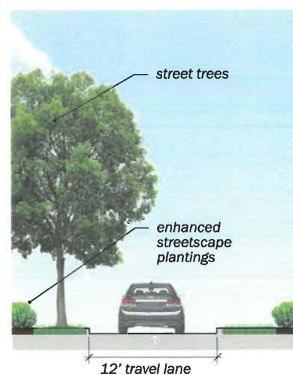




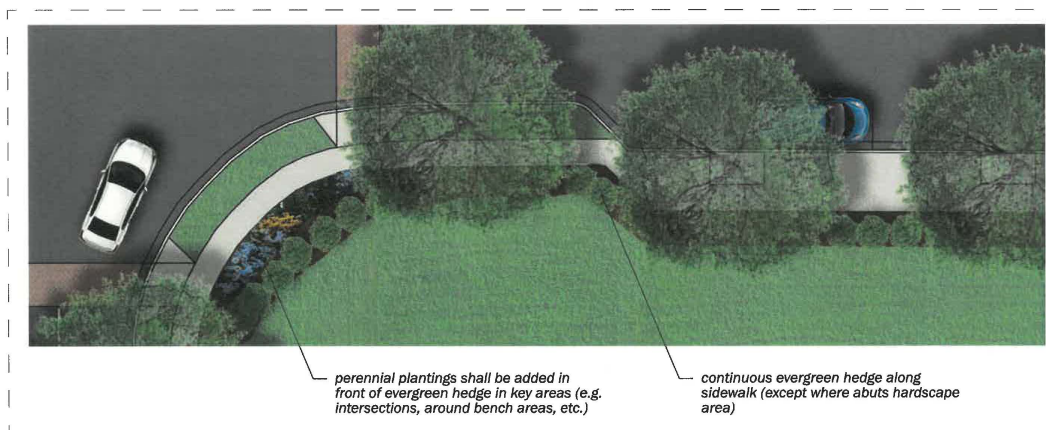
Residential street with parking
(not shown)



Residential alley
(not shown)

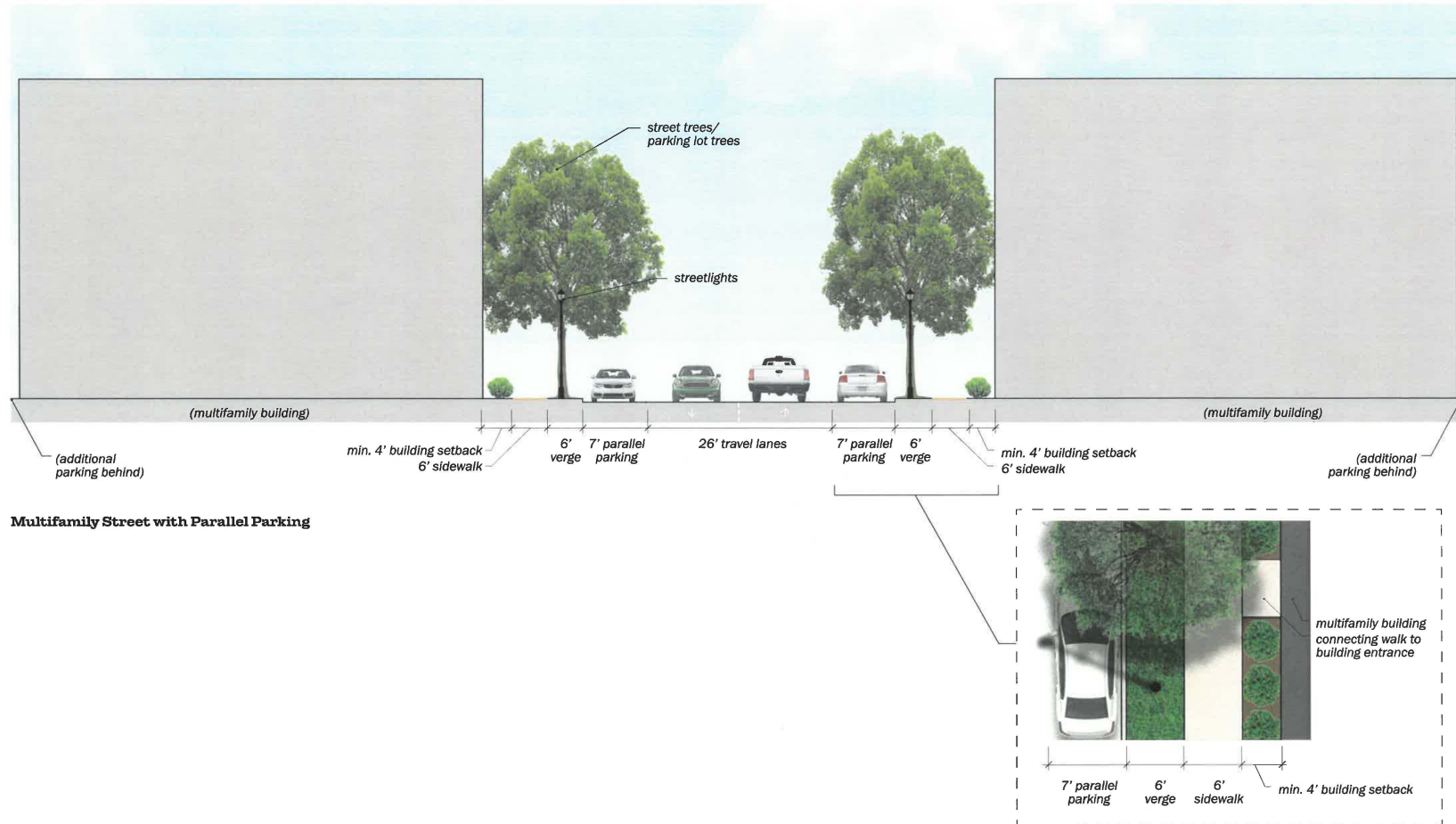


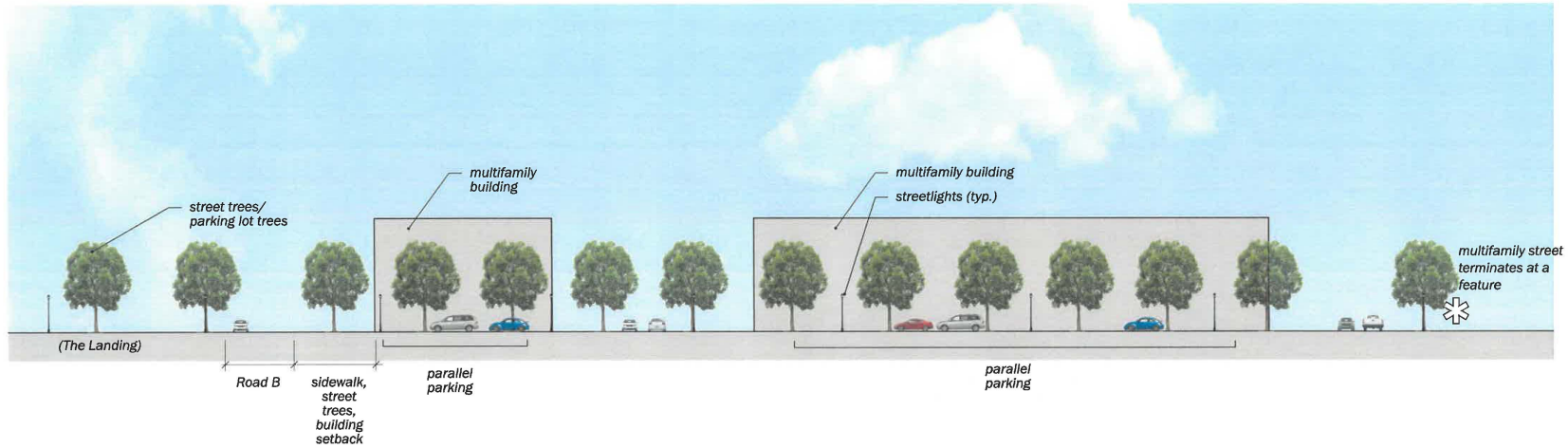
One-way Commercial Street



Enhanced streetscape plantings

(to be added on Commercial Street, Commercial Street (Parallel Parking), Residential Street (public) and elsewhere as determined by Developer.



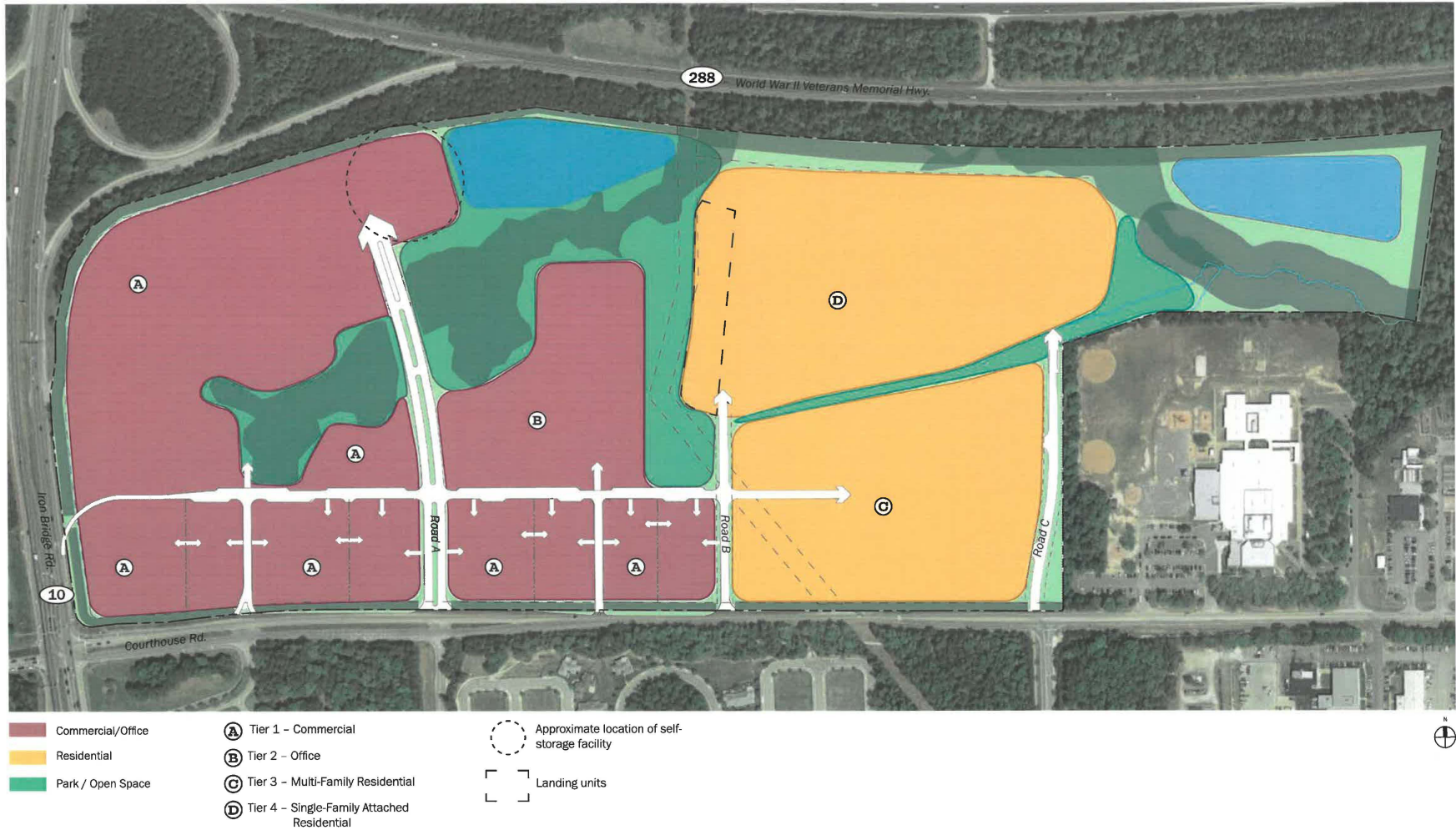


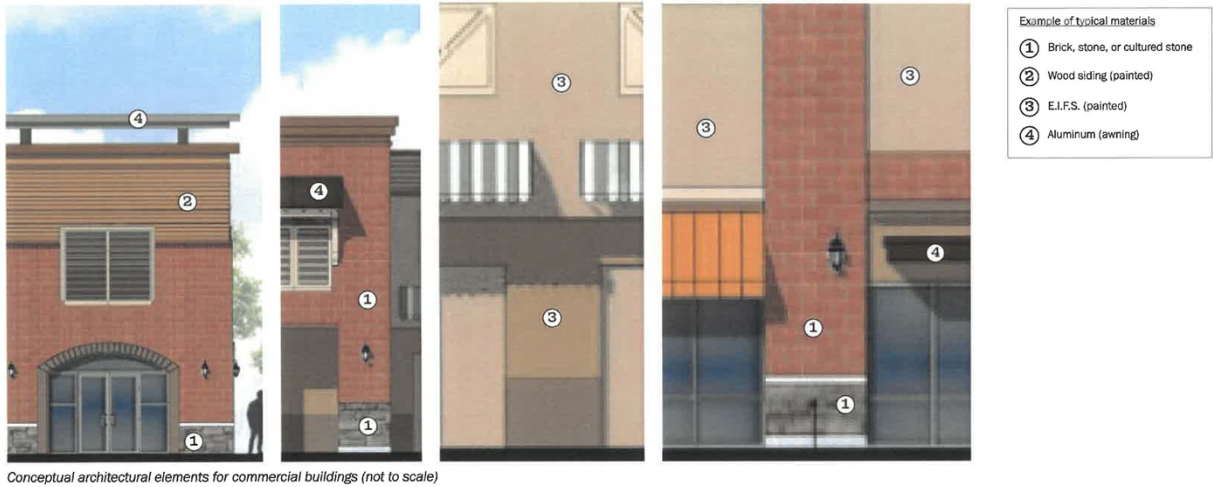
Multifamily Street section (looking north)



Architecture

Building Types	20
<i>Tier 1 - Commercial</i>	21
<i>Tier 2 - Office</i>	25
<i>Tier 3 - Multi-Family Residential</i>	26
<i>Tier 4 - Townhouses and Condominiums</i>	27



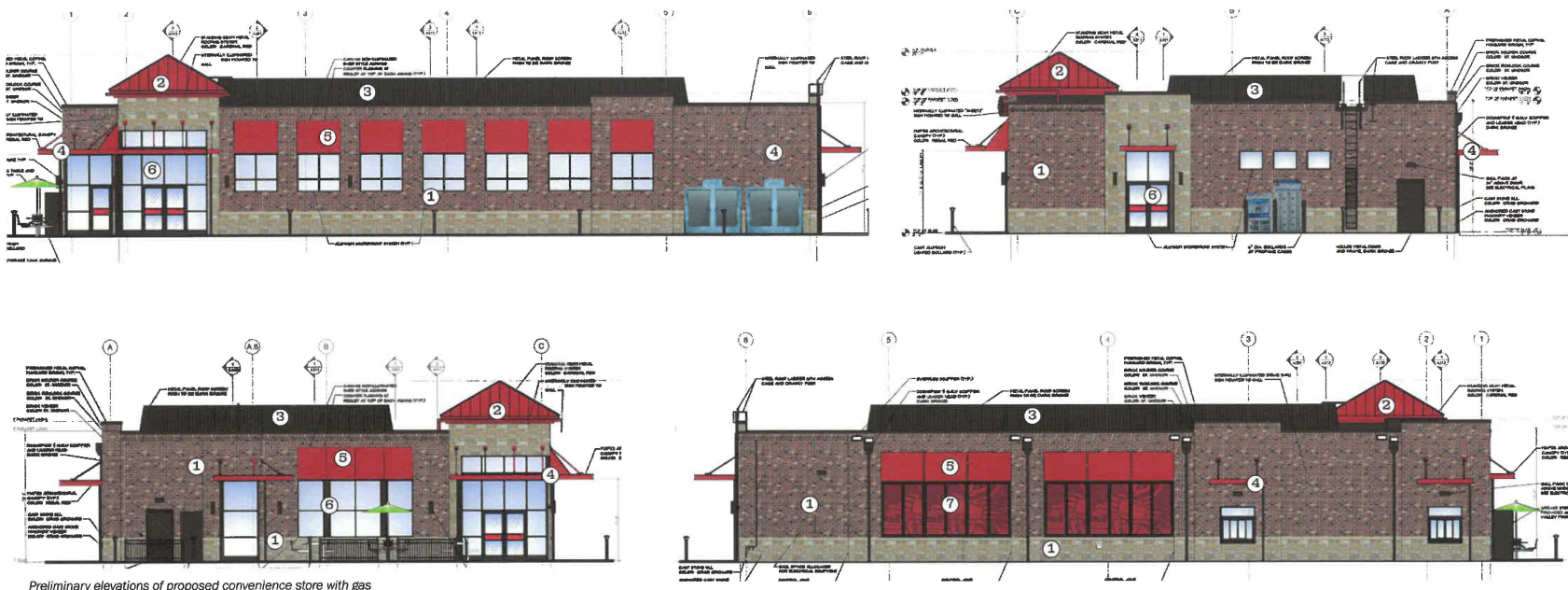




Examples of proposed storage building

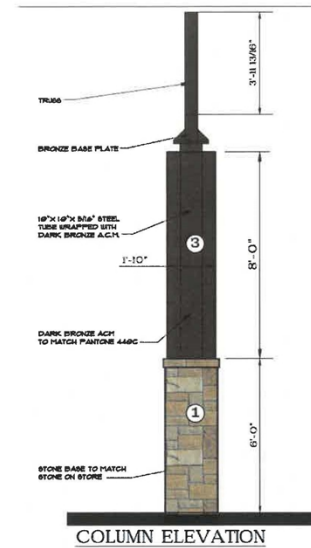
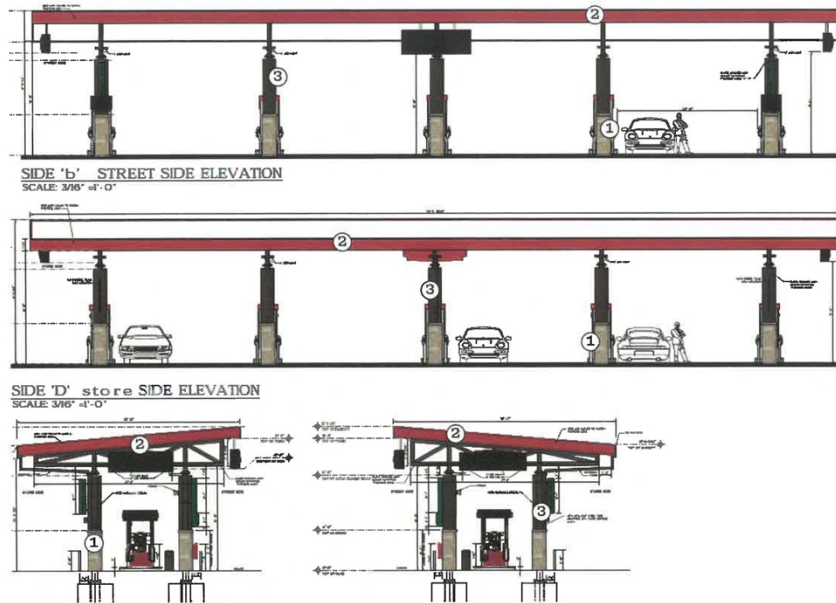
Example of typical materials

- ① Brick, stone, cultured stone, or masonry
- ② Metal paneling
- ③ E.I.F.S. (painted)
- ④ Aluminum elements



Example of typical materials

- | | |
|-----------------------------------|----------------------|
| ① Brick, stone, or cultured stone | ⑤ Canvas awnings |
| ② Standing seam metal roof | ⑥ Storefront windows |
| ③ Metal roof screen panels | ⑦ Faux windows |
| ④ Aluminum (canopy) | |



Preliminary elevations of proposed gas station (canopy height will be maximum 16 feet).

- Example of typical materials
- ① Brick, stone, or cultured stone
 - ② Painted metal canopy
 - ③ Steel columns wrapped with ACM



Example of office building



Example of office building



Example of office building



Example of office building

Example of typical materials

- ① Brick, stone, cultured stone, or cast stone
- ② Wood or HardPlank siding (painted)
- ③ E.I.F.S. (painted)
- ④ Aluminum
- ⑤ Architectural/dimensional asphalt shingle



Conceptual perspective of proposed multi-family buildings (not to scale)

Example of typical exterior materials

- ① Masonry, including brick
- ② Fiber cement siding
- ③ Asphalt shingle

A. Project Standards.

A. Project Size	None ⁽¹⁾
B. Density (maximum)	305 units
C. Number of Accesses to Road ⁽²⁾	
1. 50 units or fewer	1
2. 51 to 200 units	2
3. More than 200 units	⁽³⁾
D. Recreational Area ⁽⁴⁾	0.5 acre
E. Pavement Width of Access Drives	30 feet
F. Pavement Width of Other Drives	24 feet
G. Parcel Coverage for Project (maximum) ⁽⁵⁾	40 % of acreage
H. Private Pavement Setbacks ⁽⁶⁾	
1. Major Arterials ⁽⁷⁾	25 feet
2. Other Roads	15 feet

Notes for Table 19.1-121.A.

- [1] Minimum acreage requirements do not apply to the Enoch and Chester Special Design Districts.
- [2] Access drives shall be those that connect residential clusters to roads. The number of required access points shall be provided prior to occupancy of the specified number of units.
- [3] At time of plan review, additional access points may be required.
- [4] Recreational facilities shall include active recreation, passive recreation and community buildings, as deemed appropriate during plan review. If facilities are required, a phasing plan for their construction and completion shall be submitted for approval prior to final site plan approval. Construction of facilities shall occur in accordance with the approved phasing plan which may include limitation on the issuance of occupancy permits for multifamily dwelling units.
- [5] Perimeter Landscaping C shall be installed within the setback.
- [6] This setback may be reduced as provided in 19.1-316.A.2.
- [7] Parcel Coverage is the area of the parcel occupied by any principal and accessory buildings.

C. Building Standards.

A. Individual Building Setbacks (feet) ⁽¹⁾	
1. Project property lines ⁽²⁾	
a. Adjacent to R-MP	30
b. Adjacent to other than R-MP	50
2.a Courthouse Road ⁽³⁾	25
2.b. Other Roads	5
3. Interior private pavement excluding parking spaces ⁽⁴⁾	10
4. Parking spaces	0
5. Distance between buildings	20 feet
B. Dwelling Units per Floor (maximum)	30
C. Principal Building Heights (maximum) ⁽⁵⁾	
1. Midtown Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2. Other Special Design Districts excluding Ettrick	Lesser of 3 stories or 40 feet
3. Other Areas	4 stories
D. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-121.C.

- [1] Setbacks may be impacted by Buffer, Setbacks -- Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [2] Within these setbacks, Landscaping C shall be installed.
- [3] A multifamily building constructed along a public road shall front the road.
- [4] Setbacks for a building with a height of 48 feet or greater which is adjacent to a fire lane may be reduced to 20 feet.
- [5] Height limits are subject to Article IV, Division 2.

From Chesterfield County Zoning Ordinance



Conceptual elevation of proposed townhouses (front-loaded)

- Example of typical exterior materials
- ① Brick, cultured stone, or stone veneer
 - ② Vinyl siding
 - ③ Asphalt shingle
 - ④ Metal roof (option)

DIVISION II. R-THERESIDENTIAL TOWNHOUSE DISTRICT	
Sec. 19.1-110. Purpose and Intent of R-TII District Reserved.	
A. Subdivision Standards	
Table 19.1-111.A. Required Conditions R-TII District Subdivision Standards	
A. Subdivision Size	None
B. Density	305 dwelling units
C. Private Pavement Setbacks	
1. Major arterial	20 feet
2. Other road	5 feet
D. Common Area ⁽¹⁾⁽²⁾	40% of individual lot coverage
E. Maximum Number of Attached Homes in Each Group	8
Notes for Table 19.1-111.A.	
(1) Not applicable.	
(2) Within required common area, except where lots abut a public street, a 5 foot wide common area shall be provided around the perimeter of each group of attached lots.	
(3) Within the common area of the project, a minimum of 5 acres shall be provided for passive and active recreational use and community space, including pedestrian areas, trails, and other amenities. The common area shall be provided for the use of the project and shall be subject to the provisions of the Concept Plan and other rules deemed appropriate during plan review. Unless a phasing plan is approved through preliminary plan review, construction shall be completed prior to issuance of building permits for individual townhouse units. An approved phasing plan may include limitations on the issuance of building permits for individual townhouse units.	
B. Other Required Subdivision Standards	
1. Common Areas Ownership. Areas which are not contained in roads or in lots that are conveyed to individual owners shall be maintained by, and be the sole responsibility of, the developer and/or owner of the townhouse development, unless and until the developer and/or owner conveys such areas to a nonprofit corporate owner, whose members shall be all of the individual owners of townhouses in the development, or to a nonprofit council of co-owners as provided under the Code of Virginia. The land shall be conveyed to, and be held by, the nonprofit corporate owner or the nonprofit council of co-owners and used for the recreational and parking purposes of the individual townhouse lot owners. If the developer and/or owner makes the conveyance to a nonprofit corporate owner, deed restrictions and covenants, in a form and substance satisfactory to the county attorney, shall provide, among other things, that any assessments, charges and costs of the maintenance of such areas shall constitute a pro rata lien against the individual townhouse lots, inferior in dignity only to taxes and bona fide duly recorded deeds of trust on each townhouse lot. An applicant seeking to subject property to townhouse development under this section whose ownership or interest in the property is held by a valid lease, shall provide for an initial term of not less than 99 years in such lease.	
2. Roads and Private Pavement. All roads and private pavement shall have concrete curb and gutter, except for alley access roads that access the rear of the dwelling unit.	
3. Architecture. Buildings shall be designed to impart harmonious proportions and avoid monotonous facades or large bulky masses. Townhouse buildings shall possess architectural variety while at the same time have an overall cohesive residential character. Residential character may be achieved through the creative use of design elements such as, but not limited to, balconies, terraces, articulation of doors and windows, sculptural or textural relief of facades, architectural ornamentation, varied rooflines, or other appurtenances such as lighting fixtures and planting.	
4. Architectural and Landscaping Plans. In conjunction with construction plan submission, landscape and architectural renderings or elevations shall be submitted for approval.	
C. Lot and Building Standards	
Table 19.1-111.C. Required Conditions R-TII District Lot and Building Standards	
A. Lot Standards	
1. Lot area (square feet)	
a. Internal lot	1040
b. End lot in row of less than 5 attached lots	1040
c. End lot in row of 5 or more attached lots	1040
2. Lot width (feet) minimum	
a. Internal lot	20
b. End lot in row of less than 5 attached lots	20
c. End lot in row of 5 or more attached lots	20
3. Lot coverage (maximum %)	60
B. Road Frontage for Townhouse Units ⁽¹⁾	
C. Principal Building Setbacks (feet) ⁽²⁾	
1. Major arterial all yards	20
2. Front yard ⁽³⁾	10
a. Non cul-de-sac	10
b. Permanent cul-de-sac	10
3. Side yard	
a. End unit in a row of less than 5 attached lots	5
b. End unit in a row of 5 or more attached lots	5
4. Corner side yard	5
5. Rear yard	
a. Non through lot	5
b. Through lot	5
D. Principal Building Height (maximum)	
1.	Lesser of 4 stories or 48 feet
E. Accessory Building Requirements	
Subject to Section 19.1-304	
Notes for Table 19.1-111.C.	
(1) All lots shall have frontage on a road. If approved by the director of transportation, lots may front on private pavement which has direct access to a public road when the private pavement is designed and constructed in accordance with the provisions of Chapter 17 for alleys and private pavement.	
(2) Setbacks may be impacted by Buffer, Setbacks -Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.	
(3) Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.	
(4) The front yard setback of each unit shall be varied at least 2 feet from the adjacent unit and every third unit shall be varied at least 4 feet from the adjacent unit.	
(5) Height limits are subject to Article IV, Division 2.	

From Chesterfield County Zoning Ordinance



Conceptual elevations of proposed condominium buildings (rear-loaded)



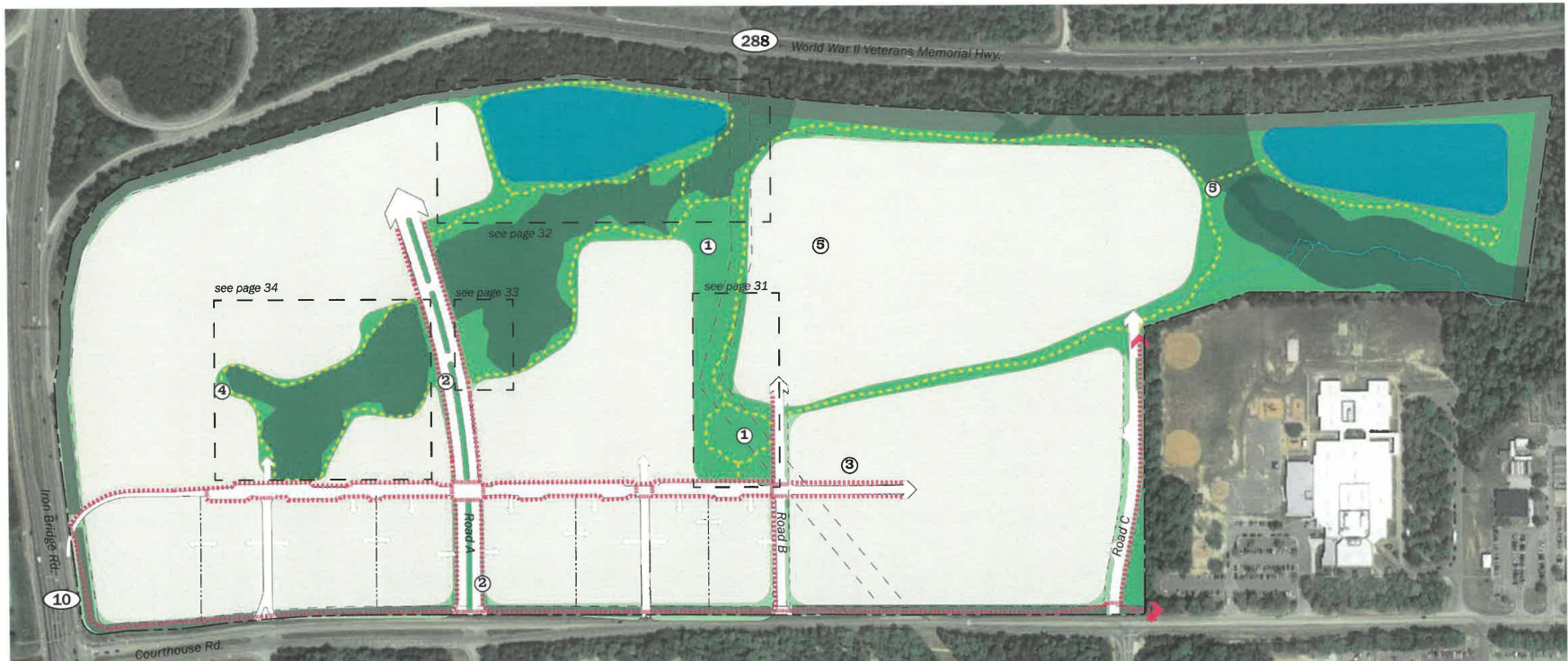
Example of typical exterior materials

- ① Brick veneer
- ② Vinyl siding
- ③ Asphalt shingle
- ④ Metal roof (option)



Landscape

Open Space Plan	30
Pedestrian Plan	36
Buffers & Street Trees	38
Entrance Landscape	40
Typical Landscape Plans	43



open space (gross)

active open space

trails

sidewalks

wetlands (remain)

buffer

stormwater pond

trail connections to adjacent
pedestrian systems

① Community amenities at The Landing

Amenities shall include at least 5 of the following:*

walking trails	wetlands footbridge
benches	bird-watching areas
multi-purpose lawn	gathering/picnic area
native plant meadow	dog stations
fitness stations	

② Main boulevard amenities

Amenities shall include at least 2 of the following:*

sidewalks	pedestrian areas
benches	

③ Multi-family amenities

Amenities shall include: *

a clubhouse (min. 5,000 square feet)	fitness center
At least 4 of the following:*	
pool	outdoor grills
dog park	fire pits
sundeck	exterior gatherings spaces
bike racks and storage	multi-purpose lawns

④ Commercial amenities

Amenities shall include at least 4 of the following:*

walking trails	benches
plazas	outdoor dining areas
picnic shelters	multi-purpose lawns
hardscaped areas	exterior gathering spaces

⑤ Townhouse and Condominium amenities

Amenities shall include at least 4 of the following:*

playground	pond overlook	fire pit areas
dog park	walking trails	dog stations
picnic shelter	fitness stations	
multi-purpose lawn	community gardens	

* and such other amenity features
approved by the Planning Department



The Landing (conceptual layout)

Benches, trash receptacles, and other amenities to be located in The Landing and along nature trails throughout Courthouse Landing. Details and final amenities list to be shown on site plan.



Landscape

Open Space Plan



Stormwater ponds are intended to be amenities for the development and shall be enhanced with at least 2 of the following items:

- walking trails
- benches and bench areas
- fitness stations
- bird-watching areas
- educational signs



The green space adjacent to Tier 2 along Road A will be developed as a community park and shall be enhanced with at least 2 of the following items:

walking trails

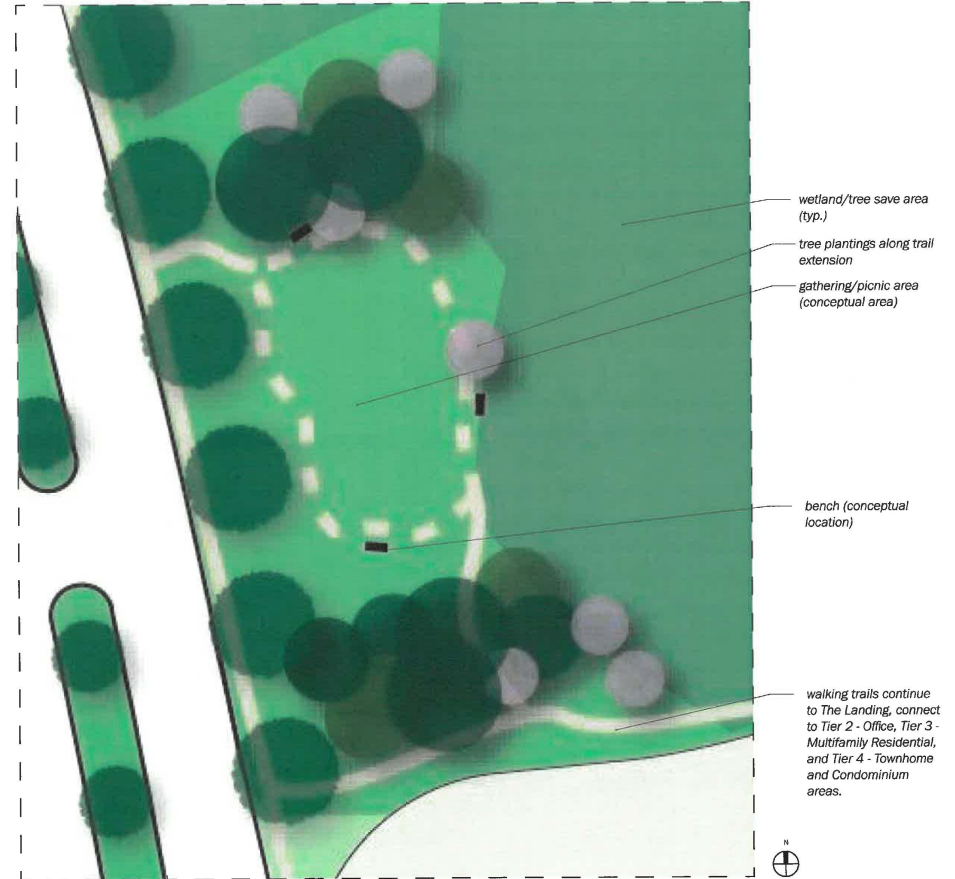
benches and bench areas

fitness stations

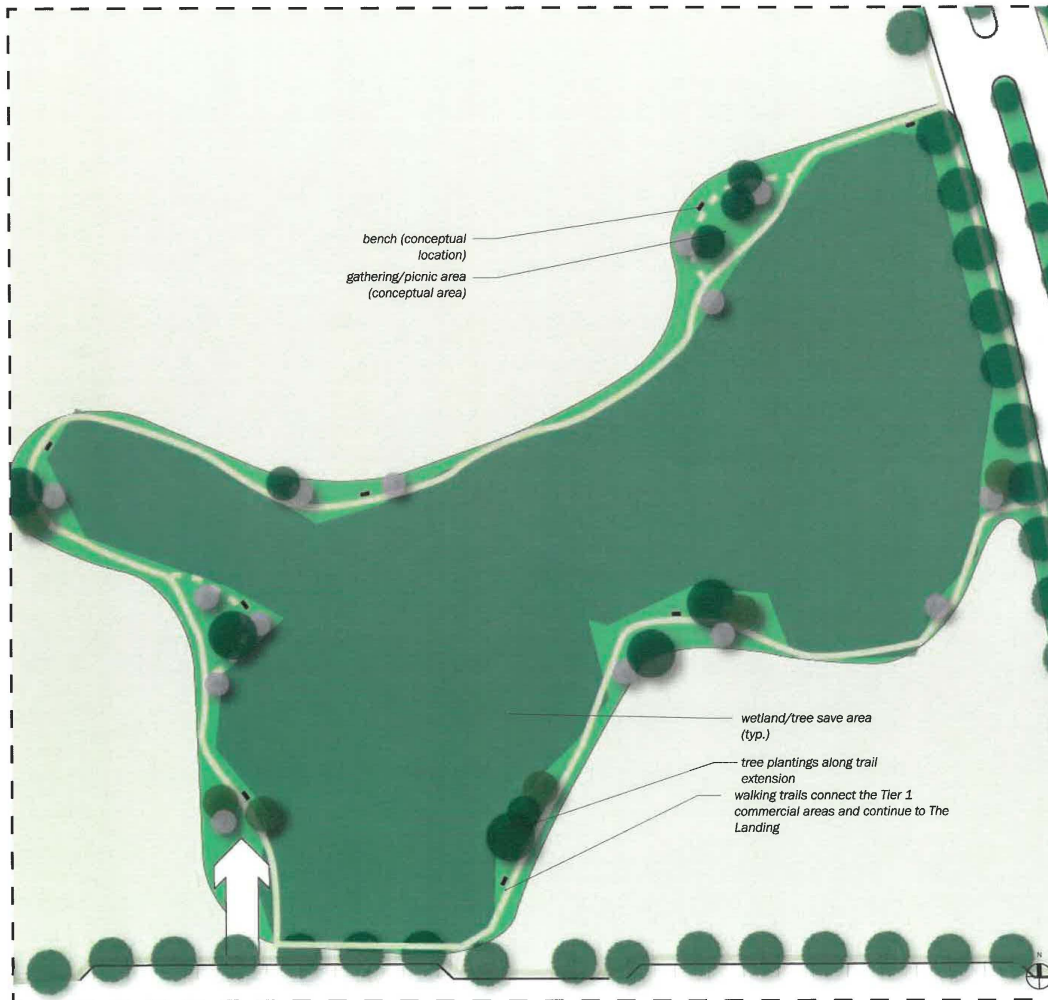
picnic shelter

gathering area

educational signs



Landscape
Open Space Plan



34 // Courthouse Landing - Design Guidelines



The Tier 1 commercial area will also have access to quality open space. The trail system will extend into the wetland area, and amenities and pedestrian connections to the commercial area will be provided. The amenities will include at least 2 of the following:

walking trails
benches and bench areas
picnic shelter
outdoor dining

multi-purpose lawns
outdoor gathering areas
plazas
hardscaped areas



Additional Amenity Program List may include:

- | | | |
|---------------------|----------------------|---------------------|
| bird-watching areas | outdoor concert area | outdoor chess |
| nature trails | amphitheater | fishing |
| bocce ball | bike racks | educational plaques |
| frisbee golf | hammocks | |
| grilling areas | croquet | |

Amenities used throughout the Community may include one or more of the amenities listed on these pages. Other amenities not listed may also be incorporated. Site plans or subdivision plans may identify the location of the amenities and the types of amenities selected.





open space (gross)	wetlands (remain)	stormwater pond
common space areas	buffer	

Sidewalks hierarchy:

- sidewalk (min. 6' width)
- ||||| sidewalk/nature walk (10' width)
- * sidewalk connections to adjacent pedestrian systems
- ||||| paver crosswalks

Trails hierarchy:

- trail (5-6' width)
- ||||| trail (min. 8' width)

- • solar-powered illuminated bollards shall be added along main trail





Example images of pedestrian amenities off sidewalks



Plan view of entrance boulevard. Streets shall have street lights, sidewalks, street trees, and benches and other pedestrians amenities

- (A) Median planting (C) Street light (typ.)
- (B) Bench area (typ.) (D) Sidewalk (typ.)

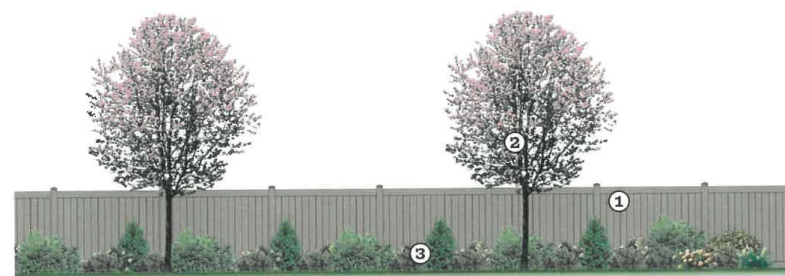
Landscape
Buffers & Street Trees



- (A) Tree save area along Courthouse Rd. and Iron Bridge Rd. (proposed 30' width)
- (B) Buffer along Route 288 (Perimeter Landscape Type C, 50' width, Sec. 19.1-251 of Zoning Ordinance)
- (C) Buffer along Route 288 (100' width per sound study)
- (D) Street trees shall be maximum 40 feet on center, per standards outlined in Sec. 19.1-252 of the Zoning Ordinance
- (E) Perimeter privacy fence along the eastern property line along the school property



A Tree save area along Courthouse Road and Iron Bridge Road (30' width)
(example from tree save area on Hull Street Road, US-360)



B Perimeter privacy fence along eastern property line along school property (not to scale)

- | | | |
|------------------------------------|-------------------------------|------------------------------|
| ① 6' wooden or vinyl privacy fence | ② Small deciduous tree (typ.) | ③ Medium/small shrubs (typ.) |
|------------------------------------|-------------------------------|------------------------------|

Landscape
Entrance Landscape

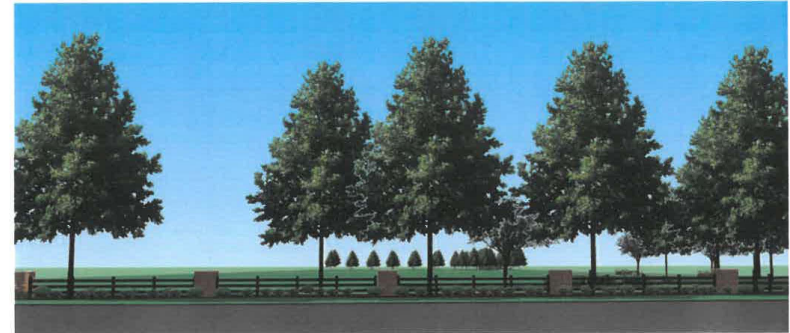


Conceptual perspective view of the improvements at the corner of Iron Bridge Rd. and Courthouse Rd.

- (A) Conceptual corner signage (5' height at max.)
- (B) Low landscaping around perimeter
- (C) Brick columns and split rail fence
- (D) Tree save area (limbed up for better visibility into site)



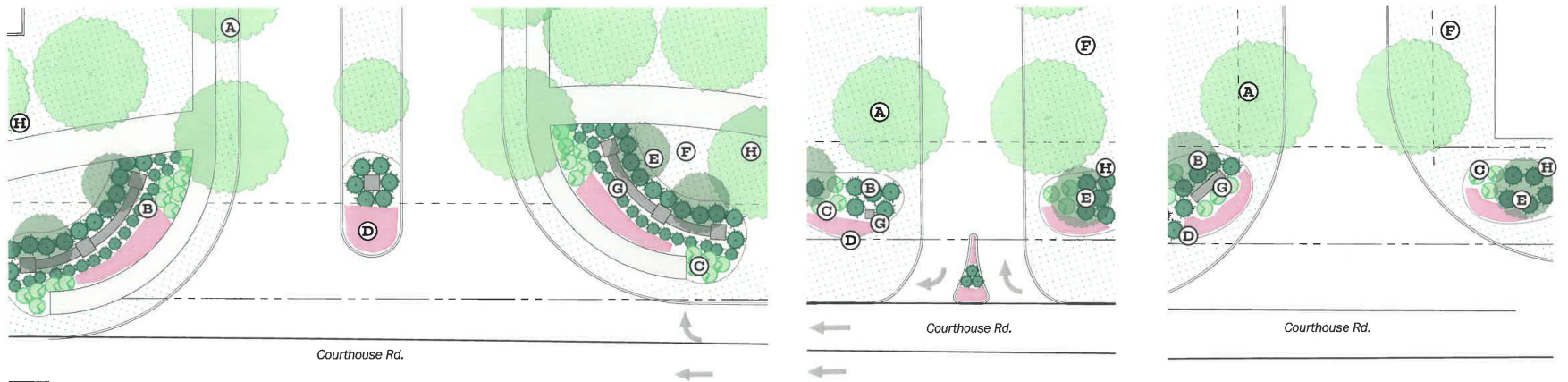
Conceptual plan view of the improvements at the corner of Iron Bridge Rd. and Courthouse Rd.



Conceptual view from Iron Bridge Rd. into the site

- (A) Conceptual corner signage (5' height at max.)
- (B) Low landscaping around perimeter
- (C) Brick columns and split rail fence
- (D) Tree save area (limbed up for better visibility into site)
- (E) Corner parcel line moved over 58' for additional amenity area along Iron Bridge Rd.
- (F) Pedestrian seating areas in landscaped area

Landscape
Entrance Landscape



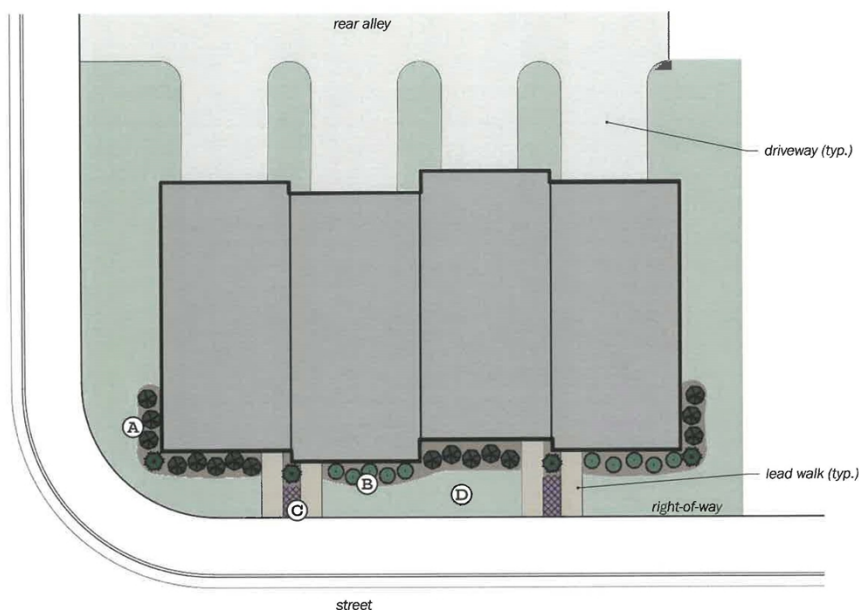
Primary entrance (Road A - entrance boulevard)

Right-in-right-out entrance (commercial street)

Secondary entrance (Road B, Road C - residential streets)

Entrance designs are intended as conceptual design only to illustrate the additional landscape, presence of monument signage, and connection to street trees. Additional plans shall be submitted during site plan review.

- | | |
|---|--|
| (A) Street trees (shown for reference, location subject to change) (typ.) | (E) Ornamental tree (typ.) |
| (B) Medium/low evergreen shrub (typ.) | (F) Turf grass (typ.) |
| (C) Medium/low deciduous shrub (typ.) | (G) Monument sign (conceptual size and location) |
| (D) Groundcover/perennials/seasonal color (typ.) | (H) Buffer will continue along Courthouse Rd. |



Typical Landscape Plan for 2-over-2's

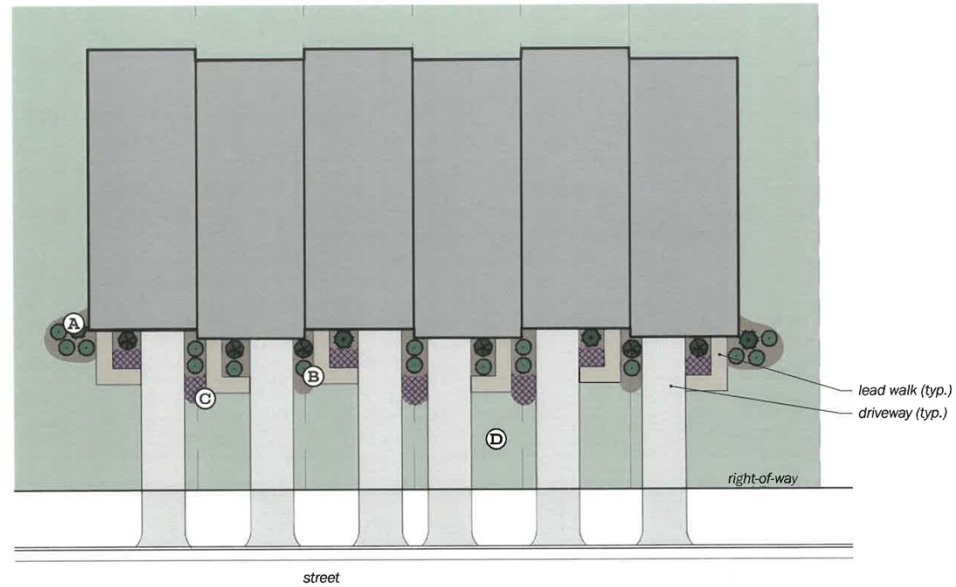
- | | |
|----------------------------------|-----------------------------------|
| (A) Small/medium evergreen shrub | (C) Perennials/ornamental grasses |
| (B) Small/medium deciduous shrub | (D) Turf grass |

Plant locations and quantities are conceptual and subject to change (based on utility locations, etc.). These landscape requirements represent the minimum landscape requirements. Additional landscaping and landscape features, such as fences, walls, and hardscapes, may be used. The plants on each face of the building to be chosen appropriately for sun exposure; may vary by building depending on the building orientation.

Street trees are not shown on this plan.

Landscape

Typical Landscape Plan

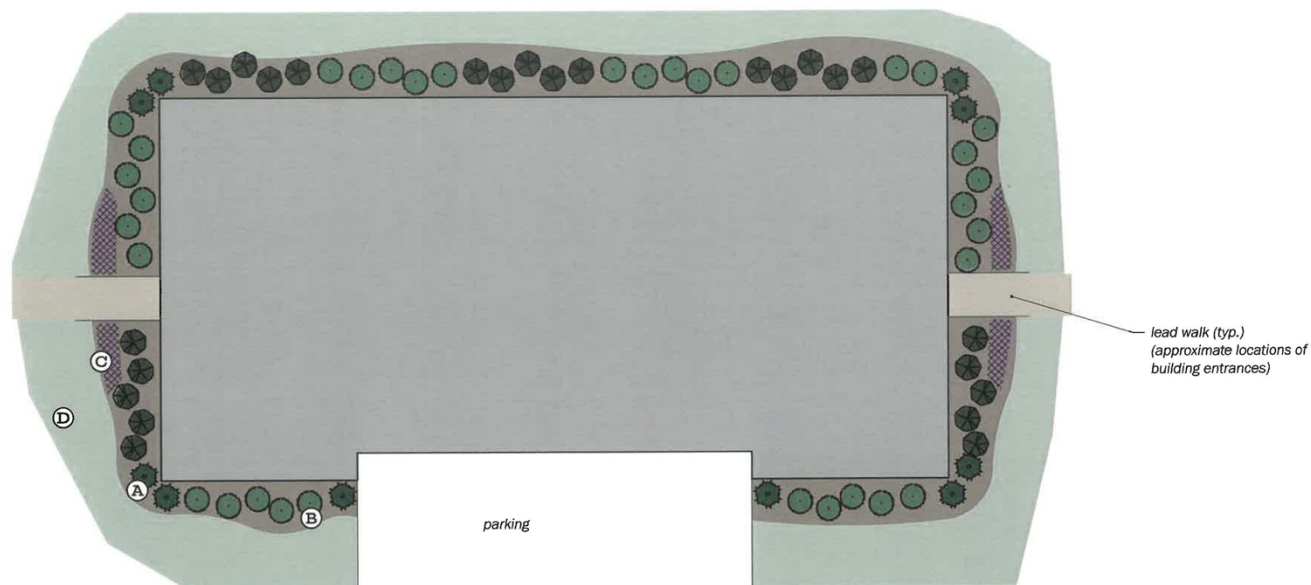


Typical Landscape Plan for townhomes

- | | |
|----------------------------------|-----------------------------------|
| (A) Small/medium evergreen shrub | (C) Perennials/ornamental grasses |
| (B) Small/medium deciduous shrub | (D) Turf grass |

Plant locations and quantities are conceptual and subject to change (based on utility locations, etc.). These landscape requirements represent the minimum landscape requirements. Additional landscaping and landscape features, such as fences, walls, and hardscapes, may be used. The plants on each face of the building to be chosen appropriately for sun exposure; may vary by building depending on the building orientation.

Street trees are not shown on this plan.



Typical Landscape Plan for multi-family buildings

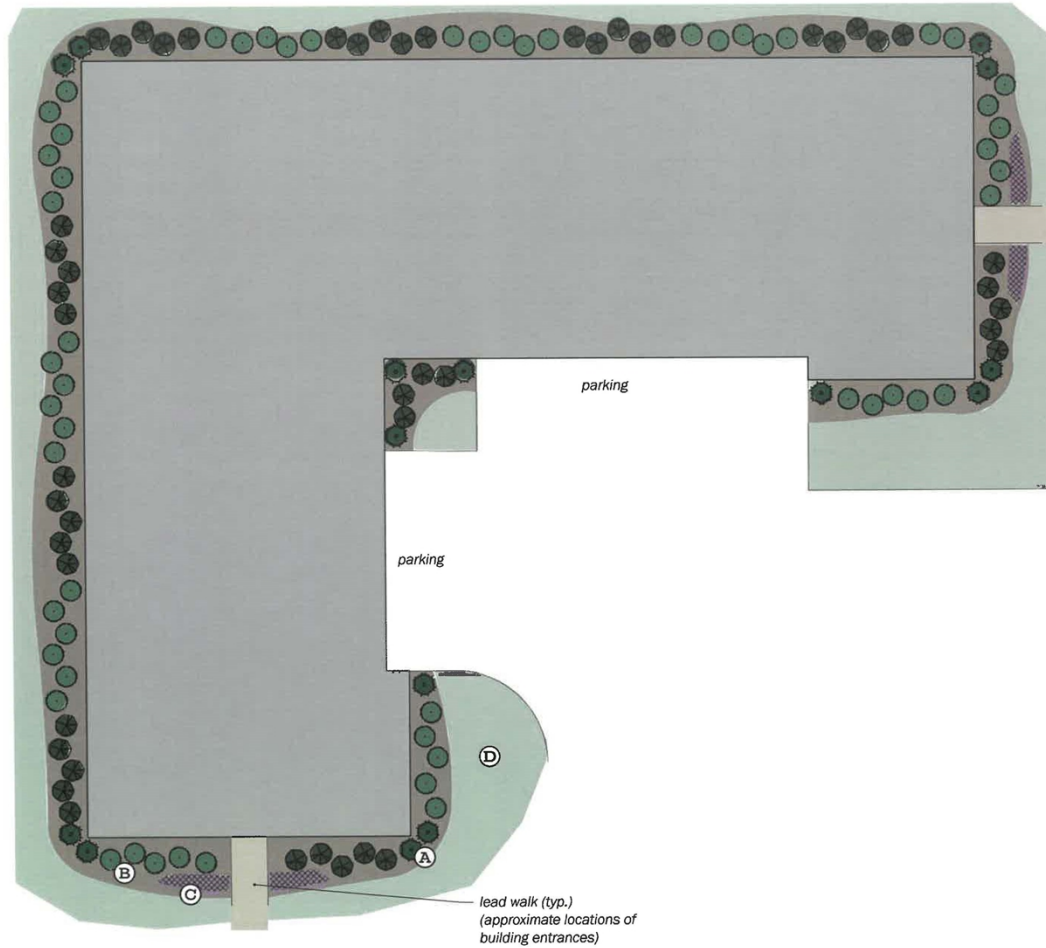
- | | |
|---------------------------------------|--|
| A Small/medium evergreen shrub | C Perennials/ornamental grasses |
| B Small/medium deciduous shrub | D Turf grass |

Plant locations and quantities are conceptual and subject to change (based on utility locations, etc.). These landscape requirements represent the minimum landscape requirements. Additional landscaping and landscape features, such as fences, walls, and hardscapes, may be used. The plants on each face of the building to be chosen appropriately for sun exposure; may vary by building depending on the building orientation.

Street trees are not shown on this plan.

Landscape

Typical Landscape Plan



Typical Landscape Plan for multi-family buildings

- A Small/medium evergreen shrub
- B Small/medium deciduous shrub
- C Perennials/ornamental grasses
- D Turf grass

Plant locations and quantities are conceptual and subject to change (based on utility locations, etc.). These landscape requirements represent the minimum landscape requirements. Additional landscaping and landscape features, such as fences, walls, and hardscapes, may be used. The plants on each face of the building to be chosen appropriately for sun exposure; may vary by building depending on the building orientation.

Street trees are not shown on this plan.

CASE NUMBER: 19SN0566

APPLICANT: John S. Bolton



**CHESTERFIELD COUNTY, VIRGINIA
BERMUDA DISTRICT**

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:

JANUARY 22, 2020

BOS Time Remaining:

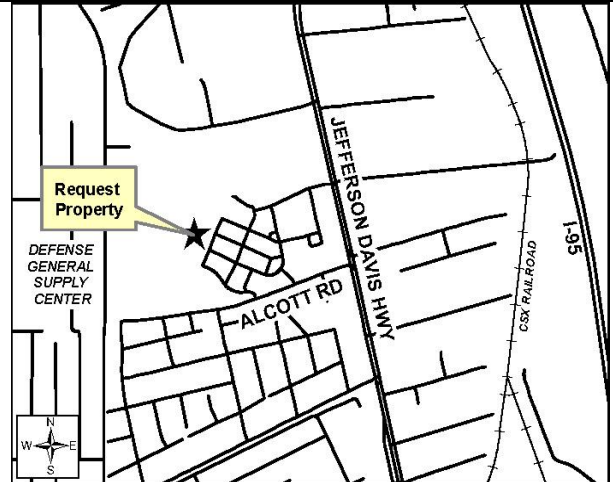
365 DAYS

Applicant's Contact:

JOHN S. BOLTON (843-475-8094)

Planning Department Case Manager:

DARLA ORR (804-717-6533)



16.8 Acres- 2701 Drewrys Bluff Road
Winchester Green

REQUEST

Rezoning from Residential (R-7) to Multi-family Residential (R-MF) with Conditional Use Planned Development to permit exceptions to Ordinance requirements.

Notes:

- A. Conditions may be imposed or the property owner may proffer conditions.
- B. Proffered conditions, Textual Statement and exhibits are located in Attachments 1 - 5.

SUMMARY

A 164-unit multi-family residential development within the Winchester Green mixed-use development is planned, yielding a density of 9.76 dwellings per acre (Concept Plan, Attachment 3). This property is located within an area identified for revitalization. Exceptions to ordinance requirements are requested to accommodate the development as identified in the Textual Statement. (Attachment 2)

Proffered conditions offer design and architectural standards (summarized on pages 5 and 6) comparable in quality to that of the Winchester Green community that would enhance the surrounding area.

Under the Board's Road Cash Proffer Policy, no road cash proffer will be accepted in a revitalization area.

RECOMMENDATIONS

PLANNING COMMISSION	APPROVAL
STAFF	<p>PLANNING – APPROVAL</p> <ul style="list-style-type: none">• Proposal provides higher density residential development as suggested in a Residential Mixed Use area by the Comprehensive Plan• Multifamily use is compatible with, and representative of, existing Winchester Green development.• Quality design and architecture offered by the applicant provide for a

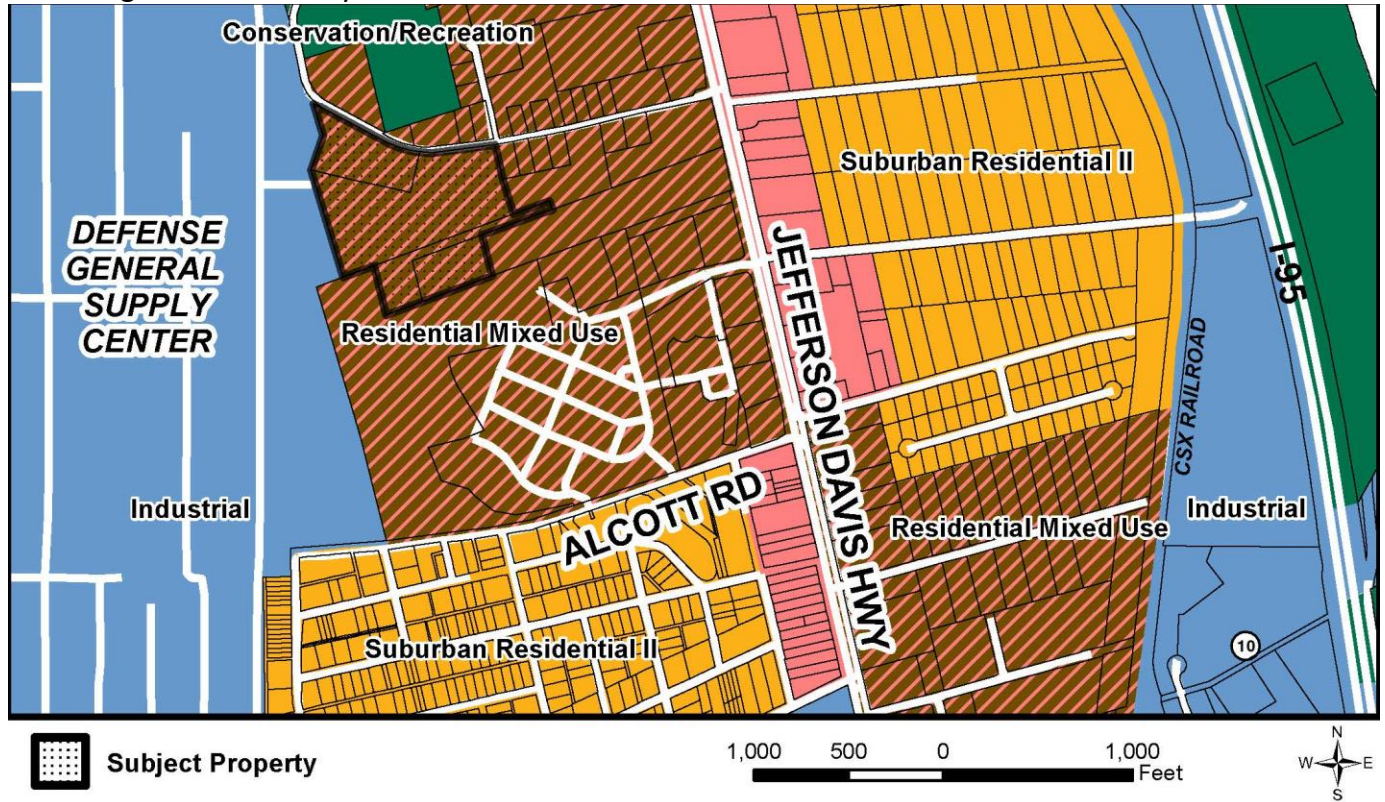
RECOMMENDATIONS (Continued)	
STAFF	<ul style="list-style-type: none"> convenient, attractive and harmonious community that would enhance the surrounding community. <p>TRANSPORTATION – APPROVAL</p> <p>Located within a revitalization area. Under the Road Cash Proffer Policy, no road cash proffer will be accepted.</p>

SUMMARY OF IDENTIFIED ISSUES	
Department	Issue
SCHOOLS	Post 2020, the <i>Public Facilities Plan</i> recommends the revitalization or replacement of Falling Creek Middle School and for a new high school facility in the vicinity of Chester Road and Route 288 north of Route 10, however at this time, a budget has not been developed for the acquisition of land or construction of these school facilities as recommended in the <i>Plan</i>

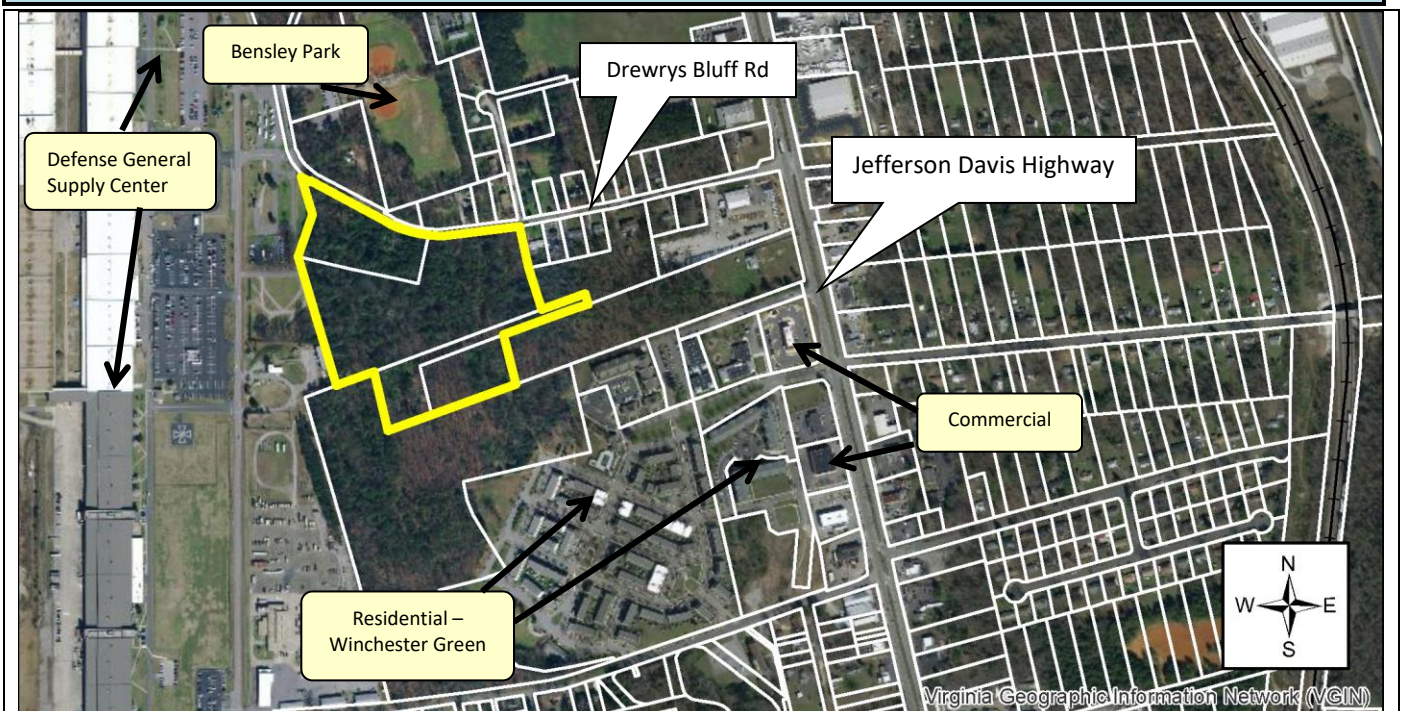
Comprehensive Plan – Northern Jefferson Davis Plan

Classification: RESIDENTIAL MIXED USE

The designation suggests the property is appropriate for residential use of 12 dwellings per acre or more with integrated community scale commercial use.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Darla Orr (804-717-6533) orrd@chesterfield.gov

Proposal

Rezoning to Residential Multi-family (R-MF) is proposed to permit development of 164 multi-family residential units on 16.8 acres, yielding a density of 9.76 units per acre. The proposal is an expansion of a mixed-use community (Winchester Green) containing retail, office and multi-family residential uses. Development would comply with the conceptual plan provided in Exhibit A, Attachment 3. Pedestrian connections would integrate the development with the remainder of the Winchester Green development.

A Conditional Use Planned Development is also sought relative to landscaping, setbacks, drive widths and parking to accommodate the development. (Textual Statement, Attachment 2)

Design

High quality residential development addresses the Comprehensive Plan goals for strong and sustainable neighborhoods that are visually attractive, well-planned and well-maintained. Further, the purpose and intent of the zoning ordinance to promote the health, safety, convenience and general welfare of the public includes the creation of convenient, attractive and harmonious communities, protection against overcrowding of land, and protection of the natural environment. As such, developments that promote unique, viable and long lasting places and enhance the community are encouraged.

The following provides an overview of design requirements offered as part of this request (Attachments 1 and 2 – Proffered Conditions and Textual Statement):

- Community Design
 - Conceptual Site Layout Plan (Exhibit A)
 - Landscaping around buildings, driveways and parking areas
 - Foundation plantings
 - Pedestrian connections internal to site and connecting to Winchester Green and Jefferson Davis Highway
 - Pedestrian-style lights along walkways/pedestrian areas unless illuminated by facility/parking lights
 - Outdoor amenities (minimum 1.6 acres) to include hardscaped areas to facilitate resident gatherings and 2 playground areas
 - Indoor amenities to include activity area for building resident (minimum 750 sf), as well as resident lounges and laundry facilities
 - HVAC screening
- Building Design
 - Building elevations (Exhibit B)
 - Exterior façades (cumulative) minimum 80% brick, with remainder being cementitious board material
 - 1, 2 and 3-bedroom units; 20% maximum 1-bedroom units and 20% maximum 3-bedroom units
 - Green building certified construction
 - Vapor barriers installed under each building

As suggested by the Comprehensive Plan goals and the Zoning Ordinance, the proffered conditions of this request include quality design and architectural elements that would enhance the surrounding community.

Comprehensive Plan

The request property is located within the Northern Jefferson Davis Special Area Plan which suggests the property is appropriate for Residential Mixed Use where an integrated mixture of higher density residential use of 12 units per acre or more with concentrated commercial uses are appropriate.

Within this Plan geography there is a higher focus/strategy on revitalization which includes ongoing efforts to bring new life to older neighborhoods and communities through preservation and rehabilitation, as well as aging development replacement and new investments. It is anticipated that these efforts will encourage area reinvestment and new developments, as suggested by the Plan.

The *Public Facilities Plan*, an element of the Comprehensive Plan, makes recommendations regarding the provision of public facilities needed to serve existing and planned growth and includes specific facility recommendations. Relative to school facilities, the *Plan* identifies that Chesterfield County Public Schools uses a facility's program (functional) capacity to measure facility usage which accounts for the building's physical size and classroom space (the building's design capacity) plus how classroom space is utilized for educational program requirements and state/federal mandates. The *Plan* suggests that system utilization should be assessed to identify facilities that are, or are projected to be, over capacity and whether this over capacity is for a temporary or long-term period. The *Plan* suggests consideration should be given to these capacities as the threshold to trigger redistricting, building additions and/or new school development as appropriate.

The applicant anticipates construction of the proposed 164 multi-family units would be complete for occupancy in the Summer of 2022 with full-occupancy within the following approximately four (4) month period. To accommodate these units, and anticipated area development resulting from the heightened revitalization and reinvestment strategies in the area, consideration should be given to public facility and infrastructure provision and investment.

COMMUNITY ENHANCEMENT

Staff Contact: Carl Schlaudt (804-318-8674) schlaudtc@chesterfield.gov

The project site is located in a revitalization area, consistent with the criteria-based approach of Road Cash Proffer Policy Section B.5 (as amended by the Board of Supervisors on April 26, 2017).

The Department of Community Enhancement supports development in revitalization areas that represents a substantial improvement above current area conditions. This proposal (as reflected in proffers and textual statement dated 12/4/19 and current code requirements), represents a substantial improvement above conditions of older residential development in the vicinity of the project site. The Department of Community Enhancement supports the proposal as proffered.

BUDGET & MANAGEMENT

Staff Contact: Natalie Spillman (804-318-8767) spillmann@chesterfield.gov

County finance staff is responsible for managing the finances of the County and making recommendations to the County Administrator regarding the allocation of available resources for the provision of services and capital facilities to serve the citizens of the County. Finance staff will advise the County Administrator if changed economic circumstances require adjustments to the County's budget or capital improvement program.

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamsSt@chesterfield.gov

The applicant has proffered a maximum density of 164 multi-family dwelling units (Proffered Condition 2). Based on those number of units and applying trip generation rates for a multi-family (mid-rise) dwelling unit, development could generate approximately 900 average daily trips. Traffic generated by development of the property will be distributed to Jefferson Davis Highway (Route 1/301) via Drewrys Bluff Road.

Route 1/301 is a major arterial with a recommended right of way width of 120 to 200 feet, as identified on the County's *Thoroughfare Plan*. Route 1/301 is a four-lane divided road. In 2018, the VDOT traffic count on Route 1/301 between Chester Road and Chippenham Parkway was 21,146 vehicles per day (Level of Service "C").

Section 19.1-231 of the County Code outlines the general requirements to meet the needs of the traffic generated by a proposed development, including acceptable levels of service. This proposed residential development would contribute to an identifiable need for transportation improvements. The applicant has not offered to provide any mitigating road improvements.

According to the Department of Community Enhancement, the property is located within a revitalization area. Under the Road Cash Proffer Policy, no road cash proffer will be accepted for development in these areas.

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Adam Wilkerson (804-674-2384) adam.wilkerson@vdot.virginia.gov

The applicant is proposing to rezone the existing 16.8 acres from R-7 to R-MF in compliance with the Residential Multifamily guidelines. VDOT assumes all internal streets are to be privately maintained, as all publicly maintained roads must comply with the 2011 SSAR regulation. Proposed commercial entrances will be subject to VDOT Access Management minimum spacing criteria and commercial entrance design standards. A turn lane warrant analysis will be required for the proposed entrances during the site plan review process.

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

Mission

The mission of Fire and Emergency Medical Services (EMS) is to protect life, property and the environment through a comprehensive fire and life safety program that ensures an adequate and timely response to emergencies.

Response Times

The proposed development is located in the urban response zone for which Fire & EMS has a goal of responding to at least 90% of the calls for service in under seven (7) minutes. Fire and EMS is currently unable to meet that goal.

Nearby Fire/EMS Facilities

The Bensley Fire Station, Company Number 3

Anticipated Fire & EMS Impacts/Needs

Based on an average of 0.58 calls per dwelling, it is estimated that this development will generate 95 annual calls for Fire/EMS services.

Additional Fire and EMS Comments

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

SCHOOLS

Staff Contact: Atonja Allen (804-318-8740) atonja_allen@ccpsnet.net

Mission

High performing, high quality public schools contribute to the quality of life and economic vitality of the County. The comprehensive plan suggests a greater focus should be placed on linking schools with communities by providing greater access, flexible designs and locations that better meet the needs of the communities in which they are located.

Capital Improvements

The School Board FY2020 adopted Capital Improvement Plan (CIP) continues to support the 2013 voter approved school revitalization program that will replace or renovate ten schools and construct one new elementary school to add capacity in the Midlothian area of the county. The ten existing facilities that are part of the revitalization program are Beulah Elementary School, Crestwood Elementary School, Enon Elementary School, Ettrick Elementary School, Harrowgate Elementary School, Matoaca Elementary School, Reams Elementary School, Manchester Middle School, Providence Middle School, and Monacan High School. A replacement Manchester Middle School is planned for construction on the existing school site, and the Beulah Elementary School, Enon Elementary School, Providence Middle School, and Monacan High

School projects are complete. Additional school construction projects include a Matoaca Middle School addition on the east campus site, and the new Matoaca Elementary School will be constructed on the existing west campus site. Upon completion of the east campus addition, the current west campus building will be demolished and Matoaca Middle School will operate as a single, unified campus. Information on the CIP and School Board approved construction projects can be found in the financial section of the CCPS Adopted Budget for FY2020.

Anticipated School Impacts

	Elementary (PK – 5)	Middle (6 – 8)	High (9 – 12)	Total ⁽¹⁾
Anticipated Student Yield by School Type	30	18	20	68
Schools Currently Serving Area	Bellwood	Falling Creek	Meadowbrook	2019-20 School Year
Current Enrollment	586	1,466	1,883	
Design Capacity ⁽²⁾	758	1,152	1,779	
Enrollment Percent of Design Capacity	77%	127%	106%	
Program Capacity ⁽³⁾	706	1,111	1,887	
Enrollment Percent of Program Capacity	83%	132%	100%	
Total Number of Trailers	1	22	2	
Number of Classroom Trailers	1	21	2	
Note: ⁽¹⁾ Based upon the average number of students per multi-family dwelling unit for each of the school attendance zones where the proposal is located. Student Generation Factor (2017) is the actual total number of students by grade level divided by the actual total number of housing units by housing type. ⁽²⁾ Design capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the architectural program design of the existing building including all interior and exterior renovations to date and an inventory of all available space. Design capacity does not include site-based initiatives and is thus not subject to frequent change and represents prototypical design capacity using VDOE standards. ⁽³⁾ Program capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the current school programming that may adjust the number of rooms used for core or grade-level classrooms in the overall building design capacity.				

Public Facilities Plan

Post 2020, the *Public Facilities Plan* recommends the revitalization or replacement of Falling Creek Middle School and for a new high school facility in the vicinity of Chester Road and Route 288 north of Route 10, however at this time, a budget has not been developed for the acquisition of land or construction of these school facilities as recommended in the *Plan*.

Additional School Comments

Over time, this case combined with other tentative residential developments, infill developments, and approved residential zoning cases in the area may cause these schools to reach or exceed its capacity.

UTILITIES

Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov)

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	12"	Yes
Wastewater	No	8"	Yes

Additional Utility Comments:

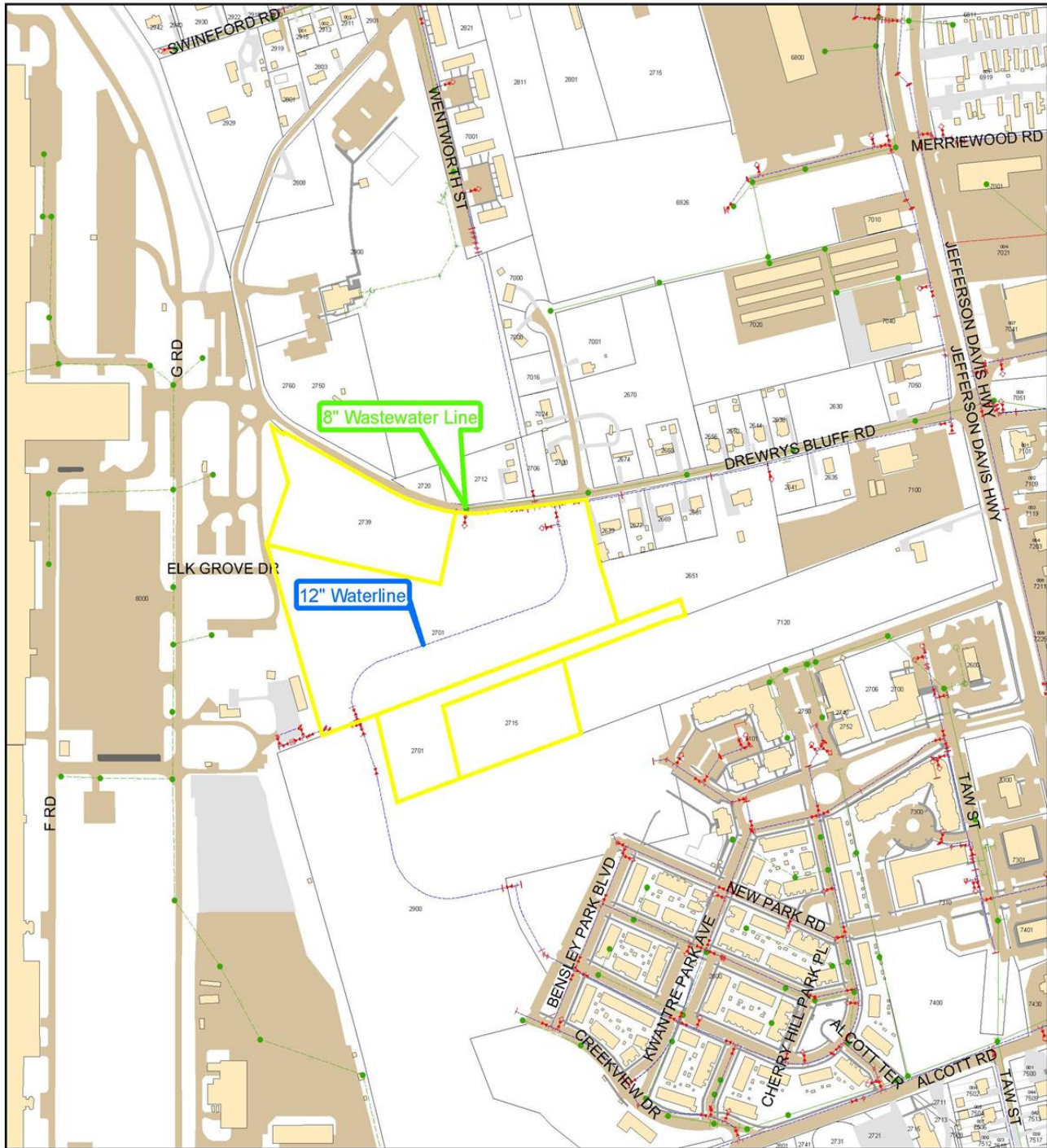
The applicant requests a rezoning and CUPD to allow a residential multi-family development of 16.81 acres with a maximum of 164 units. The subject parcels are within the mandatory connection areas for county water and wastewater. The applicant has proffered use of county water and wastewater to serve this development.

There is an existing 12" county waterline located within the development, which may need to be relocated depending upon the proposed layout. The applicant has proffered to relocate this facility if adversely impacted by the proposed development.

There is an existing 8" county wastewater line available for connection or extension along Drewrys Bluff Road.

All extensions of the County water and wastewater systems will be subject to formal review and approval of the Utilities Department. The Utilities Department supports this case.

CHESTERFIELD COUNTY DEPARTMENT OF UTILITIES



ACCURACY OF INFORMATION NOT GUARANTEED

This information is being provided to you as a public service.
WE DO NOT GUARANTEE ITS ACCURACY.
By using it in any way, you are agreeing to
Release the County, its employees and
officials from responsibility for
any consequence(s) if it proves
to be inaccurate.



Chesterfield County
Department of Utilities
19SN0577
John S. Bolton
MJR, 11/21/19
1 inch = 400 feet



ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Ward (804-748-1028) WardR@chesterfield.gov

Geography

The western third of the subject properties generally drains from northeast to southwest to No Name Creek, then under Alcott Road and through tributaries to the James River. The eastern two-thirds of the properties drains east through an adjacent property and into an existing storm sewer which discharges to No Name Creek. The properties are all located within the James River Watershed.

Surrounding Environmental Concerns

The adjacent property owner to the west of the subject properties is the USA Defense General Supply Center (DLA). The 640-acre DLA site is an active federal facility, which has been in operation as a DLA supply center since 1941. In the 1960s and early 1970s, waste material from maintenance and operations were disposed onsite, which resulted in the contamination of soil, sediment, and groundwater. Remedial efforts are on-going to clean up the documented contamination on the DLA property.

Over the past year, the applicant has performed groundwater sampling and monitoring on the subject properties for the presence of the contaminants for which the DLA is actively remediating. The sampling results showed that the concentrations of the contaminants on the subject properties are below the method detection limits.

Environmental Features

A Resource Protection Area Designation (RPAD) must be submitted to and confirmed by the Department of Environmental Engineering - Water Quality Section prior to the submittal of any site or construction plans. In addition, wetlands shall not be impacted without approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Drainage

A portion of the property drains to No Name Creek and through a culvert under Alcott Road, which experiences flooding during some storm events. There is an alternate ingress/egress for residents in Rayon Park during these storm events; however, the flooding of the roadway is an inconvenience to the residents. Therefore, for the portion of the development which drains towards No Name Creek, the 10-year post-development peak discharge rate shall not exceed the 10-year pre-development peak discharge rate. The applicant has offered a proffered condition to address this impact. (Proffered Condition 15)

Stormwater Management

The development of the subject property will be subject to the Part IIB technical criteria of the Virginia Stormwater Management Program Regulations for water quality and quantity.

LIBRARIES

Staff Contact: Jennifer Stevens (804-751-4435) stevensj@chesterfield.gov

PARKS AND RECREATION

Staff Contact: Stuart Connock (804-751-4484) ConnockS@chesterfield.gov

To date, no comments have been received.

CASE HISTORY

Applicant Submittals	
11/13/18	Application submitted
12/4/18	Revised proffered conditions submitted
12/14/18	Application amended
12/4/18 and 7/30, 9/10, 10/2, 10/3, 10/30, 11/5, 11/20, 11/26 and 12/9/19	Revised proffered conditions, Textual Statement and exhibits submitted

Community Meeting	
12/2/19	<p>Issues Discussed:</p> <ul style="list-style-type: none"> • Environmental spill plume monitoring; spill from Defense Supply Center • Environmental studies required by Environmental Engineering complete; test results indicate no unacceptable levels; vapor barriers to be installed under buildings; buffer to be maintained between development and environmental easement • Tax credit program to build development; rents will be income based at a percentage of market rate • Each unit will have washer and dryer; no community laundry facilities • On-site staff will manage the property • HVAC and dumpster units will be screened • Pedestrian connection between development and New Park Drive • Multi-family is separated from remainder of development by the environmental easement; easement renewable in 2025 will likely be renewed • Better Housing Coalition owns property across Drewrys Bluff from dev; would be willing to dedicate to county for access to Bensley Park • Property is wet; there are areas of wetlands to be avoided; applicant will be required to ensure property drains appropriately • Concern with additional traffic on Drewrys Bluff Road; condition of road; curve near property; children crossing to park possible hazard • Applicant to discuss speed mitigation and crossing of Drewrys Bluff • Impact of under market apartments on revitalization of area; quality of construction and project management should set tone for market rate developers to build • Project will likely begin between March and June 2021

Planning Commission	
12/17/19	<p>Citizens Comments:</p> <ul style="list-style-type: none"> • Support affordable housing options in area, but hopeful these investments will generate more market rate housing development • Better Housing Coalition does great job with Winchester Green; they manage project well and have recently reinvested in existing units • Some concern about additional traffic on Drewrys Bluff Road • County should look at accepting potential donation of property from applicant between this development and Bensley Park; would provide pedestrian access to park for residents without them having to walk along Drewrys Bluff Road <p>Commission Discussion:</p> <p>In response to questions from the Bermuda District Commissioner, staff confirmed that: the environmental studies required by Environmental Engineering were completed by applicant; test results indicate no unacceptable chemical levels; vapor barriers will be installed under buildings; and, buffer to be maintained between development and environmental easement</p> <p>Recommendation – APPROVAL AND ACCEPTANCE OF THE PROFFERED CONDITIONS IN ATTACHMENT 1</p> <p>Motion: Sloan Second: Jones AYES: Jackson, Freye, Jones, Sloan and Stariha</p>
The Board of Supervisors on Wednesday, January 22, 2019, beginning at 6:00 p.m., will consider this request.	

PROFFERED CONDITIONS

(December 4, 2019)

Note: Both the Planning Commission and staff recommend acceptance of the following proffered conditions, as offered by the Applicant.

Better Housing Coalition (the Developer) in this zoning case, proffers that the development of the property consisting of four (4) parcels with 16.8 total acres (the Project Site) will be developed according to the following conditions. In the event the request is denied or approved with conditions not agreed to by the Developer, the proffers shall immediately be null and void and of no further notice or effect.

The application contains three (3) exhibits:

Exhibit A – Conceptual Site Layout prepared by _Arnold Design Studio and dated Nov. 4, 2019

Exhibit B – Building Elevations prepared by Arnold Design Studio and dated Oct. 3, 2019

Exhibit C – Photos of existing building types at Winchester Green.

1. Master Plan -The Textual Statement last revised on December 4, 2019 and the Conceptual site Layout (Exhibit A) shall be considered the Master Plan. (P)
2. Number of Dwelling Units - The total number of dwelling units on the Project Site shall not exceed 164 multi-family units. (P)
3. Unit Types - The dwelling units shall consist of no more than 20% one-bedroom units and no more than 20% three-bedroom units. The remaining units shall be two-bedroom units. (P and BI)
4. Number of Units - The maximum number of units per floor shall be 25 (three story building) or 35 (if it is a two story building). (P and BI)
5. Architecture - The architectural style shall generally be consistent with the buildings in Exhibit B. Each unit shall have a functional balcony or porch with a minimum depth of six (6) feet. The new buildings shall be complimentary in style to the existing buildings within the Winchester Green development as shown in Exhibit C. (P and BI)
6. Building Facades and Foundations – Exterior building facades shall be a minimum of eighty-five (85) percent brick with the remaining façade treatment to be cementitious board siding. Building foundations shall be brick. (P and BI)

7. Construction Standards – Buildings shall be EarthCraft Gold, NGBS Silver or Enterprise Green certified. Verification of such certification shall be submitted to the county with the building permit application for each building. (P and BI)
8. Pedestrian Design - Five foot wide sidewalks shall be constructed throughout as part of the development Project Site. Sidewalks shall be constructed around all buildings. A paved pedestrian/bike path shall be constructed that will directly connect the Project Site to the Winchester Green development via Bensley Commons Boulevard and terminate at Jefferson Davis Highway. The exact location, treatment, and design shall be determined at the time of site review. (P)
9. Recreational Amenities -
 - A. Indoor amenities - A minimum of 750 square feet of indoor activity area, open and easily accessible to building residents for resident activities shall be provided.
 - B. Outdoor amenities – A minimum of 1.6 acres shall be provided for active and passive recreational space. These areas shall include a hardscaped focal point with, at a minimum, benches designed to facilitate gatherings and two (2) playground areas designed to provide families with convenient access to safe play areas. (P)
10. Utilities - Public water and wastewater systems shall be used. Any existing county water facilities adversely impacted by the proposed development shall be relocated by the Developer, subject to Utilities Department review and approval. (U)
11. Landscaping – Landscaping, including foundation plantings and street trees, shall be provided around the perimeter of the building, driveways, and parking areas. Landscaping shall be designed to minimize the predominance of building mass and paved areas. Native and drought resistant plants shall be installed in parking areas. The exact design, number and species of plantings shall be shown on a landscaping plan to be approved by the Planning Department at the time of plan review. (P)
12. Light Poles - Light poles on the Property shall have a maximum height of twenty (20) feet. Sidewalks, walkways and other pedestrian areas not otherwise illuminated by light poles shall be lit by pedestrian-style lights in accordance with a lighting plan to be approved at the time of plan review. (P)
13. HVAC Screening - Ground-level HVAC equipment shall be screened from view from streets and public areas within the Property in a manner approved at the time of plan review. (P)

14. Environmental – A vapor barrier shall be installed under the concrete foundation of each building. (EE and BI)

15. Stormwater – Stormwater/Best Management Practice facilities shall be designed to retain the 2-year and 10-year post development runoff rates and release at the 2-year and 10-year pre-development rate for that area that drains to the southwest to No Name Creek. This may be modified at the time of plans review if a greater release rate has no effect on the flooding of Alcott Road, as it currently exists, to the extent acceptable to the Chesterfield County Environmental Engineering Department. (EE)

TEXTUAL STATEMENT

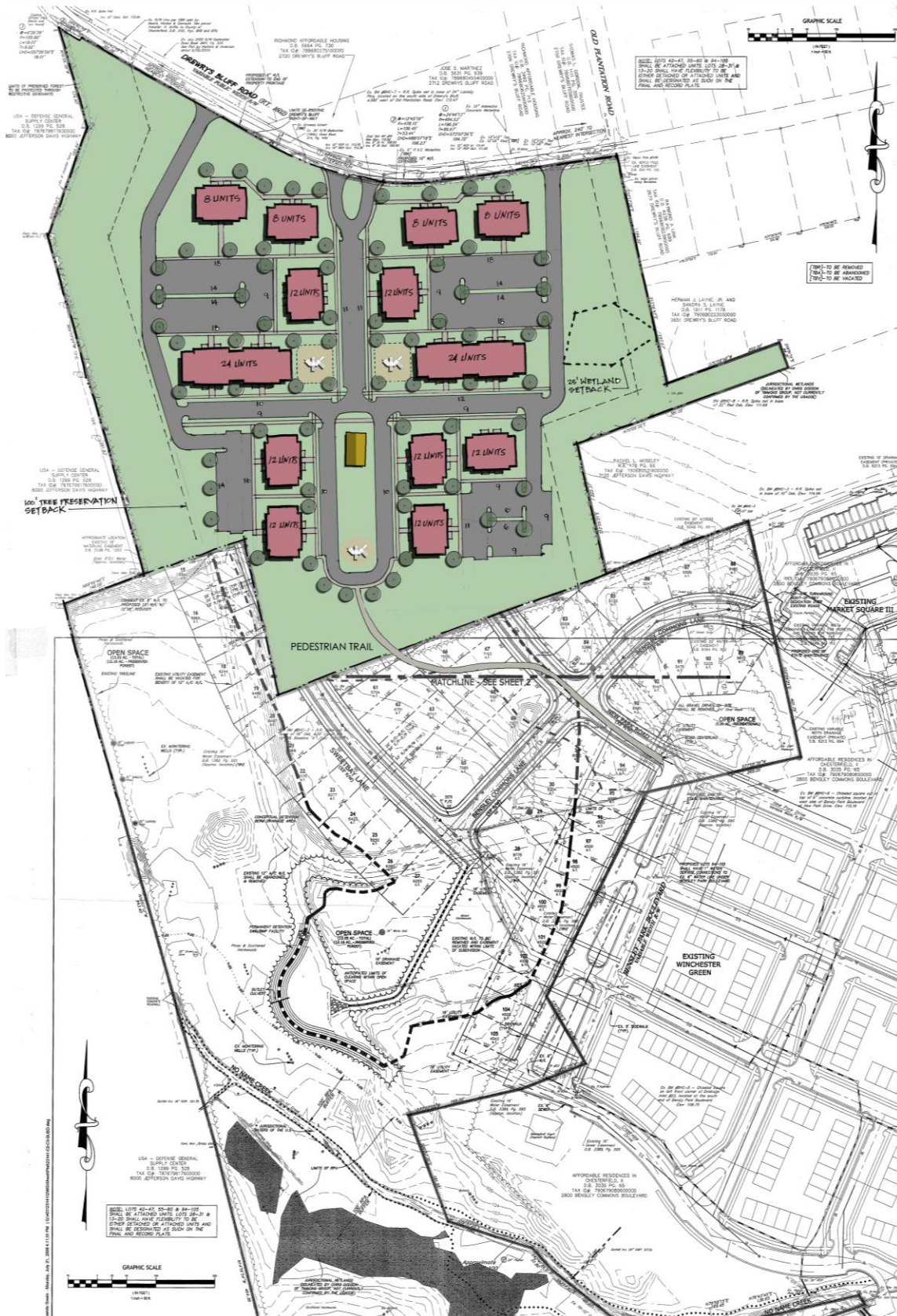
(December 4, 2019)

Development Standards

Development of the property shall conform to the Residential Multi-family (R-MF) standards, except as outlined herein.

- I. **Acreage** - The project shall contain 16.8 acres.
- II. **Parking** - On-site parking shall be provided at 1.75 spaces per unit as generally depicted on the Conceptual Site Layout (Exhibit A).
- III. **Drive Widths** - Access drives adjacent to buildings shall be a minimum of twenty-six (26) feet wide. Other drives shall be permitted to be a minimum of twenty-four (24) feet wide.
- IV. **Interior Private Pavement** - A 10 foot exception to the 25 foot setback requirement from interior private pavement, excluding parking spaces, for residential buildings.
- V. **Parking Setback** - A 10 foot exception to the requirement that all residential buildings be located at least 15 feet from any parking space.
- VI. **Distance Between Buildings** - The minimum distance between buildings shall be 30 feet.
- VII. **Landscaped Buffers** –
 - A. A 100 foot tree preservation setback, inclusive of a 75 foot buffer, shall be provided along the western boundaries of Tax IDs 789-680-0739 and 5623.
 - B. A 25 foot buffer shall be provided along the eastern boundary of the development.
 - C. A 25 foot buffer inclusive of building setback shall be provided along the southern boundary of the development.

EXHIBIT A, CONCEPTUAL SITE LAYOUT



Arnold
Design
Studio

930 Cambria Street NE
Christiansburg, Virginia 24073
Phone: 540.239.2671

WINCHESTER FOREST - CONCEPT PLAN

NORTH CHESTERFIELD, VIRGINIA
NOVEMBER 18, 2019

EXHIBIT B - BUILDING ELEVATIONS



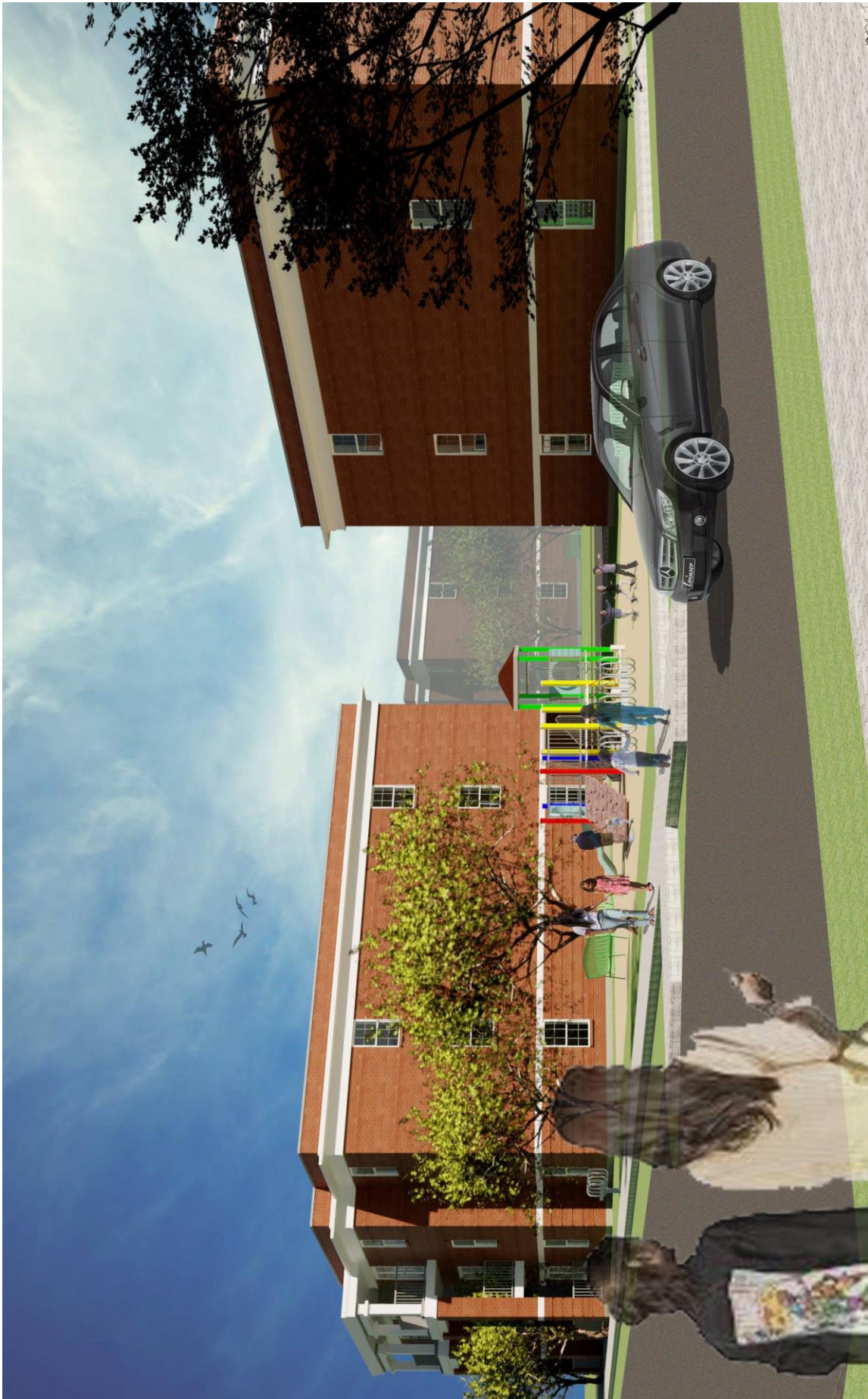




EXHIBIT C – PHOTOS OF EXISTING WINCHESTER GREEN

Case Number 19ZO0169
Existing Winchester Greens Flats



CASE NUMBER: 19SN0616
APPLICANT: Idlewood Properties Inc.

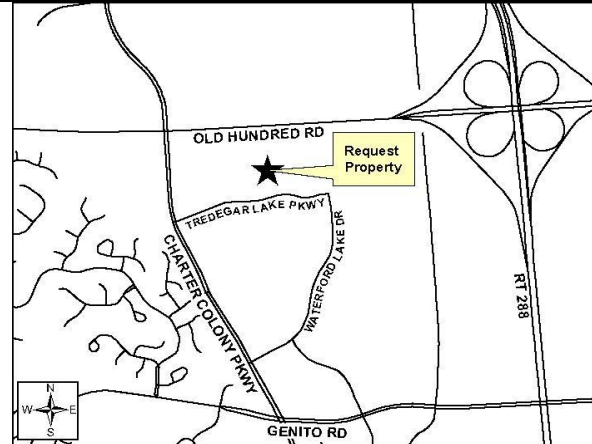


CHESTERFIELD COUNTY, VIRGINIA
CLOVER HILL DISTRICT

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Agent:
 BRENNEN KEENE (804-775-1005)
Planning Department Case Manager:
 DARLA ORR (804-717-6533)



10 Acres – 2601 Waterford Lake Drive
 WATERFORD

REQUEST

Rezoning from Light Industrial (I-1) to General Industrial (I-2) with Conditional Use Planned Development relative to uses.

Notes:

- A. Conditions may be imposed or the property owner may proffered conditions.
- B. Proffered conditions, Textual Statement and exhibits are located in Attachments 1 - 4.

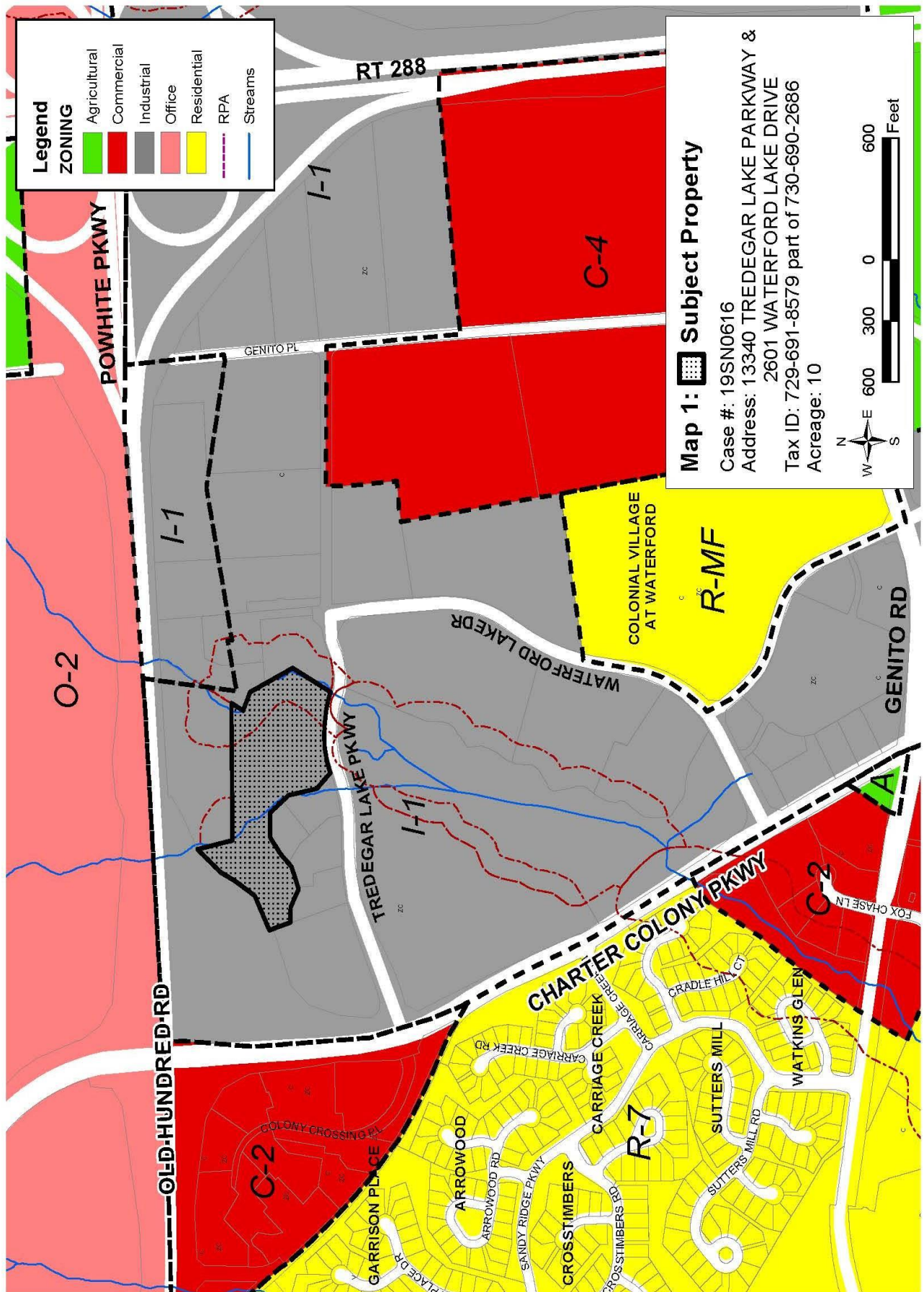
SUMMARY

The request property includes vacant properties within the Waterford development, a mixed-use community originally zoned in 1986 which contains light industrial, office, commercial and multi-family residential uses. The applicant has provided that the existing zoning limits uses on the request property which has negatively affected their ability to market the property. Rezoning to General Industrial (I-2) with Conditional Use Planned Development is proposed to permit some General Industrial (I-2) and Neighborhood Commercial (C-2) uses. Uses permitted by right or with restrictions in the Light Industrial (I-1) District would also be permitted.

Development is proposed based on the tract plan (Exhibit A) and a conceptual pedestrian connectivity plan (Exhibit B) is offered by the applicant to ensure pedestrian connections are provided between the proposed uses and remainder of the Waterford development.

RECOMMENDATION

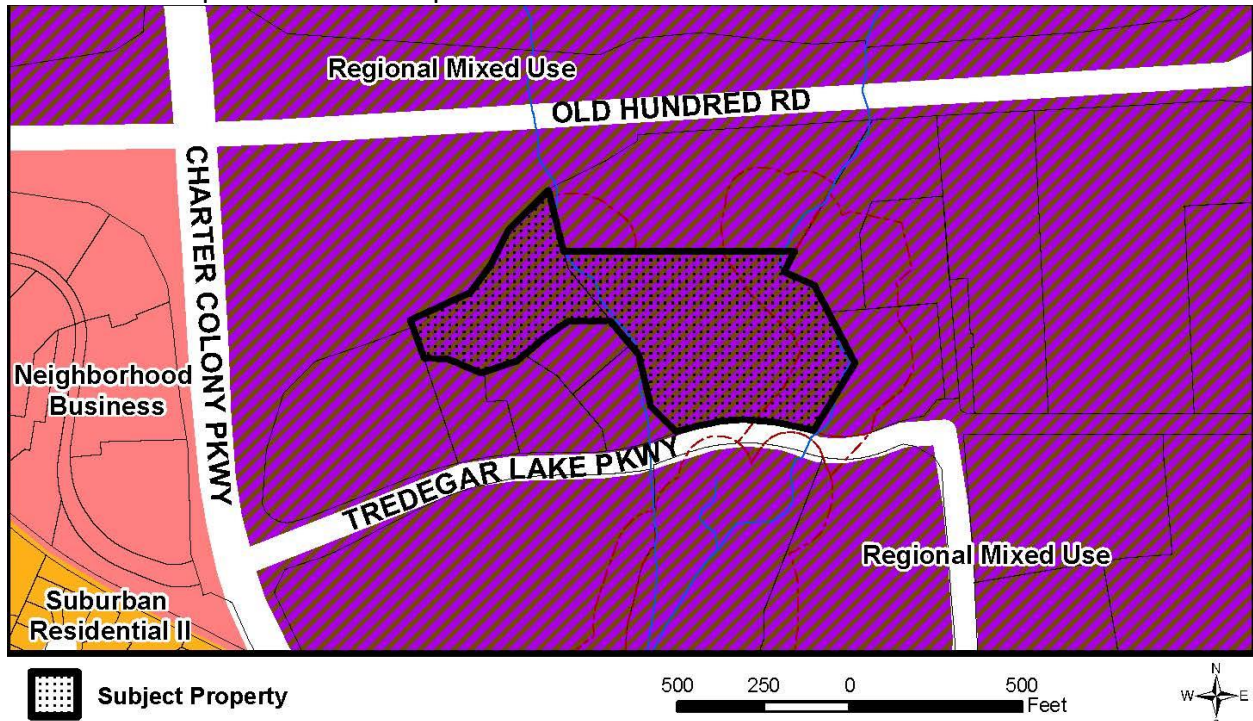
PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> Proposed zoning and land uses offer employment generating uses suggested as appropriate by the Comprehensive Plan Additional land uses provide development flexibility while maintaining land use compatibility within the project Pedestrian connectivity assists with integration of uses into the remainder of the Waterford development



Comprehensive Plan

Classification: REGIONAL MIXED USE

The designation suggests the property is appropriate for an integrated urban-style mix of employment-generating uses, destination commercial services and subordinate higher-density residential development of 20 units per acre or more.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Darla Orr (804-717-6533) orrd@chesterfield.gov

Zoning History

Case Number	Request
86SN0117 Approved 8/27/1986	<ul style="list-style-type: none">• Rezoning with Conditional Use Planned Development on 243 acres, including the request property, to permit a mixed use development including residential, office, commercial, and light industrial uses (original Waterford zoning)• Use and bulk exceptions included to accommodate the planned development

Proposal

The applicant has provided that the existing zoning for the Waterford development (Case 86SN0117) limits uses on the request property which has affected their ability to market the property. Rezoning to General Industrial (I-2) with Conditional use Planned Development is proposed to permit some General Industrial (I-2) and Neighborhood Commercial (C-2) uses. Uses permitted by right or with restrictions in the Light Industrial (I-1) District would also be permitted.

The applicant proposes rezoning of the request property from Light Industrial (I-1) to General Industrial (I-2) with Conditional Use Planned Development to permit the following uses:

- Uses permitted by-right or with restrictions in the Light Industrial (I-1) district.
- Locksmith, mailing service and a photography studio (Neighborhood Business (C-2) uses)
- Brewery and distillery manufacturing
- Electrical machinery, equipment, and supply manufacturing
- Metal product manufacturing, fabricated products not otherwise listed

Development is proposed based on the tract plan (Exhibit A) and a conceptual pedestrian connectivity plan (Exhibit B) is offered by the applicant to ensure pedestrian connections are provided between the proposed uses and remainder of the Waterford development. (Attachments 3 and 4)

The proposed zoning and land use offer employment generating uses suggested as appropriate within a Regional Mixed Use area by the Comprehensive Plan. The additional land uses offer flexibility to applicant to market the property while maintaining land use compatibility within the development. In addition, pedestrian connectivity assists with integration of uses into the remainder of the Waterford development, as suggested appropriate by the Plan. Therefore, staff supports this request.

COUNTY DEPARTMENT OF TRANSPORTATION

Staff Contact: Steve Adams (804) 748-1037 adamsSt@chesterfield.gov

The *Comprehensive Plan*, which includes the *Thoroughfare Plan*, identifies county-wide transportation needs that are expected to mitigate traffic impacts of future growth. The anticipated traffic impact of the proposal has been evaluated and it is anticipated to have a similar impact as existing permitted uses on the property.

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804-674-2907) willie.gordon@vdot.virginia.gov

The proposed property is located along Tredegar Lake Parkway, a 35 MPH Urban Local Road. The applicant is proposing to rezone the property to I-2 with a CUPD to allow commercial uses. Proposed access to the site will be subject to VDOT Access Management policy minimum spacing criteria and commercial entrance design standards. A turn lane warrant analysis will be required for the proposed entrances during the site plan review process.

FIRE SERVICE

Staff Contact: Anthony Batten (717-6167) battena@chesterfield.gov

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Swift Creek Fire Station, Company Number 16
EMS Facility	The Swift Creek Fire Station, Company Number 16

UTILITIES

Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	8" & 12"	Yes
Wastewater	No	12" & 15"	Yes

Additional Utility Comments:

The applicant requests rezoning from I-1 with CUPD to I-2 with CUPD on 3 tracts of land.

The subject properties are located within the mandatory water and wastewater connection areas for new non-residential structures. The applicant has proffered use of county water and county wastewater to support this development.

Both county water and wastewater lines are available across the subject property and within Tredegar Lake Parkway for connection and extension. The applicant has proffered a utilities master plan and hydraulic analysis of these systems, indicating any related capacity improvements necessary to support the development will be the responsibility of the developer. (Proffered Condition 2)

All extensions of the County water and wastewater systems will be subject to formal review and approval of the Utilities Department, to include dedication of easements to make the systems available to upstream and adjacent properties.

The Utilities Department supports this case.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Ward (804-748-1028) wardr@chesterfield.gov

This request will have a minimal impact on these facilities.

CASE HISTORY

Applicant Submittals	
6/13/19	Application submitted
8/5, 8/22, 9/24, 10/11 and 10/14	Revised proffered conditions, Textual Statement and exhibits submitted
11/1/19	Application amended
11/1 and 12/9/19	Revised proffered conditions and Textual Statement submitted

Community Meeting	
10/8/19	<p>Issues Discussed:</p> <ul style="list-style-type: none"> Existing zoning limited where industrial uses could be located; rezoning would permit light industrial and a few general industrial uses Waterford is part of Brandermill Homeowner Association and subject to Brandermill covenants Support flexibility in uses Important quadrant for County; accessible to other areas in Metro Richmond area Infrastructure in place to support proposal

Planning Commission	
12/17/19	<p>Citizen Comments: Consider extended sidewalks along Charter Colony Parkway</p> <p>Commission Discussion: The Clover Hill District Commissioner noted that additional uses would offer flexibility needed for applicant; that two (2) adjacent property owners at community meeting support the proposal; and, the property is part of the Brandermill Community Association.</p> <p>Recommendation – APPROVAL AND ACCEPTANCE OF THE PROFFERED CONDITIONS IN ATTACHMENT 1</p> <p>Motion: Freye Second: Jones AYES: Jackson, Freye, Jones, Sloan and Stariha</p>
The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.	

PROFFERED CONDITIONS

December 9, 2019

Note: Both the Planning Commission and staff recommend acceptance of the following proffered conditions, as offered by the Applicant.

The Developer (the “Developer”) in this zoning case, pursuant to §15.2-2298 of the Code of Virginia (1950 as amended) and the Zoning Ordinance of Chesterfield County, for themselves and their successors or assigns, proffer that the development of the Property known as Chesterfield County Tax Identification Number 729-691-8579 and a part of 730-690-2686 (the “Property”) under consideration will be developed according to the following conditions if, and only if, the rezoning request for rezoning to I-2, with a conditional use planned development (CUPD), are granted. In the event the request is denied or approved with conditions not agreed to by the Developer, the proffers and conditions shall immediately be null and void and of no further force or effect. If the zoning is granted, these proffers and conditions will supersede all proffers and conditions now existing on the Property.

1. Master Plan. The textual statement last revised December 9, 2019, shall be considered the Master Plan. (P)
2. Utilities.
 - A. The development shall be served county water and county wastewater.
 - B. The Developer shall submit and receive approval from the Utilities Department an overall utilities master plan indicating the on-site and off-site utilities improvements necessary to support the development prior to the submission of any schematic, tentative subdivision, construction, or site plan on the property.
 - C. The Developer shall perform a hydraulic analysis of the county’s water and wastewater systems to verify adequate capacity exists as part of the overall utilities master plan. Any capacity related improvements required to support the demands of this development will be reflected on the overall utilities master plan and the responsibility of the Developer. (U)

TEXTUAL STATEMENT

December 9, 2019

Rezone Tracts 1, 2, and 3 (the “Property”) from I-1 (CUPD) to I-2 (General Industrial) CUPD and [ordinance exceptions.]

Exhibit A – A plan titled “Idlewood Properties Inc. – Tract Plan” dated October 14, 2019.

Exhibit B – A plan titled “Idlewood Properties Inc. – Conceptual Pedestrian Network” dated October 14, 2019.

1. General Conditions.

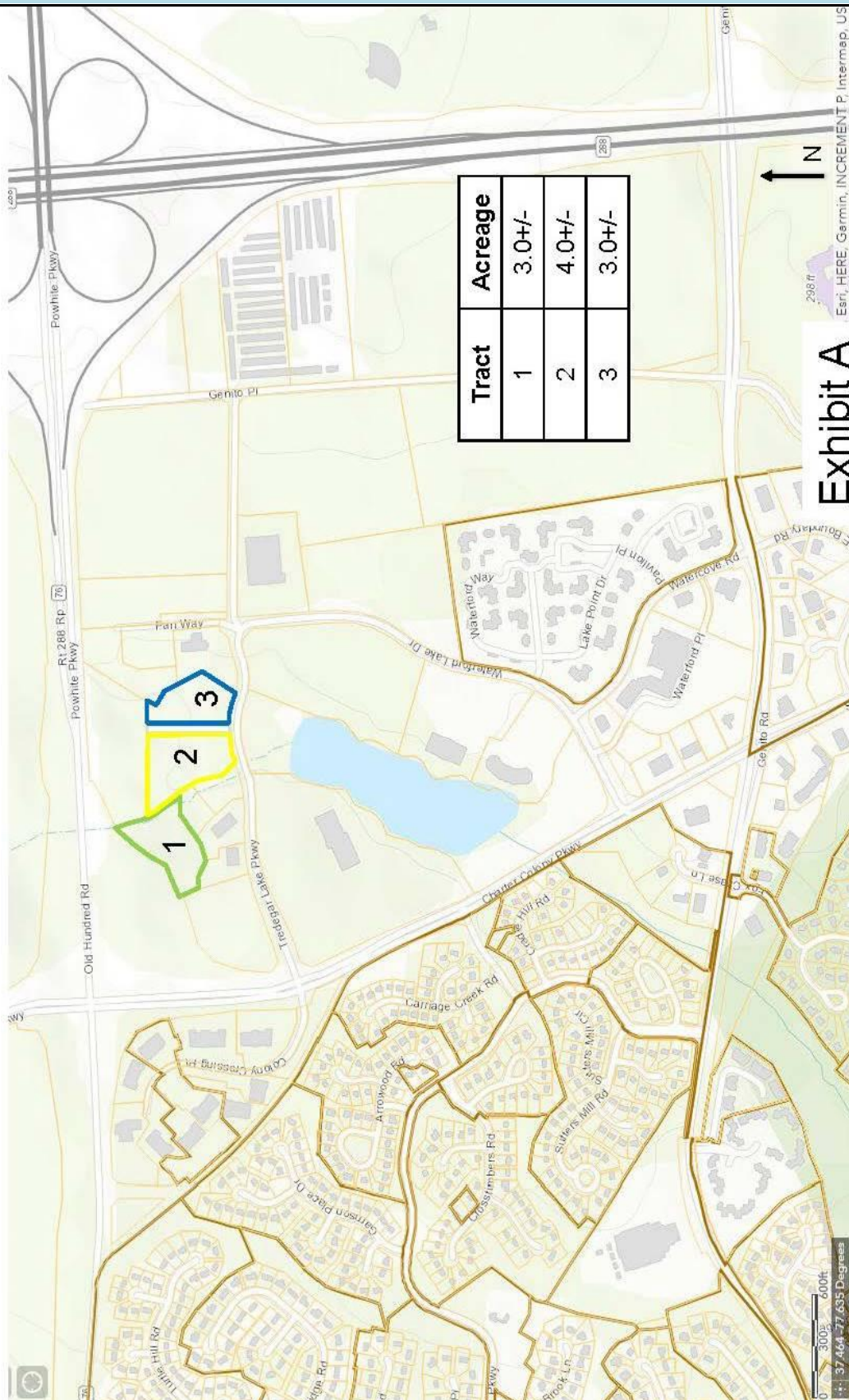
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- B. Pedestrian Ways. Future pedestrian ways and connections shall be provided as generally shown on Exhibit B and constructed to tie into the existing Waterford pedestrian system.

2. Uses.

- A. Uses permitted by-right or with restrictions in the Light Industrial (I-1) district.
- B. The following C-2 uses.
 - i. Locksmith.
 - ii. Mailing services.
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- C. In addition to the uses in the I-1 district, the following additional uses shall be permitted provided any outside storage is screened in accordance with 19.1-53, Outside Storage.
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 - iii. Electrical machinery, equipment, and supply manufacturing.
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EXHIBIT A – TRACT PLAN



Idlewood Properties Inc. – Tract Plan

October 14, 2019

EXHIBIT B – CONCEPTUAL PEDESTRIAN CONNECTIVITY



Exhibit B

Idlewood Properties Inc. – Conceptual Pedestrian Network

October 14, 2019

CASE NUMBER: 19SN0616
APPLICANT: Idlewood Properties Inc.

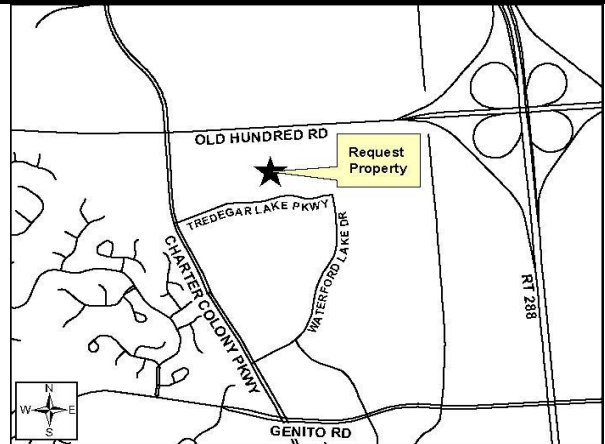


CHESTERFIELD COUNTY, VIRGINIA
CLOVER HILL DISTRICT

ADDENDUM

Board of Supervisors (BOS) Hearing:
JANUARY 22, 2020
BOS Time Remaining:
365 DAYS

Applicant's Agent:
BRENNEN KEENE (804-775-1005)
Planning Department Case Manager:
DARLA ORR (804-717-6533)



10 Acres – 2601 Waterford Lake Drive
WATERFORD

REQUEST

Rezoning from Light Industrial (I-1) to General Industrial (I-2) with Conditional Use Planned Development relative to uses.

Notes:

- A. Conditions may be imposed or the property owner may proffered conditions.
- B. The Textual Statement is located in Attachment 1.

SUMMARY

The request property includes vacant properties within the Waterford development, a mixed-use community originally zoned in 1986 which contains light industrial, office, commercial and multi-family residential uses. The applicant has provided that the existing zoning limits uses on the request property which has negatively affected their ability to market the property. Rezoning to General Industrial (I-2) with Conditional Use Planned Development is proposed to permit some General Industrial (I-2) and Neighborhood Commercial (C-2) uses. Uses permitted by right or with restrictions in the Light Industrial (I-1) District would also be permitted.

Development is proposed based on the tract plan (Exhibit A) and a conceptual pedestrian connectivity plan (Exhibit B) is offered by the applicant to ensure pedestrian connections are provided between the proposed uses and remainder of the Waterford development.

ADDENDUM

The purpose of this Addendum is to correct a typographical error in the Textual Statement.

Item 2.C. of the Textual Statement dated December 9, 2019 was inadvertently duplicated when copied into the report from the Applicant's document and labeled as Item 2.D. To correct the duplication, Item 2.D. is hereby deleted and shown as stricken in Attachment 1.

The Planning Commission and staff continue to recommend approval as outlined on the following page.

RECOMMENDATION	
PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> • Proposed zoning and land uses offer employment generating uses suggested as appropriate by the Comprehensive Plan • Additional land uses provide development flexibility while maintaining land use compatibility within the project • Pedestrian connectivity assists with integration of uses into the remainder of the Waterford development

TEXTUAL STATEMENT

December 9, 2019

Rezone Tracts 1, 2, and 3 (the “Property”) from I-1 (CUPD) to I-2 (General Industrial) CUPD and [ordinance exceptions.]

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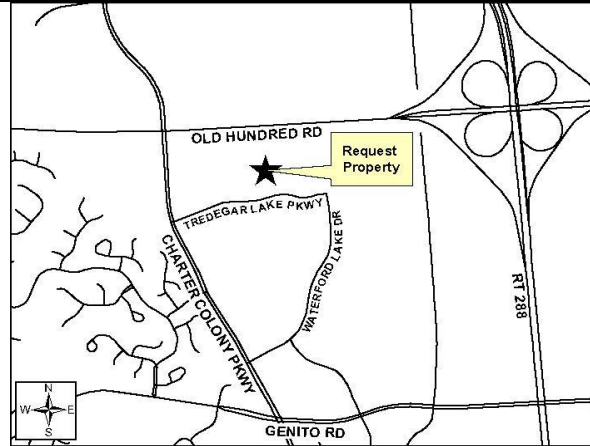


CHESTERFIELD COUNTY, VIRGINIA
CLOVER HILL DISTRICT

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Agent:
 BRENNEN KEENE (804-775-1005)
Planning Department Case Manager:
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10 Acres – 2601 Waterford Lake Drive
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REQUEST

Rezoning from Light Industrial (I-1) to General Industrial (I-2) with Conditional Use Planned Development relative to uses.

Notes:

- A. Conditions may be imposed or the property owner may proffered conditions.
- B. Proffered conditions, Textual Statement and exhibits are located in Attachments 1 - 4.

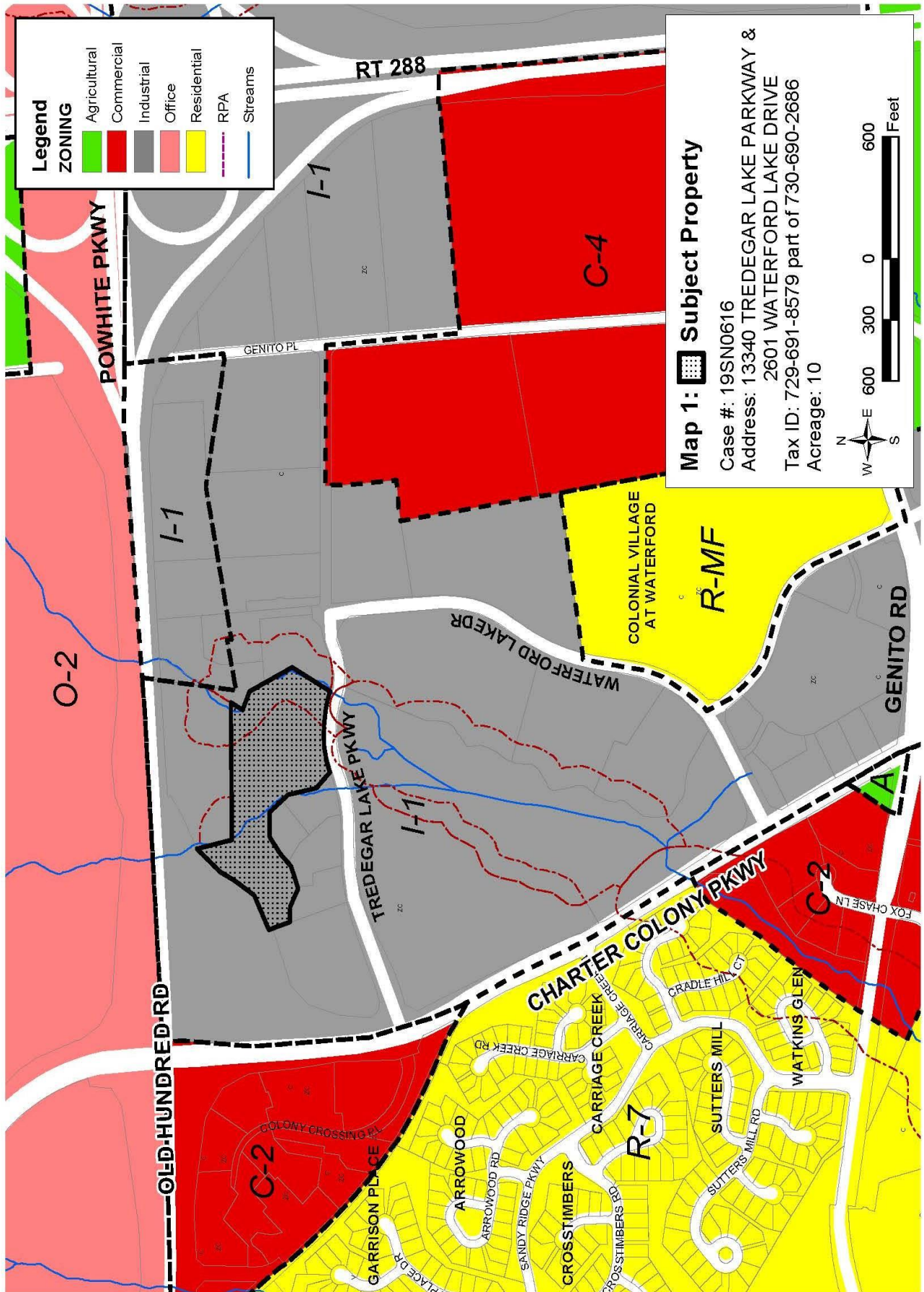
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The request property includes vacant properties within the Waterford development, a mixed-use community originally zoned in 1986 which contains light industrial, office, commercial and multi-family residential uses. The applicant has provided that the existing zoning limits uses on the request property which has negatively affected their ability to market the property. Rezoning to General Industrial (I-2) with Conditional Use Planned Development is proposed to permit some General Industrial (I-2) and Neighborhood Commercial (C-2) uses. Uses permitted by right or with restrictions in the Light Industrial (I-1) District would also be permitted.

Development is proposed based on the tract plan (Exhibit A) and a conceptual pedestrian connectivity plan (Exhibit B) is offered by the applicant to ensure pedestrian connections are provided between the proposed uses and remainder of the Waterford development.

RECOMMENDATION

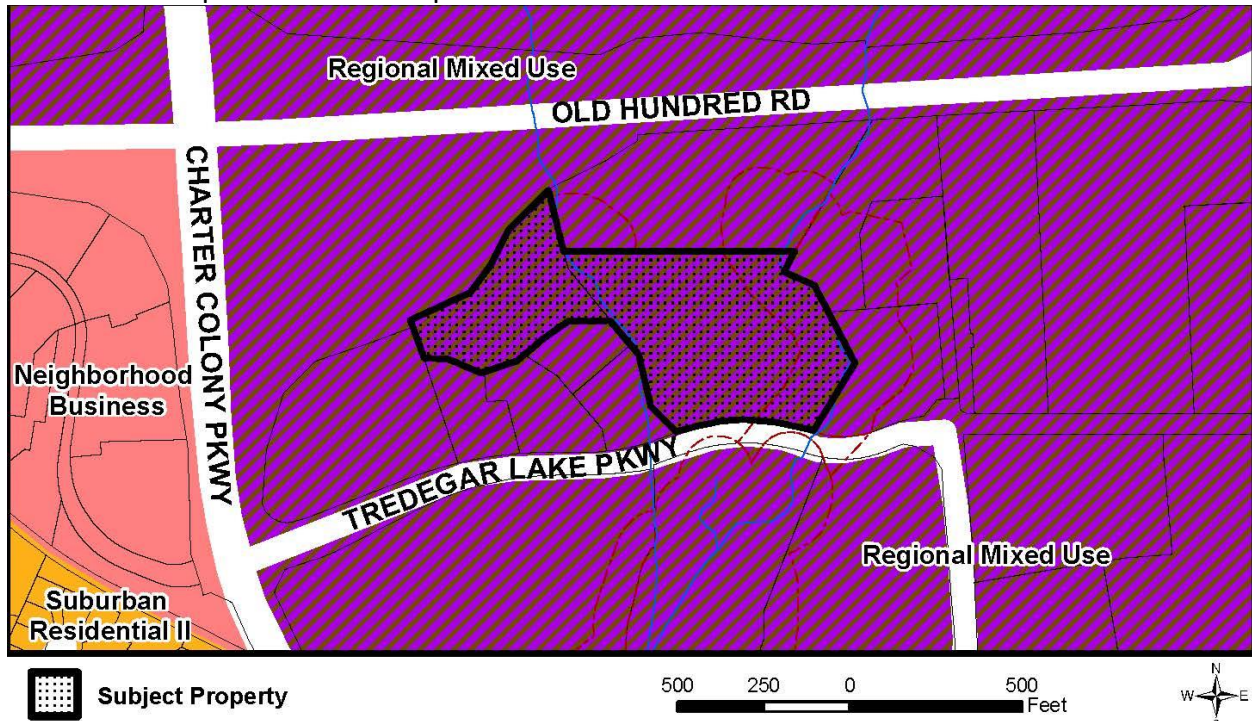
PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> Proposed zoning and land uses offer employment generating uses suggested as appropriate by the Comprehensive Plan Additional land uses provide development flexibility while maintaining land use compatibility within the project Pedestrian connectivity assists with integration of uses into the remainder of the Waterford development



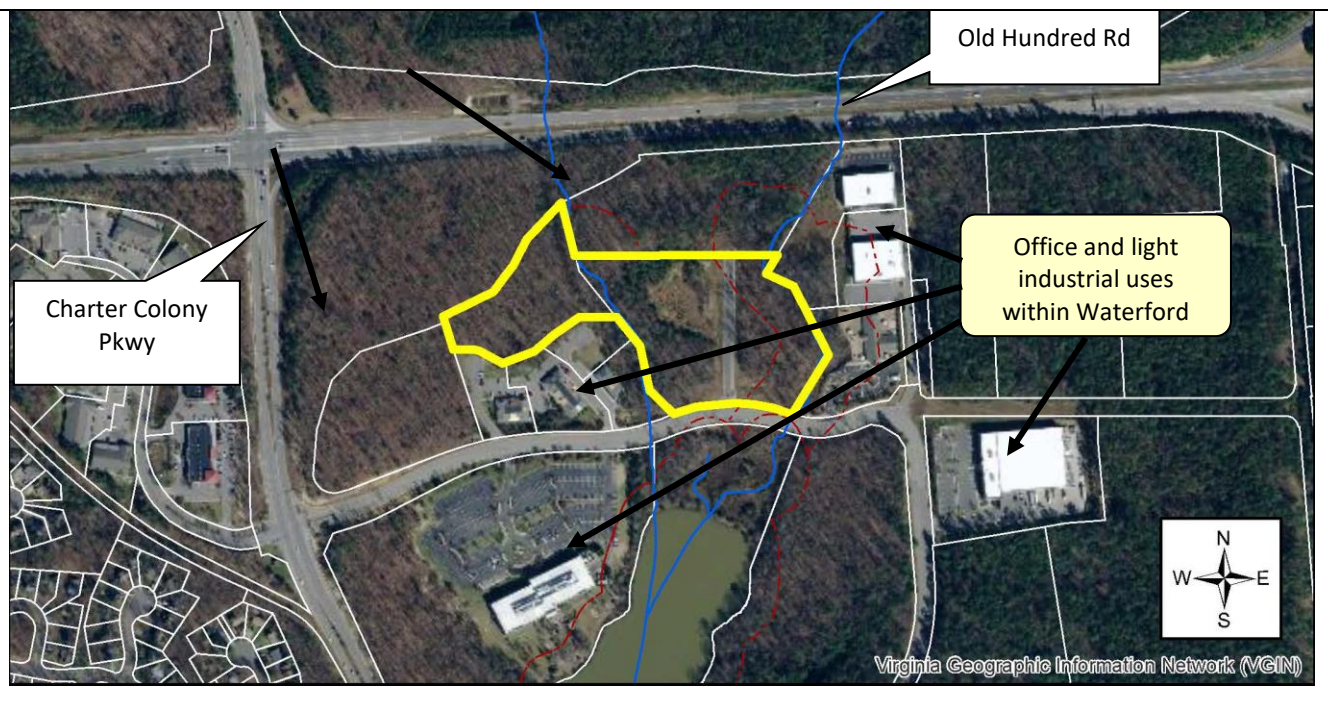
Comprehensive Plan

Classification: REGIONAL MIXED USE

The designation suggests the property is appropriate for an integrated urban-style mix of employment-generating uses, destination commercial services and subordinate higher-density residential development of 20 units per acre or more.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Darla Orr (804-717-6533) orrd@chesterfield.gov

Zoning History

Case Number	Request
86SN0117 Approved 8/27/1986	<ul style="list-style-type: none">• Rezoning with Conditional Use Planned Development on 243 acres, including the request property, to permit a mixed use development including residential, office, commercial, and light industrial uses (original Waterford zoning)• Use and bulk exceptions included to accommodate the planned development

Proposal

The applicant has provided that the existing zoning for the Waterford development (Case 86SN0117) limits uses on the request property which has affected their ability to market the property. Rezoning to General Industrial (I-2) with Conditional use Planned Development is proposed to permit some General Industrial (I-2) and Neighborhood Commercial (C-2) uses. Uses permitted by right or with restrictions in the Light Industrial (I-1) District would also be permitted.

The applicant proposes rezoning of the request property from Light Industrial (I-1) to General Industrial (I-2) with Conditional Use Planned Development to permit the following uses:

- Uses permitted by-right or with restrictions in the Light Industrial (I-1) district.
- Locksmith, mailing service and a photography studio (Neighborhood Business (C-2) uses)
- Brewery and distillery manufacturing
- Electrical machinery, equipment, and supply manufacturing
- Metal product manufacturing, fabricated products not otherwise listed

Development is proposed based on the tract plan (Exhibit A) and a conceptual pedestrian connectivity plan (Exhibit B) is offered by the applicant to ensure pedestrian connections are provided between the proposed uses and remainder of the Waterford development. (Attachments 3 and 4)

The proposed zoning and land use offer employment generating uses suggested as appropriate within a Regional Mixed Use area by the Comprehensive Plan. The additional land uses offer flexibility to applicant to market the property while maintaining land use compatibility within the development. In addition, pedestrian connectivity assists with integration of uses into the remainder of the Waterford development, as suggested appropriate by the Plan. Therefore, staff supports this request.

COUNTY DEPARTMENT OF TRANSPORTATION

Staff Contact: Steve Adams (804) 748-1037 adamsSt@chesterfield.gov

The *Comprehensive Plan*, which includes the *Thoroughfare Plan*, identifies county-wide transportation needs that are expected to mitigate traffic impacts of future growth. The anticipated traffic impact of the proposal has been evaluated and it is anticipated to have a similar impact as existing permitted uses on the property.

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Staff Contact: Willie Gordon (804-674-2907) willie.gordon@vdot.virginia.gov

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Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov

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ENVIRONMENTAL ENGINEERING

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This request will have a minimal impact on these facilities.

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Planning Commission

12/17/19	<p>Citizen Comments: Consider extended sidewalks along Charter Colony Parkway</p> <p>Commission Discussion: The Clover Hill District Commissioner noted that additional uses would offer flexibility needed for applicant; that two (2) adjacent property owners at community meeting support the proposal; and, the property is part of the Brandermill Community Association.</p> <p>Recommendation – APPROVAL AND ACCEPTANCE OF THE PROFFERED CONDITIONS IN ATTACHMENT 1</p> <p>Motion: Freye Second: Jones AYES: Jackson, Freye, Jones, Sloan and Stariha</p>
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PROFFERED CONDITIONS

December 9, 2019

Note: Both the Planning Commission and staff recommend acceptance of the following proffered conditions, as offered by the Applicant.

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December 9, 2019

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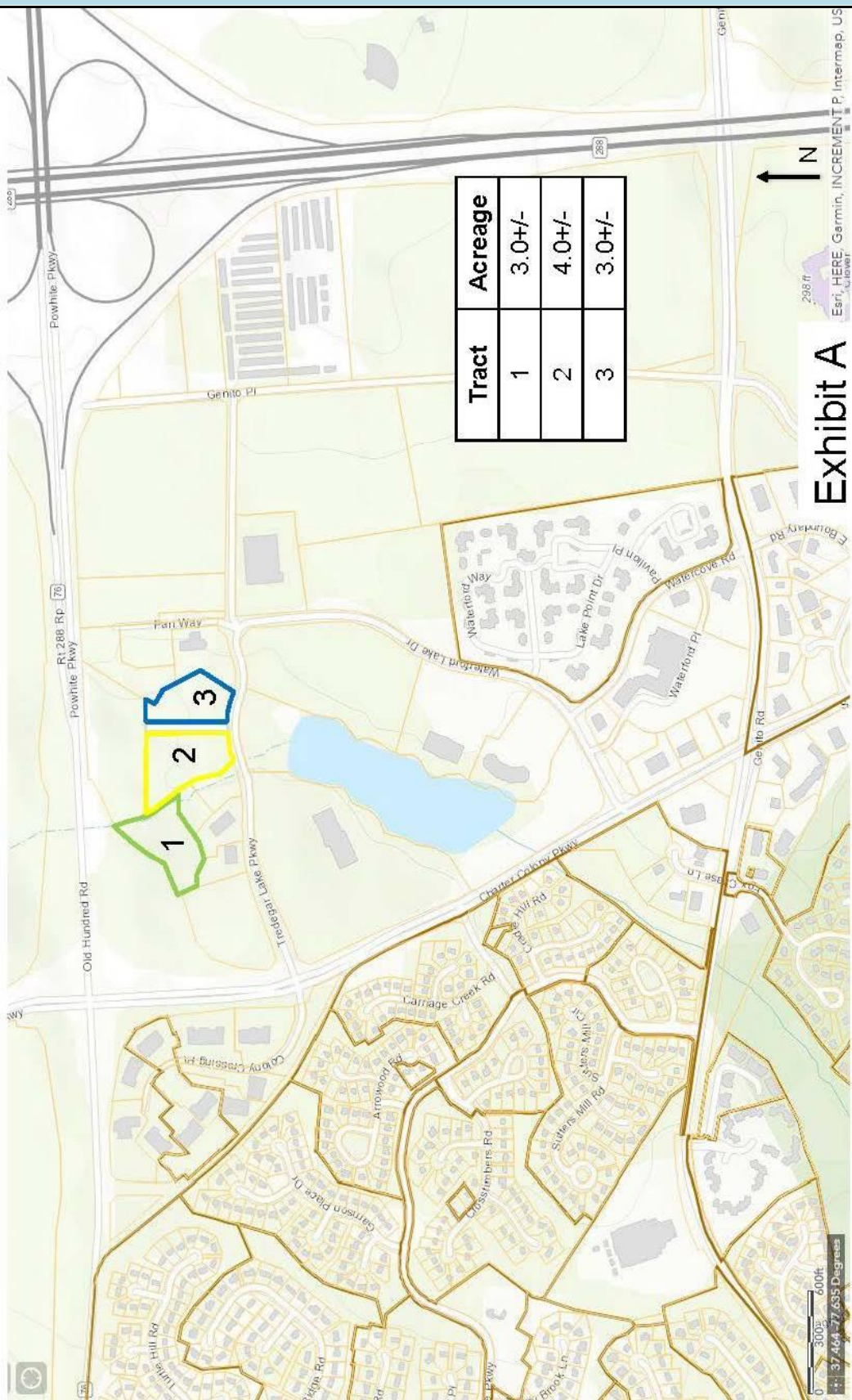
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EXHIBIT A – TRACT PLAN



Idlewood Properties Inc. – Tract Plan

October 14, 2019

EXHIBIT B – CONCEPTUAL PEDESTRIAN CONNECTIVITY



Exhibit B

Idlewood Properties Inc. – Conceptual Pedestrian Network

October 14, 2019

CASE NUMBER: 19SN0616
APPLICANT: Idlewood Properties Inc.

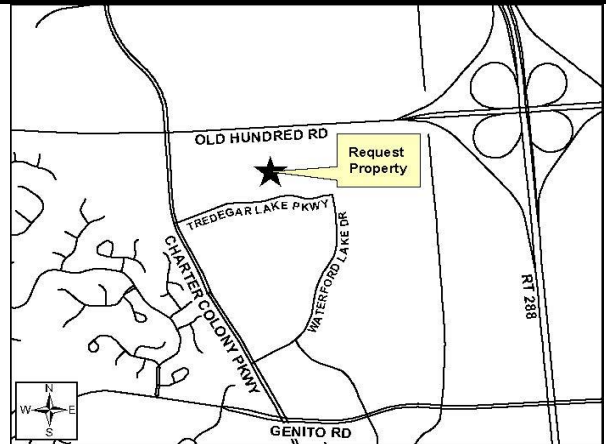


CHESTERFIELD COUNTY, VIRGINIA
CLOVER HILL DISTRICT

ADDENDUM

Board of Supervisors (BOS) Hearing:
JANUARY 22, 2020
BOS Time Remaining:
365 DAYS

Applicant's Agent:
BRENNEN KEENE (804-775-1005)
Planning Department Case Manager:
DARLA ORR (804-717-6533)



10 Acres – 2601 Waterford Lake Drive
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PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> • Proposed zoning and land uses offer employment generating uses suggested as appropriate by the Comprehensive Plan • Additional land uses provide development flexibility while maintaining land use compatibility within the project • Pedestrian connectivity assists with integration of uses into the remainder of the Waterford development

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CASE NUMBER: 20SN0520
APPLICANT: Joni Chrystle Roberts

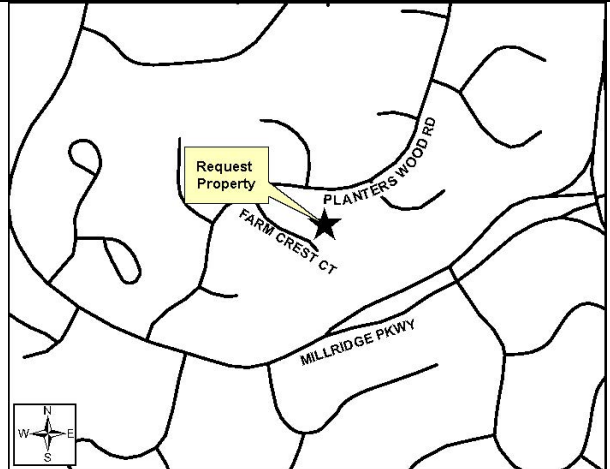


CHESTERFIELD COUNTY, VIRGINIA
CLOVER HILL DISTRICT

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Contact:
 JONI C. ROBERTS (804-744-9559)
Planning Department Case Manager:
 TYLER WALTER (804-318-8893)



0.2 Acre – 13304 Farm Crest Ct.

REQUEST

Renewal of previous case (Case 14SN0517) for a conditional use to permit a family day-care home in a Residential (R-7) District.

Notes:

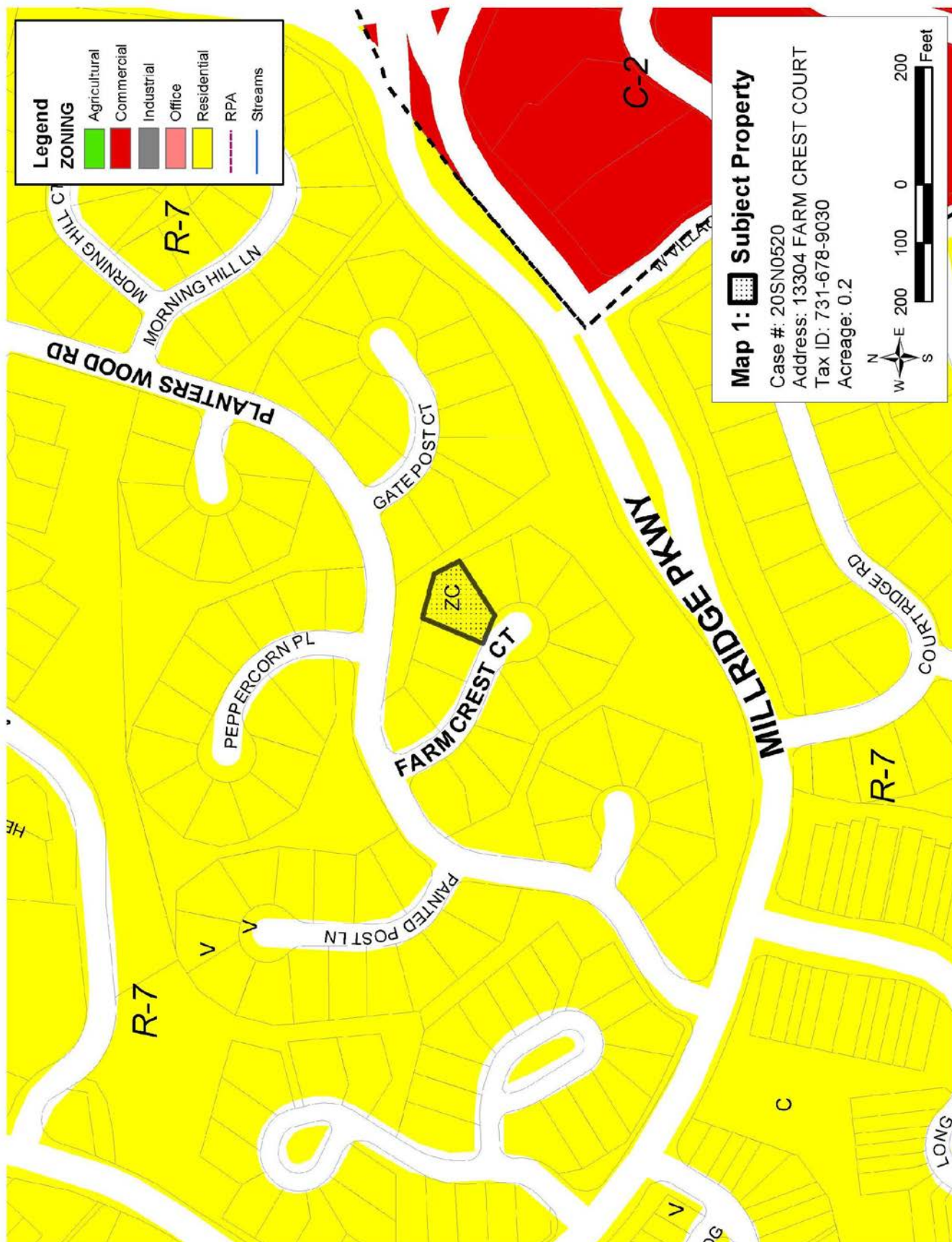
- A. Conditions may be imposed or the property owner may proffer conditions.
- B. Proffered conditions are located in Attachment 1.

SUMMARY

In 2014, a conditional use (Case 14SN0517) was approved to permit the applicant to operate a family day care home for the keeping of up to 12 children, incidental to the dwelling. The applicant intends to continue operating the family day care home subject to the same conditions of the 2014 approval, except no time limitation.

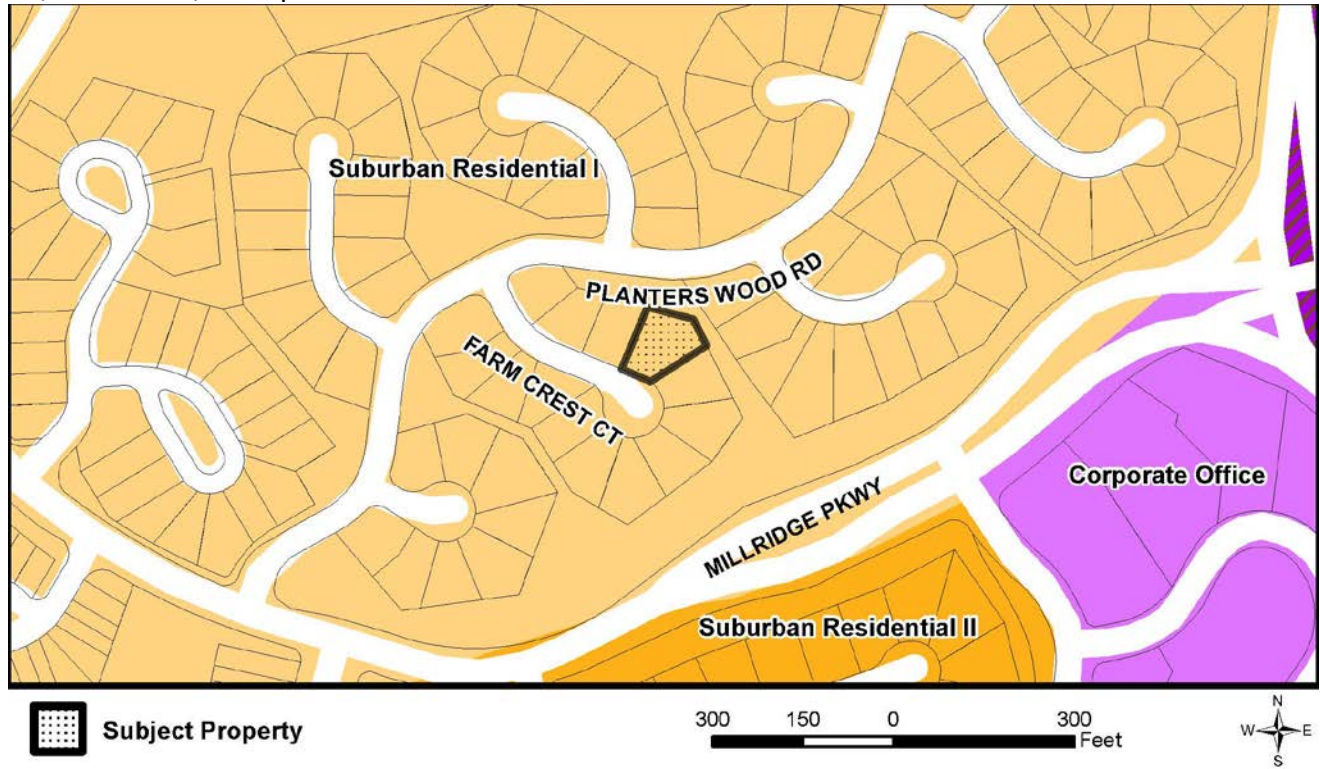
RECOMMENDATION

PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> As conditioned, the use would be compatible with surrounding residential development. Residential character of the area would be maintained.



Comprehensive Plan
Classification: SUBURBAN RESIDENTIAL I

The designation suggests the property is appropriate for single-family dwellings on lots ranging between 12,000 and 25,000 square feet.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Tyler Walter (804-318-8893) waltert@chesterfield.gov

Proposal

The Zoning Ordinance permits the keeping of a maximum of five (5) children at any one (1) time, exclusive of the occupants' children and any children who reside in the home, by right in a residential district. The applicant has been operating a State-licensed family day care home to keep up to twelve (12) children. The applicant received conditional use approval in 2014 (Case 14SN0517) to permit the applicant to keep a maximum of twelve (12) children at any one (1) time, excluding the applicant's children and any children who reside in the home.

The chart below provides an overview of the proffered conditions to continue to mitigate the impact of the use on area properties. These conditions are the same as those approved with 14SN0517 except no time limitation is included. This would be permitted for the applicant only.

General Overview	
Requirements	Details
Non-Transferable	Limited to the applicant only. <i>Condition 1</i>
Limitation on Size	No exterior additions or alterations to existing structure <i>Condition 2</i>
Signage	None permitted <i>Condition 3</i>
Number of Children	Maximum of twelve (12) <i>Condition 4</i>
Days/Hours of Operation	Weekdays only; 6:30 a.m. until 6:00 p.m. <i>Condition 5</i>
Outside Employees	No more than one (1) outside employee permitted to work other than family member employees that live on the premises. <i>Condition 6</i>

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamst@chesterfield.gov

The *Comprehensive Plan*, which includes the *Thoroughfare Plan*, identifies county-wide transportation needs that are expected to mitigate traffic impacts of future growth. The anticipated traffic impact of the proposal has been evaluated and it is anticipated to be minimal.

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

This request will have minimal impact on Fire and EMS.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Clover Hill Fire Station, Company Number 7
EMS Facility	The Clover Hill Fire Station, Company Number 7

UTILITIES

Staff Contact: Matt Rembold (804-706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	4"	N/A
Wastewater	No	8"	N/A

Additional Utility Comments:

The request to operate a family day home will not impact the Utilities Department.

The Utilities Department supports this case.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) rochetr@chesterfield.gov

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

This request will not impact these facilities.

CASE HISTORY

Applicant Submittals

08/06/2019	Application submitted
08/06 and 12/04/2019	Proffered conditions submitted

Planning Commission

12/17/2019	<p>Citizen Comments: Citizens spoke in favor of the request, referencing the applicant's experience in child care.</p> <p>Recommendation – APPROVAL SUBJECT TO PROFFERED CONDITIONS IN ATTACHMENT 1.</p> <p>Motion: Freye Second: Jones AYES: Jackson, Freye, Jones, Sloan, Stariha</p>
The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.	

PROFFERED CONDITIONS

December 4, 2019

Note: Both the Planning Commission and Staff recommend acceptance of the following proffered conditions, as offered by the applicant.

1. Non-Transferable Ownership. This conditional use approval shall be granted to and for Howard and Joni Roberts, exclusively, and shall not be transferable or run with the land. (P)
2. Expansion of Use. There shall be no exterior additions or alterations to the existing structure to accommodate this use. (P)
3. Signage. There shall be no signs permitted to identify this use. (P)
4. Number of Children. This conditional use approval shall be limited to providing care, protection and guidance to a maximum of twelve (12) children, other than the applicants own children, at any one time. (P)
5. Fenced Outdoor Play Areas. Any outdoor play area and/or recreational equipment utilized by the family day-care home shall be located in the side or rear yard of the property. Outdoor play and/or recreational equipment areas shall have perimeter fencing of at least four (4) feet in height, installed around the equipment or play area. Equipment for outdoor play areas shall be located no closer than fifteen (15) feet to the side or rear property lines. (P)
6. Employees. No more than one (1) employee shall be permitted to work on the premises, other than family member employees that live on the premises. (P)
7. Hours of Operation. Hours and days of operation shall be limited to Monday through Friday from 7 a.m. to 6 p.m. There shall be no Saturday or Sunday operation of this use. (P)

CASE NUMBER: 20SN0521

APPLICANT: Lisa Stinette



**CHESTERFIELD COUNTY, VIRGINIA
BERMUDA DISTRICT**

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:

JANUARY 22, 2020

BOS Time Remaining:

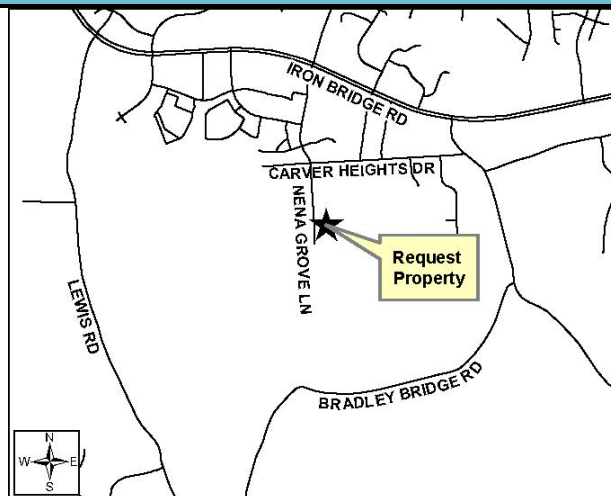
365 DAYS

Applicant's Contact:

LISA STINETTE (760-985-0288)

Planning Department Case Manager:

JOSH GILLESPIE (804-796-7122)



5.4 Acres – 5913 Nena Grove Lane

REQUEST

Conditional use to permit a temporary office trailer for use as office space by a general contractor in a General Industrial (I-2) District.

Notes:

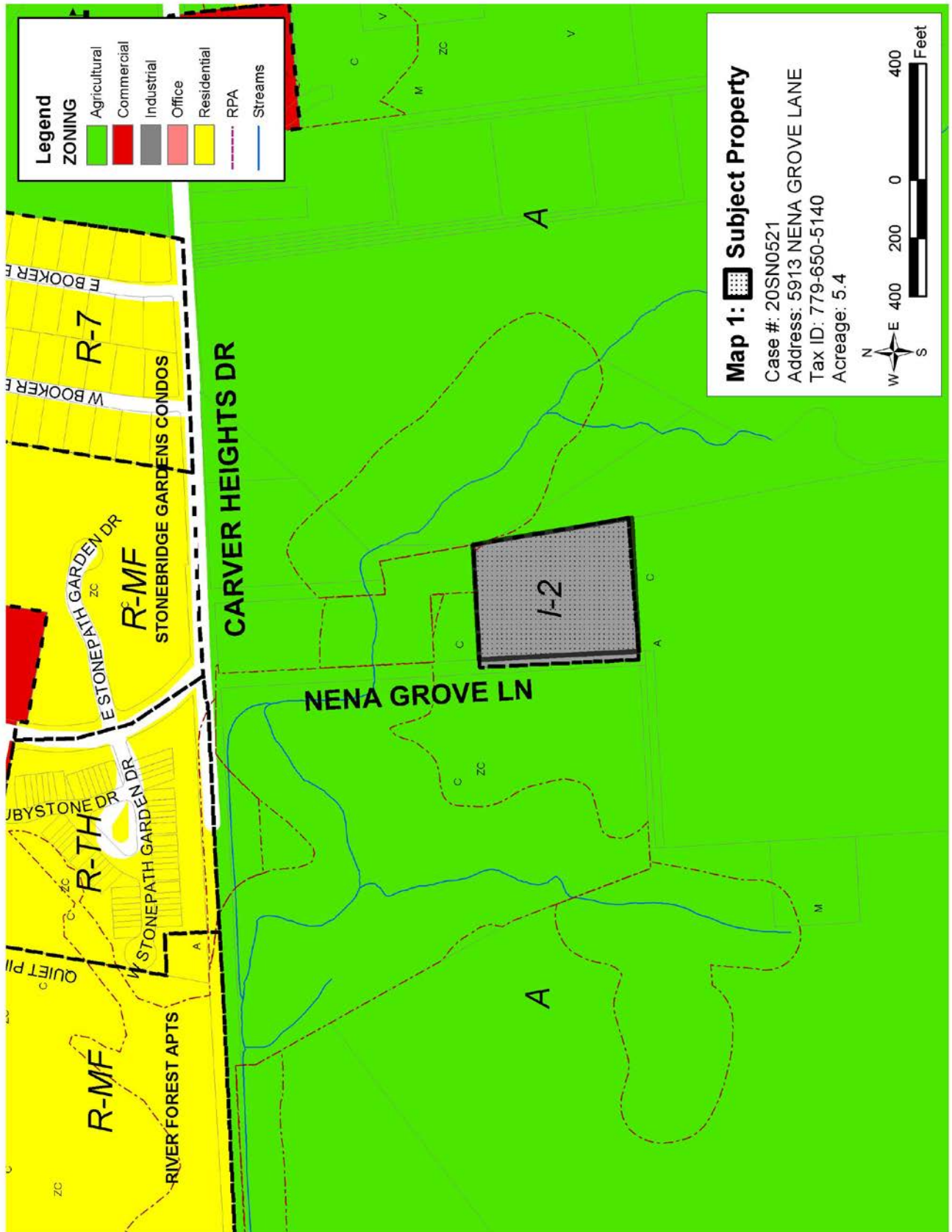
- A. Conditions may be imposed or the property owner may proffer conditions.
- B. Conditions are located in Attachment 1.

SUMMARY

Continued use of a temporary office trailer to accommodate a general contractor's business on the property is planned. The trailer is used for general office uses. The Zoning Ordinance limits the location of temporary office trailers as incidental to on-site construction activities, otherwise requiring conditional use approval. As proposed, the conditional use would be limited to a period of four (4) years from approval in anticipation of replacement by a new building.

RECOMMENDATION

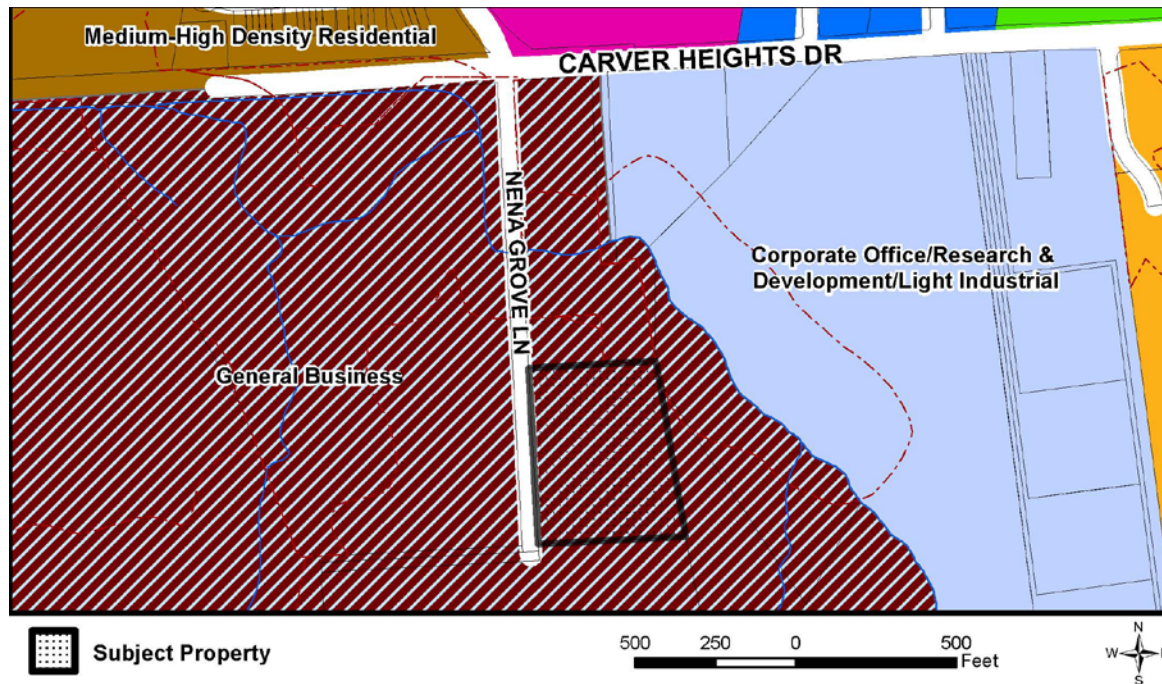
PLANNING COMMISSION (12/17/19)	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none">Facilitates use of the land for general business development consistent with the Comprehensive Plan.As conditioned, temporary use.



Comprehensive Plan

Classification: GENERAL BUSINESS

The designation suggests appropriate uses as intense commercial uses which normally have outside display and storage areas, which could include motor vehicle related uses, contractor shops and storage yards, manufactured home sales, repair services or other uses serving customers' specialized needs. In addition, light industrial/research and development uses would also be appropriate.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Josh Gillespie (804-796-7122) gillespiejo@chesterfield.gov

Zoning History

Case Number	Request
73SN0131 Approved (05/1974)	<ul style="list-style-type: none">• Conditional use to permit general business uses in an Agricultural (A) District.• Approved for five (5) years, expiring in May, 1979
76SN0003 Approved (02/1976)	<ul style="list-style-type: none">• Conditional use to permit a hydro-seeding and landscaping business in the Agricultural (A) District on 2.0 acres.• Approved for ten (10) years, expiring February, 1986.
80SN0006 Approved (02/1980)	<ul style="list-style-type: none">• Conditional use to expand permitted area for hydro-seeding and landscaping business from 2.0 to 5.3 acres• Structures limited to 2 buildings• No time limit.
97SN0143 Approved (02/1997)	Conditional use to permit a 185-foot communications tower in an Agricultural (A) District on 3.2 acres
09SN0136 Approved (02/2009)	Rezoning from the Agricultural (A) to General Industrial (I-2).

Proposal

Use of a temporary office trailer to accommodate a general contracting business operating on the property is proposed. The applicant recently acquired the property from a long-time landscape contractor. Needing more office space than provided within the two existing buildings, the applicant moved a temporary office trailer to the site. In June 2019, the owner inquired with Chesterfield County about further site development. It was then recognized that the temporary office trailer did not comply with zoning requirements for office uses. The Zoning Ordinance permits a temporary office trailer, when not used for on-site construction activity, by conditional use.

The request property is located within an area planned for general business uses. A condition would limit use of the temporary trailer for four (4) years to accommodate the general contracting business in anticipation of future on-site construction (Condition). Staff is supportive of this request.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) RochetR@chesterfield.gov

Geography

The subject property drains from west to east directly to Piney Branch. Piney Branch is a tributary of Swift Creek. The entire property is located within the Lower Swift Creek Watershed.

Natural Resources

A Resource Protection Area Designation (RPAD) must be submitted to the Department of Environmental Engineering – Water Quality Section prior to the submittal of any site plans. A Water Quality Impact Assessment must be submitted to and approved by the Department of Environmental Engineering and/or the Board of Supervisors for any improvements which may encroach into the RPA. In addition, wetlands shall not be impacted without approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Erosion and Sediment Control

If greater than 2,500 square feet of total land disturbance will occur as a result of any proposed improvements and/or modifications, a land disturbance permit will be required.

Stormwater Management

If greater than 2,500 square feet will be disturbed with any proposed improvements and/or redevelopment, including any changes to the land cover, the project will be subject to the Part IIB technical criteria of the Virginia Stormwater Management Program Regulations for water quality and water quantity.

FIRE SERVICE

Staff Contact: Anthony Batten (717-6167) battena@chesterfield.gov

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Chester Fire Station, Company Number 1
EMS Facility	The Chester Fire Station, Company Number 1

UTILITIES

Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	Yes	2"	Yes
Wastewater	Yes	8"	Yes

Additional Utility Comments:

The request to operate a temporary office trailer will not impact the Utilities Department.

The Utilities Department supports this case.

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804) 748-1037 adamsSt@chesterfield.gov

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804-674-2560) willie.gordon@vdot.virginia.gov

This request will not impact these facilities.

CASE HISTORY


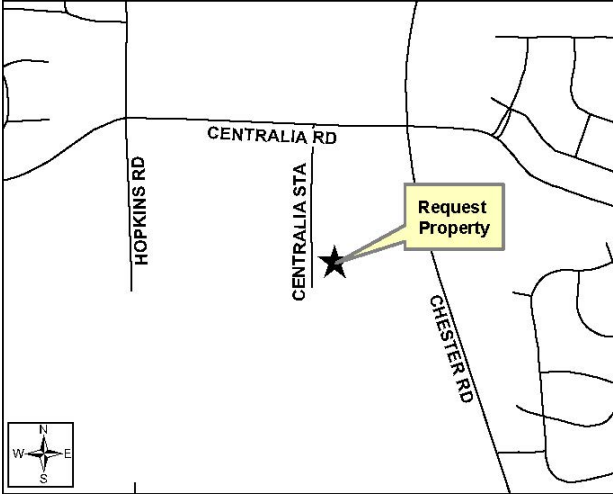
Applicant Submittals	
7/25/19	Application submitted

Planning Commission	
12/17/19	<p>Citizen Comments: No one spoke to this request</p> <p>Recommendation – APPROVAL SUBJECT TO THE CONDITION IN ATTACHMENT 1</p> <p>Motion: Sloan Second: Stariha AYES: Jackson, Freye, Jones, Sloan, Stariha</p>
The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:30 p.m., will consider this request.	

CONDITION**Note:**

Both the Planning Commission and staff recommend acceptance of the following proffered condition, as offered by the applicant.

Use. Use of the temporary office trailer shall be limited to office space associated with a general contractor's business for a period not to exceed four (4) years from the date of approval. (P)

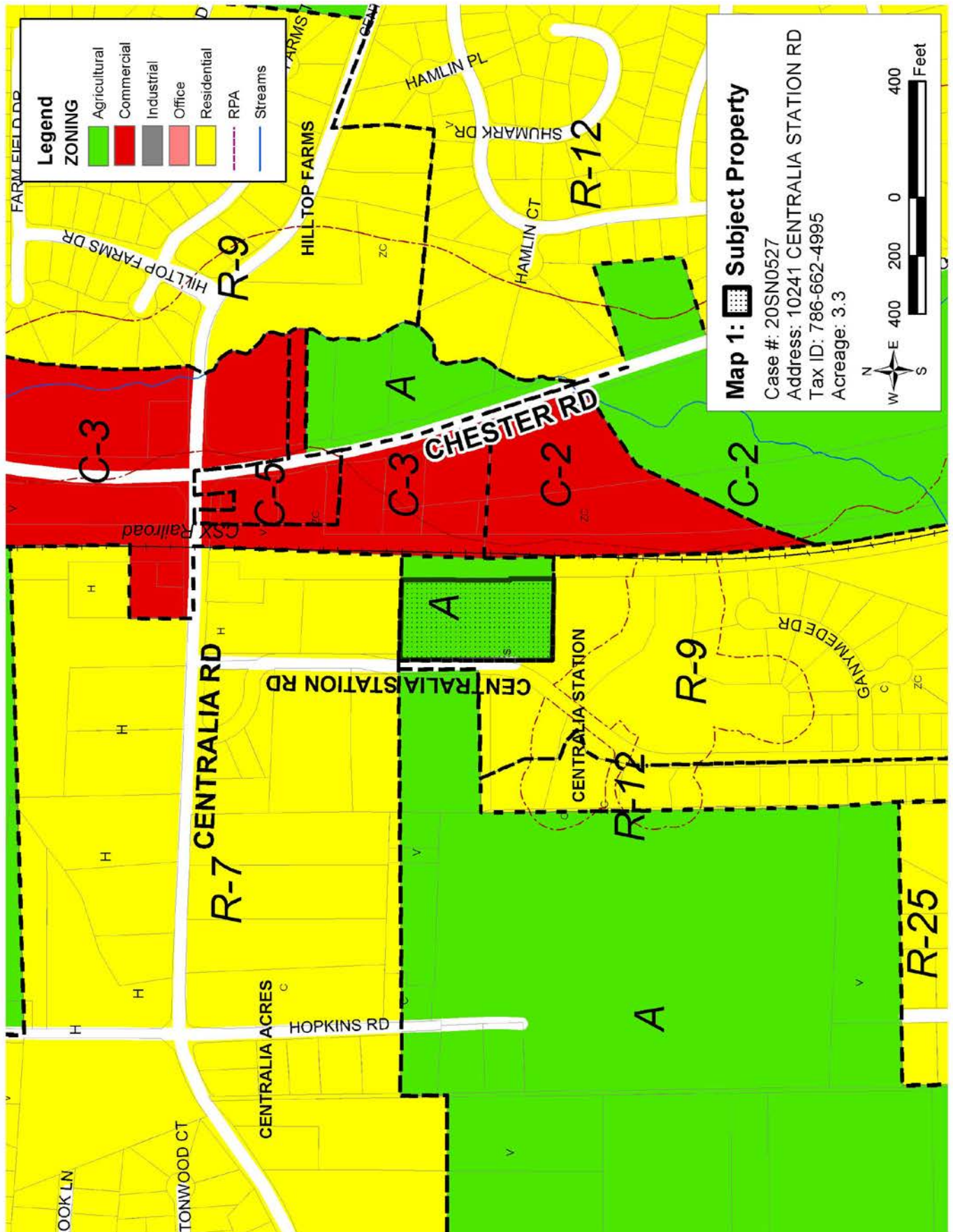
<p align="center">CASE NUMBER: 20SN0527</p> <p align="center">APPLICANT: Emerson Companies, LLC</p>	
 <p align="center">CHESTERFIELD COUNTY, VIRGINIA BERMUDA DISTRICT</p> <p align="center">STAFF'S ANALYSIS AND RECOMMENDATION</p>	 <p align="center">3.3 Acres – 10241 Centralia Station Road</p>
<p>Board of Supervisors (BOS) Hearing: JANUARY 22, 2020</p> <p>BOS Time Remaining: 365 DAYS</p>	
<p>Applicant's Contact: KERRY HUTCHERSON (760-748-3600)</p> <p>Planning Department Case Manager: JOSH GILLESPIE (804-796-7122)</p>	

REQUEST
<p>Rezoning from Agricultural (A) to Residential (R-12) plus a Conditional Use Planned Development to permit exceptions to lot width and road frontage requirements for seven (7) single-family lots.</p>
<p>Notes:</p> <ul style="list-style-type: none"> A. Conditions may be imposed or the property owner may proffer conditions. B. Proffered conditions, Textual Statement, and exhibits are located in Attachments 1 - 4.

SUMMARY
<p>Expansion of the existing Centralia Station subdivision is proposed. Development of seven (7) single-family lots on 3.3 acres is planned, yielding a density of 2.12 units per acre. The subject property adjoins the Centralia Station subdivision zoned Residential (R-9) and parcels in the historic Centralia Station community zoned Residential (R-7). The Conditional Use Planned Development is requested to permit lot widths consistent with the Centralia Station subdivision lots, each a minimum width of seventy-five feet (75') instead of the required ninety feet (90') in the Residential R-12 District. An exception would also allow the minimum public road frontage for Lot 3 to be reduced from fifty feet (50') to thirty-five feet (35').</p> <p>The applicant has proffered conditions (summarized on page 5) to provide design and architectural standards comparable in quality to the surrounding community.</p> <p>Access is proposed from Centralia Station Road. The applicant has offered a road cash payment to address the development's impact under the Board's Road Cash Proffer policy.</p>

RECOMMENDATION	
PLANNING COMMISSION (12/17/19)	APPROVAL
STAFF	<p>PLANNING – APPROVAL</p> <ul style="list-style-type: none"> • While the proposed density exceeds the 1.0 unit per acre suggested as appropriate by the Chester Plan, the proposed density is consistent with Centralia Station and surrounding development. • Quality, design and architecture offered by the applicant provide for a convenient, attractive and harmonious community comparable in quality to that of the surrounding community. • Bulk requirement exceptions allow consistency with the development pattern of the existing lots in Centralia Station subdivision. <p>TRANSPORTATION– APPROVAL</p> <ul style="list-style-type: none"> • The development’s traffic impact will be addressed by providing cash payments.

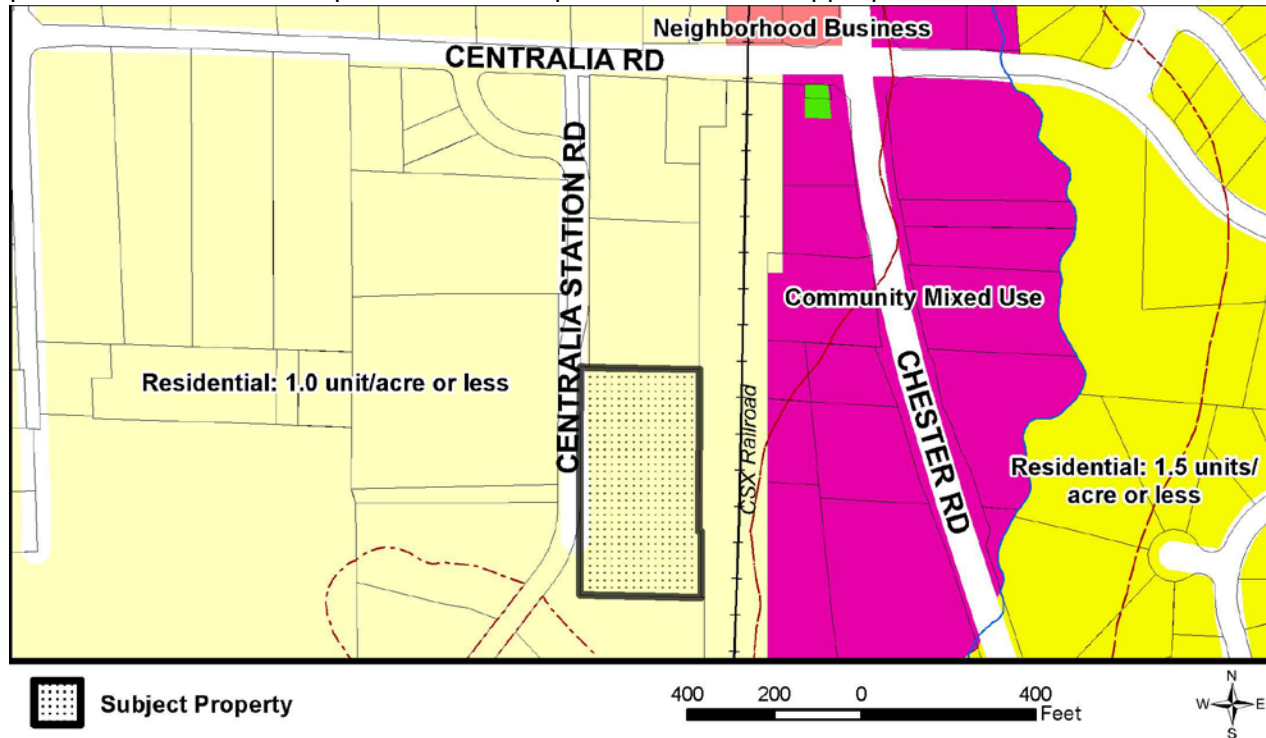
SUMMARY OF IDENTIFIED ISSUES	
Department	Issue
SCHOOLS	Post 2020, the <i>Public Facilities Plan</i> recommends a new middle school in the vicinity of Chester and West Hundred Roads and a new high school in the vicinity of Chester Road and Route 288, north of Route 10. However, at this time, a budget has not been developed for the acquisition of land or construction of these school facilities as recommended in the <i>Plan</i> .



Comprehensive Plan – The Chester Plan

Classification: RESIDENTIAL 1.0 UNIT/ACRE

This designation suggests residential use of 1.0 unit per acre, places of worship, schools, parks and other similar public and semi-public facilities are appropriate.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Josh Gillespie (804-796-7122) gillespiejo@chesterfield.gov

Proposal

Expansion of the existing Centralia Station subdivision is proposed, with seven (7) lots on 3.3 acres, yielding a density of 2.12 units per acre (Exhibit A - Attachment 3). Access is proposed from Centralia Station Road. The subject property adjoins the Centralia Station subdivision (zoned Residential R-9) and parcels in the Centralia Station community (zoned Residential R-7). The applicant is requesting Conditional Use Planned Development (CUPD) to permit lot widths that are seventy-five feet (75') to be compatible with Centralia Station lots, a reduction from the required ninety feet (90') for the Residential (R-12) District.

Design

High quality residential development addresses the Comprehensive Plan goals for strong and sustainable neighborhoods that are visually attractive, well-planned and well-maintained. Further, the purpose and intent of the zoning ordinance to promote the health, safety, convenience and general welfare of the public includes the creation of convenient, attractive and harmonious communities, protection against overcrowding of land, and protection of the natural environment. As such, developments that promote unique, viable and long-lasting places and enhance the community are encouraged. In this case, the extension of the Centralia Station subdivision is proposed on land located at the subdivision entrance. The following provides an overview of design requirements offered as part of this request (Attachment 1 – Proffered Conditions):

- Lot Design
 - Hardscaped driveways and front walks
 - Front foundation planting beds and yard trees
 - Screening of utility units (HVAC, generators, etc.)
- Building Design
 - Compatible with Centralia Station subdivision
 - Varied elevations on same street
 - Exterior façade treatment (various materials, including vinyl - minimum 0.044-inch thickness)
 - Foundation, roof and porch treatments
 - Attached garages on all units
 - Front-loaded garage setbacks relative to dwelling front (Exhibit A)
 - Upgraded front- and side-loaded garage doors, with at least two (2) enhanced features
 - Minimum dwelling size 2,000 square feet

As suggested by the Comprehensive Plan goals and the Zoning Ordinance, the proffered conditions include quality design and architectural elements that are comparable in quality to that of the surrounding community.

COUNTY DEPARTMENT OF TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamsSt@chesterfield.gov

The applicant has proffered a maximum density of seven (7) dwelling units (Proffered Condition 7). Based on those number of units and applying trip generation rates for a single-family dwelling unit, development could generate approximately 90 average daily trips. Traffic generated by development of the property will be distributed via Centralia Station Road to Centralia Road.

Centralia Road is a major arterial with a recommended right of way width of 90 feet, as identified on the County's *Thoroughfare Plan*. Centralia Road is a two-lane road. In 2018, the VDOT traffic count on Centralia Road was 9,616 vehicles per day (Level of Service "D").

Section 19.1-231 of the County Code outlines the general requirements to meet the needs of the traffic generated by a proposed development, including acceptable levels of service. This proposed residential development would contribute to an identifiable need for transportation improvements. The applicant has not offered to provide any mitigating road improvements.

The property is within Traffic Shed 13, which encompasses the area south of Route 288, north and east of Route 10, and west of Chester Road. Many roads in this part of the county have little or no shoulders, fixed objects (trees) adjacent to the edge of the pavement and poor vertical and horizontal alignments. The traffic volume generated from this proposed residential development will contribute to an identifiable need for transportation facility improvements to these roads in excess of existing transportation facility capacity. Roads in this shed or which serve this shed need to be improved or widened to address safety and accommodate increased traffic, including the increased traffic from the proposed development.

An applicant may choose to address the development's impact on the county's road transportation network through dedication of property, construction of road improvements, or a cash proffer. If an applicant elects to offer cash to address the impact on the county's road transportation network, Transportation staff has calculated the average impact of a single-family dwelling unit on the transportation network to be \$12,652; however, the Board of Supervisors has adopted a policy establishing that it would accept a maximum cash proffer of \$9,400 per dwelling unit as addressing the traffic impacts of residential development, with all of the funds to be dedicated towards improvements to the road network. As such, if the applicant chooses to address the development's impacts on the county's road network through payment of a cash proffer, \$9,400 per dwelling unit for improvements to the road network would be appropriate. The traffic impact of the proposed development could be valued at \$65,800 (7 x \$9,400). The applicant has proffered to pay \$9,400 per dwelling unit (Proffered Condition 1). Staff supports the request.

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804-674-2560) willie.gordon@vdot.virginia.gov

The zoning case is a local matter regarding proffered conditions of the subject property, and has no direct impact to state right of way. VDOT has no comments at this time.

FIRE SERVICE

Staff Contact: Anthony Batten (717-6167) battena@chesterfield.gov

Mission

The mission of Fire and Emergency Medical Services (EMS) is to protect life, property and the environment through a comprehensive fire and life safety program that ensures an adequate and timely response to emergencies.

Response Times

The proposed development is located in the urban response zone for which Fire & EMS has a goal of responding to at least 90% of the calls for service in under seven (7) minutes. Fire and EMS is currently unable to meet that goal.

Nearby Fire/EMS Facilities

The Centralia Fire Station, Company Number 17

Anticipated Fire & EMS Impacts/Needs

Based on an average of .374 calls per dwelling, it is estimated that this development will generate 3 annual calls for Fire/EMS services.

Additional Fire and EMS Comments

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

SCHOOLS

Staff Contact: Atonja Allen (804-318-8740) atonja_allen@ccpsnet.net

Mission

High performing, high quality public schools contribute to the quality of life and economic vitality of the County. The Comprehensive Plan suggests a greater focus should be placed on linking schools with communities by providing greater access, flexible designs and locations that better meet the needs of the communities in which they are located.

Capital Improvements

The School Board FY2020 adopted Capital Improvement Plan (CIP) continues to support the 2013 voter approved school revitalization program that will replace or renovate ten schools and construct one new elementary school to add capacity in the Midlothian area of the county. The ten existing facilities that are part of the revitalization program are Beulah Elementary School,

Crestwood Elementary School, Enon Elementary School, Ettrick Elementary School, Harrowgate Elementary School, Matoaca Elementary School, Reams Elementary School, Manchester Middle School, Providence Middle School, and Monacan High School. A replacement Manchester Middle School is planned for construction on the existing school site, and the Beulah Elementary School, Enon Elementary School, Providence Middle School, and Monacan High School projects are complete. Additional school construction projects include a Matoaca Middle School addition on the east campus site, and the new Matoaca Elementary School will be constructed on the existing west campus site. Upon completion of the east campus addition, the current west campus building will be demolished and Matoaca Middle School will operate as a single, unified campus. Information on the CIP and School Board approved construction projects can be found in the financial section of the CCPS Adopted Budget for FY2020.

Anticipated School Impacts

	Elementary (PK to 5)	Middle (6 to 8)	High (9 to 12)	Total ⁽¹⁾
Anticipated Student Yield by School Type	1	1	1	3
Schools Currently Serving Area	Ecoff	Salem Church	L.C. Bird	2019-20 School Year
Current Enrollment	727	919	1,795	
Design Capacity ⁽²⁾	974	1,216	2,454	
Enrollment Percent of Design Capacity	75%	76%	73%	
Program Capacity ⁽³⁾	834	993	2,311	
Enrollment Percent of Program Capacity	87%	93%	78%	
Total Number of Trailers	0	5	5	
Number of Classroom Trailers	0	2	2	
Note: ⁽¹⁾ Based upon the average number of students per single-family dwelling unit for each of the school attendance zones where the proposal is located. Student Generation Factor (2017) is the actual total number of students by grade level divided by the actual total number of housing units by housing type. ⁽²⁾ Design capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the architectural program design of the existing building including all interior and exterior renovations to date and an inventory of all available space. Design capacity does not include site-based initiatives and is thus not subject to frequent change and represents prototypical design capacity using VDOE standards. ⁽³⁾ Program capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the current school programming that may adjust the number of rooms used for core or grade-level classrooms in the overall building design capacity.				

Public Facilities Plan

Post 2020, the *Public Facilities Plan* recommends a new middle school in the vicinity of Chester and West Hundred Roads and a new high school in the vicinity of Chester Road and Route 288, north of Route 10. However, at this time, a budget has not been developed for the acquisition of land or construction of these school facilities as recommended in the *Plan*.

Additional School Comments

Over time, this case combined with other tentative residential developments, infill developments, and approved residential zoning cases in the area may cause these schools to reach or exceed its capacity.

UTILITIES	
Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov	

Existing Water and Wastewater Systems			
Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	Yes	8"	Yes
Wastewater	Yes	8"	Yes

Additional Utility Comments

The applicant requests rezoning approximately 3.3 acres from A to R-12 with CUPD. The subject properties are located in the mandatory water and wastewater connection areas for new residential structures. The applicant has indicated their intent to connect to county water and wastewater at time of construction.

An 8" county waterline and an 8" county wastewater line are available for connection within Centralia Station Road. These service connections will be the responsibility of the developer and an approved construction plan will be required for these improvements.

The Utilities Department supports this case.

ENVIRONMENTAL ENGINEERING	
Staff Contact: Rebecca Rochet (804-748-1028) RochetR@chesterfield.gov	

Geography

The subject property generally drains from west to east to an existing 15-inch culvert under the CSX railroad and ultimately into an existing storm sewer system along Centralia Road. The existing storm sewer system discharges directly to Great Branch, a tributary of Proctors Creek. The entire property is located within the Proctors Creek Watershed.

Environmental Features

A Resource Protection Area (RPA) Designation must be submitted to and confirmed by the Department of Environmental Engineering – Water Quality Section prior to the submittal of any

construction plans. A Water Quality Impact Assessment must be submitted to and approved by the Department of Environmental Engineering and/or the Board of Supervisors for any improvements which may encroach into the RPA.

Additionally, there may be areas of wetlands on the property adjacent to the existing railroad. Wetlands and/or streams shall not be impacted without approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Drainage

The Conceptual Layout Plan indicates that the existing property sheet flows towards the existing railroad. Offsite easements and drainage improvements may be necessary to discharge stormwater to an adequate conveyance system.

Stormwater Management

The development of the subject property will be subject to the Part IIB technical criteria of the Virginia Stormwater Management Program Regulations for water quality and quantity. Any areas of forest/open space used for stormwater quality compliance must be outside the limits of the residential lots, unless otherwise approved by the Department of Environmental Engineering.

BUDGET & MANAGEMENT

Staff Contact: Natalie Spillman (804-318-8767) spillmann@chesterfield.gov

County finance staff is responsible for managing the finances of the County and making recommendations to the County Administrator regarding the allocation of available resources for the provision of services and capital facilities to serve the citizens of the County. Finance staff will advise the County Administrator if changed economic circumstances require adjustments to the County's budget or capital improvement program.

LIBRARIES

Staff Contact: Jennifer Stevens (804-751-4998) stevensj@chesterfield.gov

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) LlewellynJa@chesterfield.gov

To date, no comments have been received.

CASE HISTORY

Applicant Submittals	
7/25/19	Application submitted
7/30, 8/27, 9/25, 10/1, 10/3, and 12/9/19	Revised Proffered Conditions, Textual Statement, and Exhibits submitted

Planning Commission	
12/17/19	<p>Citizen Comments:</p> <ul style="list-style-type: none"> Development should match the Centralia Station subdivision, join the HOA and have a limited number of front-loaded garages <p>Applicant's Comments:</p> <ul style="list-style-type: none"> Intent for seamless extension of the Centralia Station subdivision, with zoning consistent with adjoining properties Lots planned to match Centralia Station subdivision lots Intent to add these lots to the Centralia Station subdivision HOA Building plans include garages that load from the front and side, and through proffers have enhanced features <p>Commission Discussion: Staff responded to questions of the Commission as follows:</p> <ul style="list-style-type: none"> Layout for a total of eleven (11) lots with seven (7) on the subject property, and one (1) of the eleven (11) including land from the subject and from adjoining parcel <p>Recommendation – APPROVAL AND ACCEPTANCE OF THE PROFFERED CONDITIONS IN ATTACHMENTS 1 – 4.</p> <p>Motion: Sloan Second: Freye AYES: Jones, Freye, Jones, Sloan and Stariha</p>
The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:30 p.m., will consider this request.	

PROFERRED CONDITIONS

December 9, 2019

Note:

Both the Planning Commission and staff recommend acceptance of the following proffered condition, as offered by the applicant.

The Applicant in this case, pursuant to Section 15.2-2298 of the Code of Virginia (1950 as amended) and the Zoning Ordinance of Chesterfield County, for itself and its successors or assigns, proffer that the property under consideration in this case (“the Property”) will be used according to the following proffer(s) if, and only if, the request submitted herewith is granted with only those conditions agreed to by the Applicant. In the event this request is denied or approved with conditions not agreed to by the owners and Applicant, the proffer shall immediately be null and void and of no further force or effect.

1. Road Cash Proffer. The Developer/Subdivider/Assignee shall pay \$9,400 per dwelling unit (the “Road Cash Proffer”) to the County of Chesterfield for road improvements within the service district for the Property. Each payment shall be made prior to the issuance of a building permit for a dwelling unit unless state law modifies the timing of the payment. (T and B & M)
2. Architectural Design Standards. The Property shall be developed in accordance with the following Architectural/Design Elements, which are considered minimum standards.

A. Style and Form:

1. Architectural Styles. The architectural styles featured on the Property shall use forms and elements compatible with those in the Centralia Station Subdivision, located in Chesterfield County, Virginia.
2. Variation in Front Elevations. The following restrictions are designed to maximize architectural variety of the houses.
 - a. Buildings with the same front elevation may not be located adjacent to, directly across from, or diagonally across the street from each other on the same street.
 - b. Variation in the front elevation to address the paragraph above may not be achieved by simply mirroring the façade but may be accomplished by providing at least two (2) of the following architectural changes:
 - i. adding or removing a porch or covered entry or increasing or decreasing the length of the porch or entry
 - ii. varying the location and/or style of a front facing gable(s)
 - iii. alternating the location of the garage

- iv. providing different materials and/or siding types on at least 50% of the elevation
 - v. providing a different roof type/roof line
 - B. Exterior Facades. Dwelling facades shall be constructed with brick, stone, stucco, synthetic stucco (E.I.F.S.), or lap siding. Where lap siding is used it shall either be manufactured from natural wood or cement fiber board or shall be premium quality vinyl siding with a minimum wall thickness of .044 inches. Synthetic Stucco (E.I.F.S.) siding shall be finished in a smooth, sand or level texture, and no rough textures are permitted. Dutch lap vinyl siding is prohibited.
 - C. Foundations. All exposed foundations shall be constructed of brick, stone, or a combination thereof, except that stucco or synthetic stucco (E.I.F.S.) foundations may be used where stucco or synthetic stucco (E.I.F.S.) is used on the remainder of the dwelling.
 - D. Roof Materials. Roofing material shall be dimensional architectural shingles or standing-seam metal with a minimum 30-year warranty. All flashing shall be copper or pre-finished aluminum (bronze or black).
 - E. Porches and Stoops. All front entry stoops and front porches shall be covered and constructed with either a continuous foundation wall or by masonry piers and lattice screening. If a continuous foundation wall is used to support a front entry stoop or front porch, the foundation wall shall be constructed of the same foundation material as is used on the remainder of the house (e.g., brick, stone, a combination of brick and stone, stucco, or synthetic stucco (E.I.F.S.)). Front porches shall be a minimum of five (5)' deep. Handrails and railings shall be finished wood or metal railing with vertical pickets, stainless steel cables, sawn balusters, or better quality materials. Pickets shall be supported on top and bottom rails that span between columns.
 - F. Fireplaces, Chimneys and Flues.
 - 1. Chimneys. Chimneys must have masonry foundations. Siding other than masonry is permitted over chimney sections at roof planes or facades above the foundation level. Cantilevered chimneys are not permitted. The width and depth of chimneys shall be appropriately sized in proportion to the size and height of the dwelling unit. For gas fireplaces, metal flues may be used on the roof.
 - 2. Direct Vent Fireplaces: Direct vent gas fireplace boxes that protrude beyond the exterior plane of the dwelling unit are not permitted on front facades or corner-side facades. All the exterior materials and finishes used to enclose the fireplace box must match the adjacent facade. (P and BI)
3. Driveways/Front Walks.

- A. Private Driveways. All private driveways serving residential uses shall be hardscaped (which hardscaping shall be constructed of either asphalt, brushed concrete, stamped concrete, exposed aggregate concrete, or decorative pavers). Private driveways shall not require curb and gutter.
- B. Front Walks. Front walks shall be provided to the front entrance of each dwelling unit. Front walks shall be hardscaped (which hardscaping shall be constructed of either brushed concrete, stamped concrete, exposed aggregate concrete, or decorative pavers). Front walks shall be a minimum of three (3) feet wide. (P)

4. Garages.

- A. All units shall have, at a minimum, an attached garage.
- B. Both front-loaded and corner side-loaded garages shall use an upgraded garage door. An upgraded garage door is any door with a minimum of two (2) enhanced features. Enhanced features shall include windows, raised panels, decorative panels, arches, hinge straps or other architectural features on the exterior that enhance the entry (i.e. decorative lintels, shed roof overhangs, arches, columns, keystones, eyebrows, etc.). Flat panel garage doors are prohibited.
- C. Front-loaded garages shall be permitted to extend past the front line of the main dwelling provided that the architectural treatment of the garage (with respect to fenestration and foundation treatment) generally conforms to the example photo attached hereto as Exhibit A. (P and BI)

5. Landscaping and Yards.

- A. Front Foundation Planting Bed: Foundation planting is required along the entire front façade of all units, and shall extend along all sides facing a street. Foundation Planting Beds shall be a minimum of four (4) feet wide from the dwelling unit foundation. Planting beds shall be defined with a trenched edge or suitable landscape edging material. Planting beds shall include medium shrubs, spaced a maximum of four feet apart, and planting beds may include spreading groundcovers. Unit corners shall be visually softened with vertical accent shrubs (4-5 feet in height) or small evergreen trees (6-8 feet in height) at the time of planting.
- B. Front Yard Tree: At least one (1) tree per lot shall be planted or retained. A tree shall be planted or retained on both street frontages on corner lots. The front yard tree shall be a large deciduous tree and have a minimum caliper of two and one-half (2.5) inches. Native trees shall be permitted to have a minimum caliper of two (2) inches. (P)

6. Heating, Ventilation and Air Conditioning (HVAC) Units and Whole House Generators. Units shall initially be screened from view of public roads by landscaping or low maintenance material, as approved by the Planning Department. (P)
7. Density. The number of dwelling units shall not exceed seven (7). (P)
8. Minimum Dwelling Unit Size. The minimum gross floor area for each dwelling unit shall be 2,000 square feet. (P and BI)
9. Connection to County Utilities. The applicant or developer shall connect the Property to County water and sewer at time of construction. (P)
10. Master Plan. The Textual Statement last revised December 9, 2019 shall be considered the Master Plan. (P)

TEXTUAL STATEMENT

December 9, 2019

1. Concept Plan. The Property shall be designed as generally depicted on the conceptual layout plan dated August 27, 2019, last revised October 2, 2019, entitled, "Conceptual Layout Taylor Property, Bermuda Magisterial District, Chesterfield County, Virginia" prepared by Townes Site Engineering (referred to herein as the "Concept Plan"); provided, however the exact location of the lots, dwellings, streets, common areas, and other improvements may be modified provided that the general intent of the Concept Plan is maintained.
2. Residential (R-12) District Requirements Apply Unless Otherwise Provided: Except as specifically provided herein, the zoning ordinance requirements for a Residential (R-12) District shall apply to the Property.
3. Minimum Lot Width for Lots: The minimum lot width (at building line) for each Lot shall be seventy-five feet (75').
4. Minimum Road Frontage: In the event that the 0.10-acre property located between Lots 1 and 2 and Centralia Station Road cannot be acquired, the minimum public road frontage required for Lot 3 shall be thirty-five feet (35').

EXHIBIT A – FRONT-LOADED GARAGE STANDARD

September 27, 2019



CASE NUMBER: 20SN0546

**APPLICANT: Matthew T. Goodwin, Woodlands Real Estate, LLC and
Ronald Milligan**

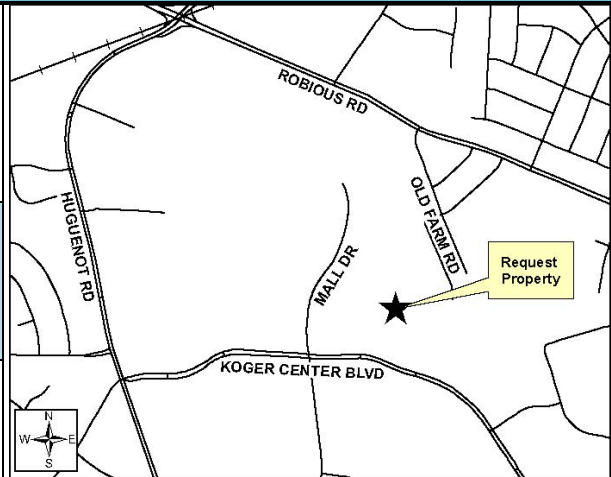


**CHESTERFIELD COUNTY, VIRGINIA
MIDLOTHIAN DISTRICT**

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Public Hearing:
JANUARY 22, 2020
BOS Time Remaining:
365 DAYS

Applicant's Agent:
JEFFREY P. GEIGER (804-771-9557)
Planning Department Case Manager:
HAROLD ELLIS (804-768-7592)



1.1 Acre – 1218 Koger Center Blvd

REQUEST

Amendment of zoning approval (Case 06SN0155) to permit an additional vehicular entrance off Koger Center Blvd.

Notes:

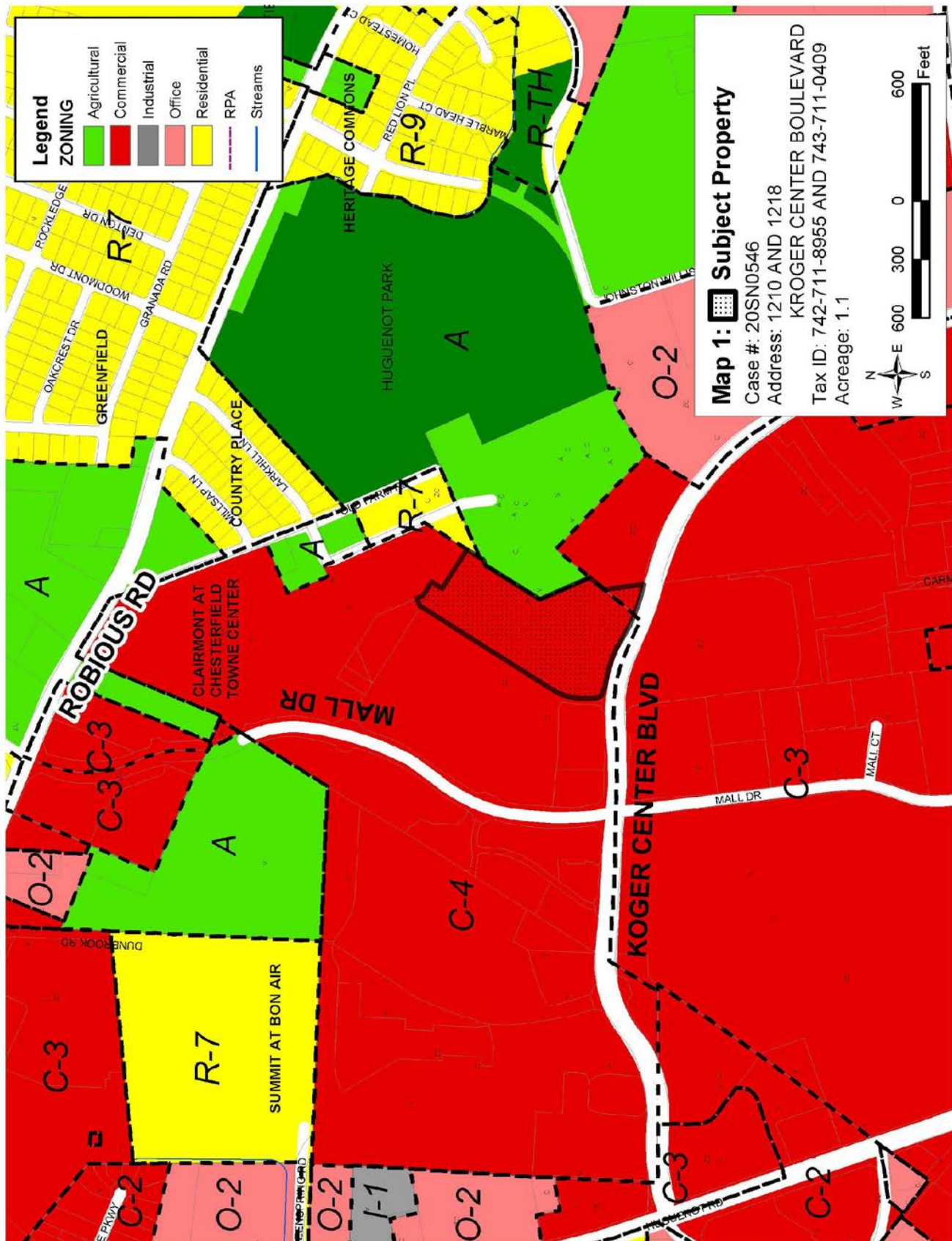
- A. Conditions may be imposed or the property owner may proffer conditions.
- B. Proffered conditions, an Exhibit and approved conditions are located in Attachments 1 - 3.

SUMMARY

Development of the site for medical offices and associated parking is planned. As part of this development, the applicant proposes to construct a new right in-right out entrance off Koger Center Boulevard, with a new right turn lane. Conditions of zoning currently limit the number of direct vehicular access points from Koger Center Blvd for the larger project area to two which have been constructed. An amendment to the current proffered conditions is required to permit the new entrance.

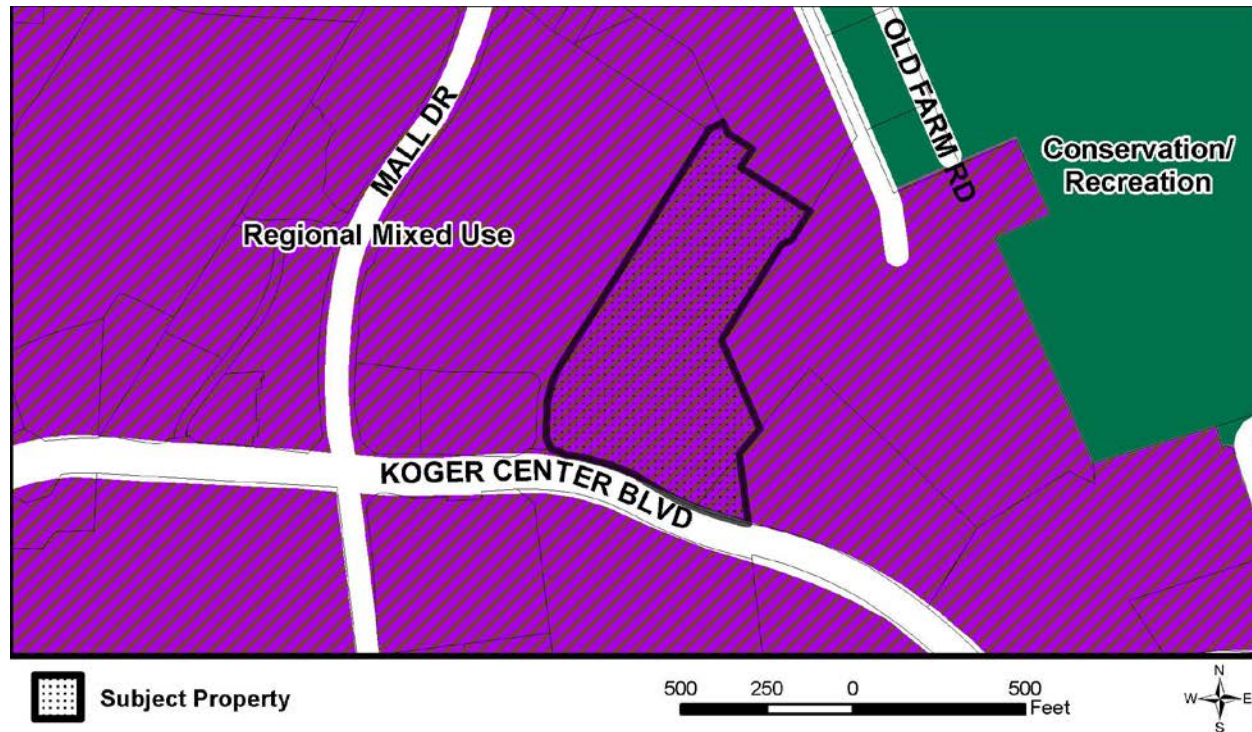
RECOMMENDATION

PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none">• No adverse impact anticipated• Without additional entrance, no direct access to the site would be provided

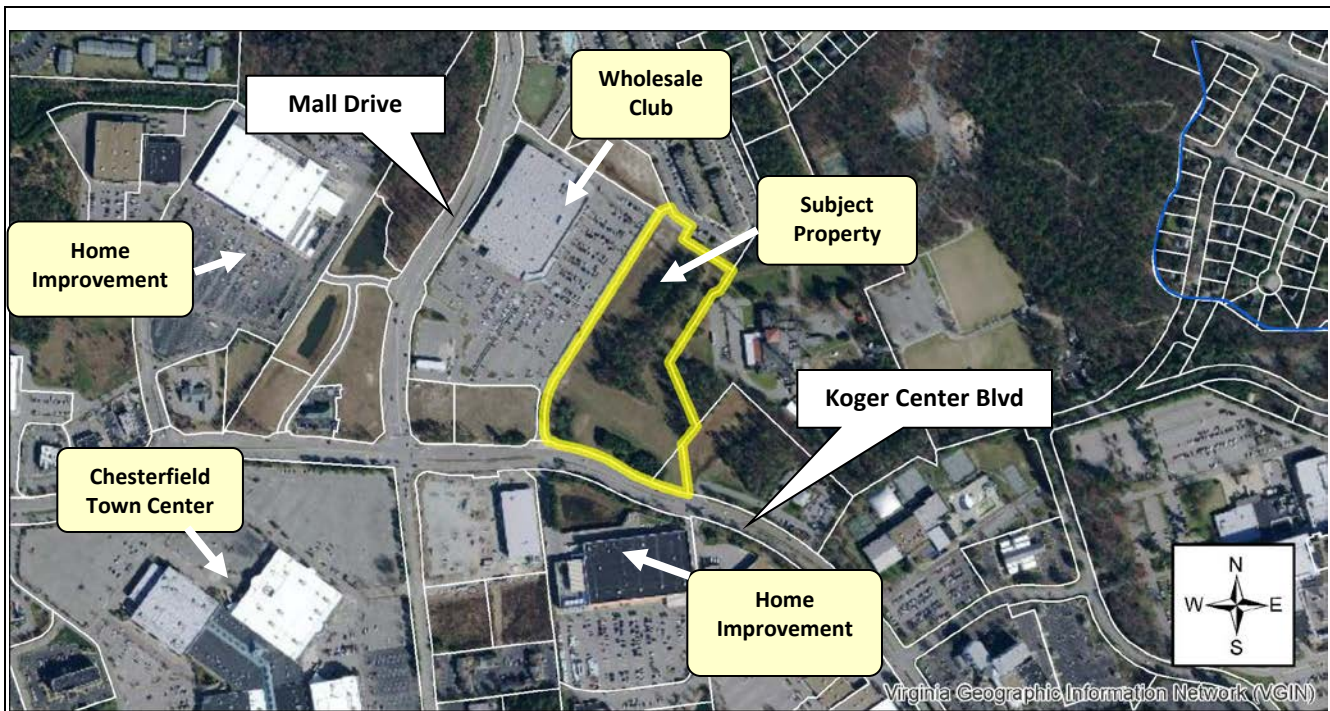


Comprehensive Plan Classification: REGIONAL MIXED USE

The designation suggests the property is appropriate for an integrated urban-style mix of employment-generating uses, destination commercial services, and higher residential density.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Harold Ellis (804-768-7592) ellish@chesterfield.gov

Zoning History

Case Number	Request
06SN0155 Approved (10/2006)	<ul style="list-style-type: none">• Rezoning of 70.1 acres to Regional Business (C-4) with Conditional Use to permit multi-family residential uses and Conditional Use Planned Development to permit exceptions to Ordinance requirements• Commercial and multifamily uses planned• Waiver to street connectivity requirements to Old Farm Road• Number of vehicular access points to Koger Center Blvd limited to two (2)• Current request represents a portion of this development

Proposal

Development of the site with a medical office building containing approximately 60,000 gross square feet, and associated parking is planned. As part of this development, the applicant proposes to construct an additional entrance off Koger Center Boulevard, limited to right-in/right-out, with a new right turn lane. An amendment to the current proffered conditions is required to permit the new entrance.

Condition 8.a. of case 06SN0155 limits direct access to Koger Center Boulevard to two entrances, exclusive of Mall Drive. Both access points have been constructed. One serves as an access point to a wholesale shopping club to the west, and the second to a financial institution to the east. The applicant requests an amendment to permit the construction of an additional vehicular entrance from Koger Center Boulevard to serve the proposed medical office use.

COUNTY DEPARTMENT OF TRANSPORTATION

Staff Contact: Steve Adams (804) 748-1037 adamsSt@chesterfield.gov

Case 06SN0155 limits access from the property onto Koger Center Boulevard to Mall Drive and two (2) entrances/exits (Proffered Condition 8.a.). Those accesses have been constructed. The applicant is requesting an additional access to Koger Center Boulevard. This access would be limited to right-in and right-out per the condition with the construction of a separate right turn lane required in accordance with Proffered Condition 9.b. of Case 06SN0155. Staff supports this amendment.

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804-674-2907) willie.gordon@vdot.virginia.gov

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

UTILITIES

Staff Contact: Matt Rembold (804-706-7616) remboldm@chesterfield.gov

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) rochetr@chesterfield.gov

The proposal will not impact these facilities.

CASE HISTORY

Applicant Submittals

10/07/19	Application, proffered condition, and exhibit submitted
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Planning Commission

12/17/19	<p>Citizen Comments: No citizens spoke to the request.</p> <p>Recommendation – APPROVAL SUBJECT TO THE CONDITIONS IN ATTACHMENT 1.</p> <p>Motion: Jones Second: Stariha AYES: Jackson, Freye, Jones, Sloan, and Stariha</p>
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The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.

CONDITIONS

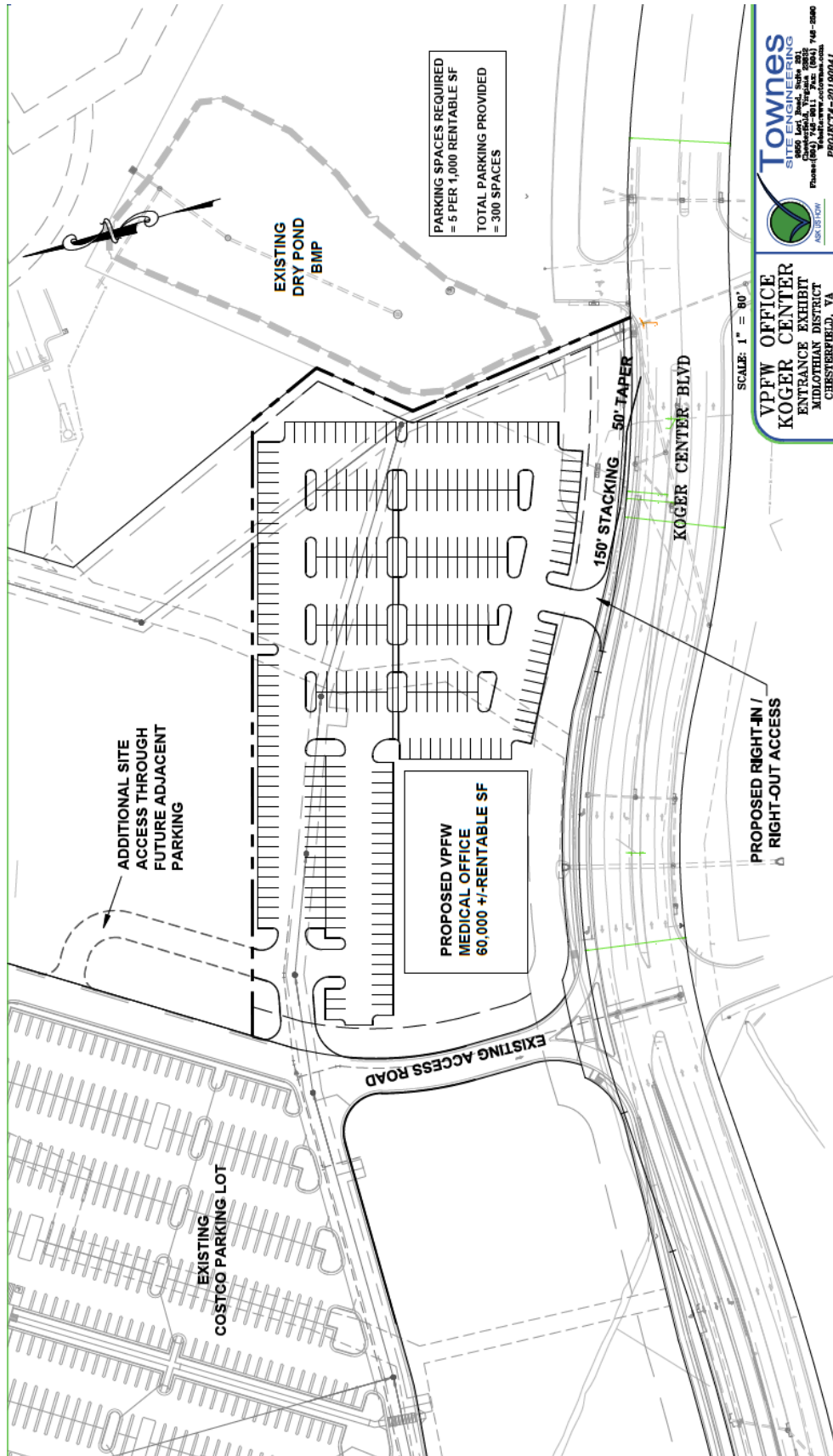
November 22, 2019

Note: The following conditions are recommended by both the Planning Commission and Staff.

The applicant hereby proffers the following, amending Proffered Condition 8.a. of Case 06SN0155:

8.a. Direct vehicular access from the Property to Koger Center Boulevard shall be limited to Mall Drive Extended and three (3) entrances/exits. Mall Drive Extended shall align the existing crossover on Koger Center Boulevard that serves Mall Drive. All other direct entrances/exits to Koger Center Boulevard shall be limited to right-turns-in and right-turns-out only. The exact location of these accesses shall be approved by the Transportation Department. (T)

EXHIBIT



APPROVED CONDITIONS – CASE 06SN0155

PROFFERED CONDITIONS

The Owner, pursuant to Section 15.2-2298 of the Code of Virginia (1950) (as amended) and the Zoning Ordinance of Chesterfield County, for itself and its successors or assigns, proffers that the property under consideration, known as Chesterfield County Tax Identification Numbers 742-711-6653 (part parcel), 742-711-0925, 742-712-4671, 742-712-9735, 742-712-9467, 742-713-9753, 742-713-8076, 743-711-7937 (part parcel), 743-712-1198, and 743-713-0527 (the "Property"), will be developed according to the following proffers if, and only if, the rezoning request submitted herewith is granted with only those conditions agreed to by the Owner. In the event this request is denied or approved with conditions not agreed to by the Owner, the proffers and conditions shall immediately be null and void and of no further force or effect:

- | | |
|-------------|---|
| (STAFF/CPC) | 1. <u>Master Plan.</u> The textual statement dated September 8, 2006, and the Conceptual Plan, prepared by Vanasse Hangen Brustlin, Inc., dated September 7, 2006, ("Conceptual Plan") shall be considered the Master Plan. (P) |
| (STAFF/CPC) | 2. <u>Timbering.</u> Except for timbering approved by the Virginia State Department of Forestry for the purpose of removing dead or diseased trees, there shall be no timbering on the Property until a land disturbance permit has been obtained from the Environmental Engineering Department and the approved devices have been installed. (EE) |
| (STAFF/CPC) | 3. <u>Public Water and Wastewater.</u> The public water and wastewater systems shall be used. (U) |
| (STAFF/CPC) | 4. <u>Building Height.</u> Within the portion of the Property developed for multifamily use, no building shall exceed two (2) stories in height. (P) |
| (CPC) | 5. <u>Barrier Near Terminus of Larkhill Lane.</u> A landscape barrier and/or fence shall be provided to impede pedestrian traffic between the Property and Larkhill Lane. The exact location and nature of such barrier shall be approved by the Planning Department in conjunction with the initial site plan approval. (P) |
| (STAFF/CPC) | 6. <u>Density.</u> The maximum density of this development shall be 160,000 square feet of discount club, 218,000 square feet of shopping center, 4,000 square feet of fast-food restaurant with drive through window, 4,000 square feet of drive-in bank and 400 apartments; or equivalent density as determined by the Transportation Department. This density may be increased by the Planning Commission in accordance with paragraph 1 of the Textual Statement. (T) |

(STAFF/CPC)

7. Dedication. The following rights-of-way shall be dedicated, free and unrestricted, to Chesterfield County prior to any site plan approval or within sixty (60) days from the date of a written request by the Transportation Department, whichever occurs first:

- a. Forty-five (45) feet of right-of-way on the north side of Koger Center Boulevard measured from the centerline of that part of Koger Center Boulevard immediately adjacent to the Property.
- b. Forty-five (45) feet of right-of-way on the south side of Robious Road measured from the centerline of that part of Robious Road immediately adjacent to the Property.
- c. Seventy (70) foot wide right-of-way for a north/south collector ("Mall Drive Extended") from the western Property line, through the Property to Koger Center Boulevard, as generally shown as "Proposed Right of Way" on the Conceptual Plan. The exact location of this right-of-way shall be approved by the Transportation Department. (T)

(STAFF/CPC)

8. Access.

- a. Direct vehicular access from the Property to Koger Center Boulevard shall be limited to Mall Drive Extended and two (2) entrances/exits. Mall Drive Extended shall align the existing crossover on Koger Center Boulevard that serves Mall Drive. All other direct entrances/exits to Koger Center Boulevard shall be limited to right-turns-in and right-turns-out only. The exact location of these accesses shall be approved by the Transportation Department.
- b. Direct vehicular access from the Property to Robious Road shall be limited to one (1) entrance/exit, generally located at the western Property line. This entrance/exit shall be limited to right-turns-in and right-turns-out only. The exact location of this access shall be approved by the Transportation Department.
- c. No vehicular access shall be provided from the Property to Old Farm Road or to Sesame Street.
- d. Prior to any site plan approval, an access plan for Mall Drive Extended shall be submitted to and approved by the Transportation Department. Vehicular access from the Property to Mall Drive Extended shall conform to the approved access plan.

- e. Prior to any site plan approval within Area A as identified on the Conceptual Plan, an access easement, acceptable to the Transportation Department, shall be recorded from Mall Drive Extended across the Property to the western Property line to provide access to Mall Drive Extended for the adjacent parcel to the west (Tax ID 7417123204). (T)

(STAFF/CPC)

- 9. Transportation Improvements. To provide an adequate roadway system, the Developer shall be responsible for the following improvements. The exact design and length of these improvements shall be approved by the Transportation Department. Alternate road improvements, as requested by the Developer and approved by the Transportation Department, which will provide acceptable levels of service as determined by the Transportation Department, may be substituted for the road improvements identified in this proffered condition:
 - a. Construction of a four-lane divided road for Mall Drive Extended, based on VDOT Urban Collector Standards (40 MPH) with modifications approved by the Transportation Department, from the western Property line, through the Property to Koger Center Boulevard.
 - b. Construction of additional pavement along the westbound lanes of Koger Center Boulevard at each approved access, including Mall Drive Extended, to provide separate right turn lanes.
 - c. Construction of additional pavement along the eastbound lanes of Koger Center Boulevard at the crossover that serves Mall Drive Extended to provide dual left turn lanes.
 - d. Construction of additional pavement along Mall Drive Extended at its intersection with Koger Center Boulevard to provide a six-lane divided typical section (i.e., four (4) southbound lanes and two (2) northbound lanes).
 - e. Construction of additional pavement along the eastbound lanes of Robious Road at the approved access to provide a separate right turn lane.
 - f. Full cost of traffic signalization at the Koger Center Boulevard/Mall Drive Extended intersection, as determined by the Transportation Department.

- g. Construction of additional pavement along Mall Drive Extended at each approved access to provide left and right turn lanes, based on Transportation Department standards.
- h. Construction of a four-lane divided road for Mall Drive Extended, based on VDOT Urban Collector Standards (40 MPH) with modifications approved by the Transportation Department, from the western Property line to Robious Road.
- i. Construction of additional pavement along Mall Drive Extended at its intersection with Robious Road to provide a six-lane divided typical section (i.e., four (4) northbound lanes and two (2) southbound lanes).
- j. Construction of additional pavement along the eastbound lanes of Robious Road at the Mall Drive Extended intersection to provide a separate right turn lane.
- k. Construction of additional pavement along westbound lanes of Robious Road at the crossover that serves Mall Drive Extended to provide an adequate left turn lane.
- l. Full cost of traffic signal modification at the Robious Road/Mall Drive Extended intersection, as determined by the Transportation Department.
- m. Dedication to Chesterfield County, free and unrestricted, of any additional right-of-way (or easements) required for the improvements identified above. (T)

(STAFF/CPC)

10. Phasing Plan. Prior to any site plan approval, a phasing plan for the required road improvements, as identified in Proffered Condition 9, shall be submitted to and approved by the Transportation Department. The approved phasing plan shall require, among other things, that: 1) prior to the issuance of an occupancy permit for any development within Area A as identified on the Conceptual Plan, the road improvements as identified in Proffered Condition 9 a., b. (only a right turn lane for Mall Drive Extended), c., d., and f. shall be completed as determined by the Transportation Department; and 2) prior to the issuance of an occupancy permit for any development within Area B as identified on the Conceptual Plan, the road improvements as identified in Proffered Condition 9. h, i., j., k., and l. shall be completed as determined by the Transportation Department. (T)

(CPC)

11. Impacts on Capital Facilities. The Applicant, subdivider, or assignee(s) shall pay, prior to the issuance of each building permit,

the following to the County of Chesterfield for infrastructure improvements within the service district for the property:

- a. For each of the first 370 building permits within the property, the payment shall be as follows:
 - i) If payment is made prior to July 1, 2007, \$6,750.00 per dwelling unit. At time of payment, \$6,750.00 will be allocated pro-rata among the facility costs as follows: \$348.00 for library facilities, \$667.00 for roads, \$404.00 for fire stations, and \$5,331.00 for schools; or
 - ii) If payment is made after June 30, 2007, the amount approved by the Board of Supervisors not to exceed \$6,750.00 per dwelling unit as set forth in Proffered Condition 11(a)(i) above and adjusted upward by any increase in the Marshall and Swift Building Cost Index between July 1, 2006, and July 1 of the fiscal year in which the payment is made.
- b. For each building permit within the property in excess of a cumulative total of 370, the payment shall be as follows:
 - i) If payment is made prior to July 1, 2007, \$15,600.00 per dwelling unit. At time of payment, \$15,600.00 will be allocated pro-rata among the facility costs as follows: \$348.00 for library facilities, \$8,915.00 for roads, \$404.00 for fire stations, \$602.00 for parks, and \$5,331.00 for schools; or
 - ii) If payment is made after June 30, 2007, the amount approved by the Board of Supervisors not to exceed \$15,600.00 per dwelling unit as set forth in Proffered Condition 11(b)(i) above and adjusted upward by any increase in the Marshall and Swift Building Cost Index between July 1, 2006, and July 1 of the fiscal year in which the payment is made.
- c. Cash proffer payments shall be spent for the purposes proffered or as otherwise permitted by law.
- d. If Chesterfield County imposes impact fees at any time during the life of the development that are applicable to the Property, the amount paid in cash proffers shall be in lieu of

or credited toward, but not in addition to, any impact fees, in a manner as determined by the County.

(STAFF/CPC)

12. Dedication of Parkland. Upon request by the Parks and Recreation Department, the Owner shall, prior to issuance of any building permit on the Property, dedicate, free and unrestricted, for the benefit of Chesterfield County, the property known as Tax ID 743-712-5024. (P&R)

CASE NUMBER: 20SN0549
APPLICANT: Columbia Gas of Virginia

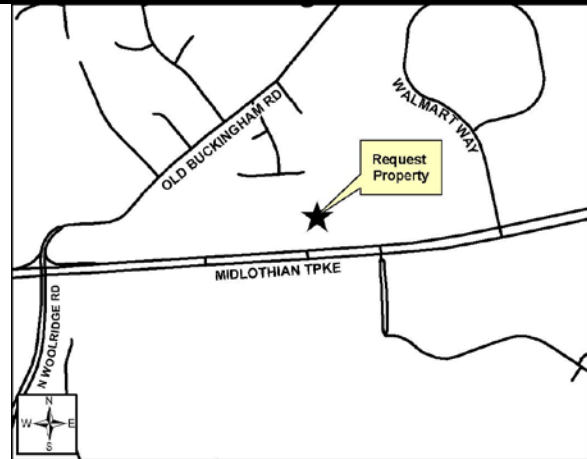


CHESTERFIELD COUNTY, VIRGINIA
MIDLOTHIAN DISTRICT

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Contacts:
 TOM HOUSTON (804-748-9011)
Planning Department Case Manager:
 TYLER WALTER (804-318-8893)



3.9 Acres – 12718 Midlothian Turnpike

REQUEST

Conditional use to permit a utility use requiring a structure in a Residential (R-7) District.

Notes:

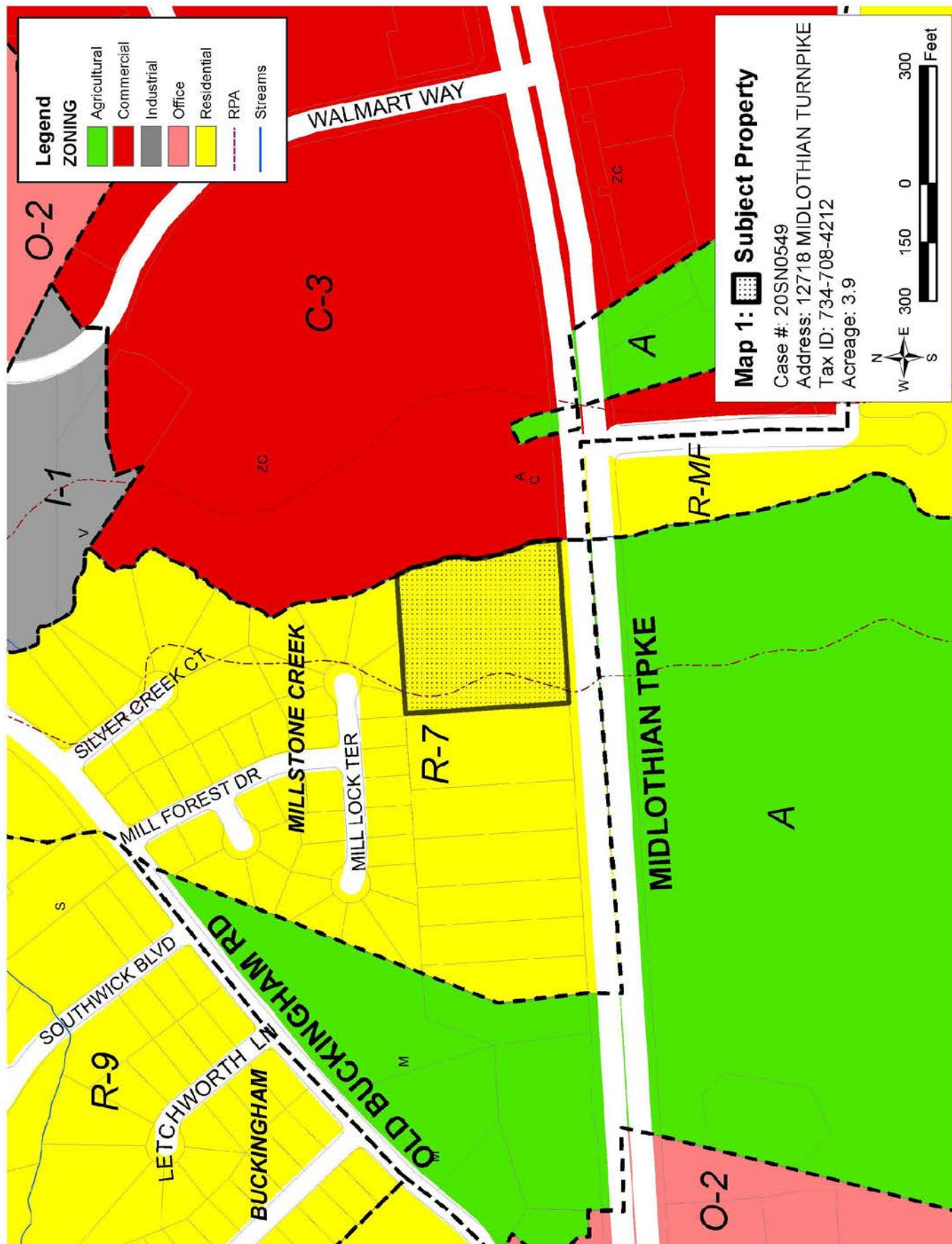
- A. Conditions may be imposed or the property owners may proffer conditions.
- B. Conditions and exhibits are located in Attachments 1-3.

SUMMARY

Relocation and replacement of an existing Point of Delivery (POD) station for natural gas distribution is planned. The existing POD, located on a neighboring transmission easement to the east, has been in operation since the late 1960's. According to the applicant, this facility lacks sufficient capacity to meet growing area demands, and size and safety concerns impact replacement of the POD at the exiting location. This proposed facility at this new location would increase existing system capacity and facilitate serving future growth west of Route 288.

RECOMMENDATION

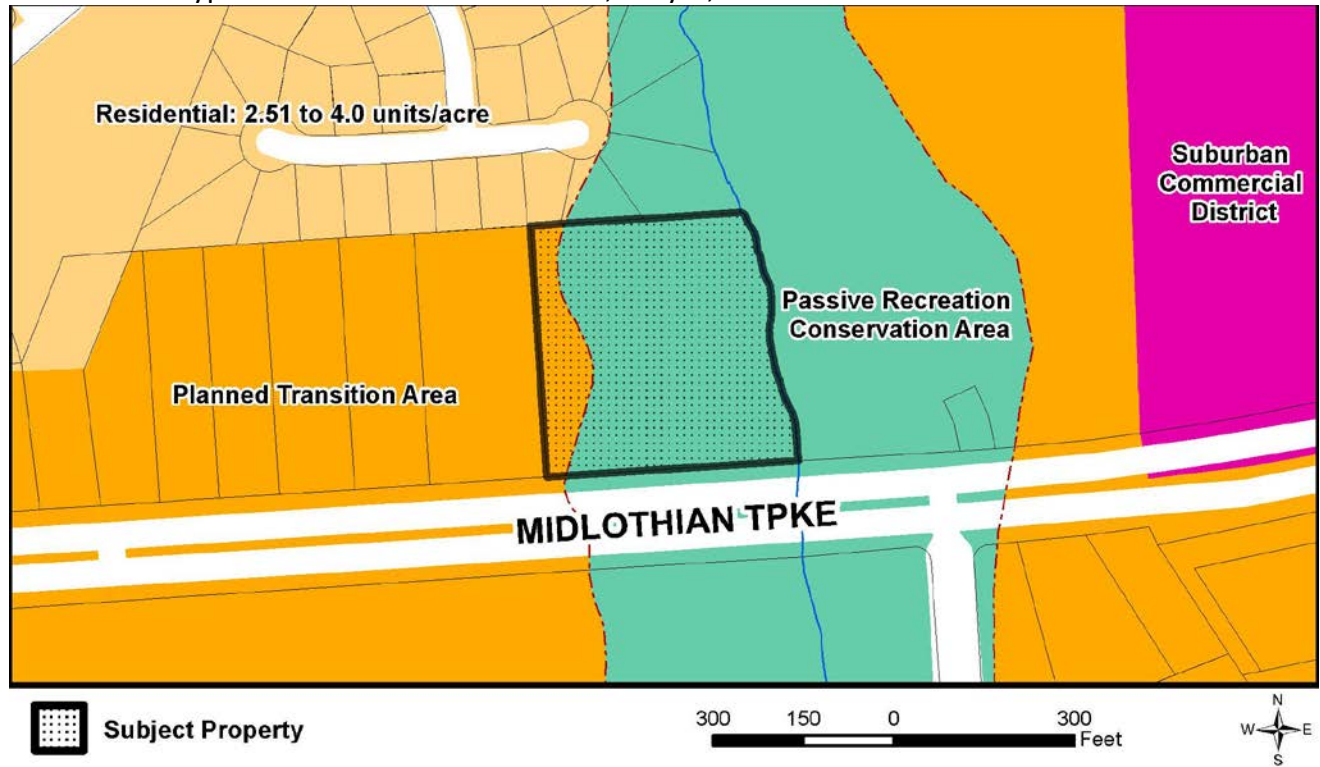
PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> Accommodates growing utility service coverage needs. As conditioned, minimizes visual impacts on existing and anticipated area development and the Midlothian Corridor.



Comprehensive Plan – Midlothian Community Special Area Plan

Classification: NEIGHBORHOOD OFFICE

The designation suggests the property is appropriate for professional and administrative offices or similar uses. Typical uses could include doctor, lawyer, accountant and real estate offices.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Tyler Walter (804-318-8893) waltert@chesterfield.gov

Proposal

A utility use requiring a structure is proposed. Specifically, the relocation and replacement of a utility Point of Delivery (POD) facility to distribute natural gas is planned. A POD station is a facility that accepts natural gas from an existing pipeline and decreases the flow to move the gas at a safer speed onto service lines to homes and businesses. POD stations are typically located adjacent to existing gas lines.

The existing POD station is located at 12700 Midlothian Turnpike, approximately 650 feet east of the proposed POD station, both of which are adjacent to a TransCanada gas line (Exhibit A). The existing station was built in 1967 as a medium pressure system and is approaching 100 percent service capacity. The applicant indicates that the existing site is too small to build a new facility to meet gas demands, and its location within the TransCanada gas line right-of-way and proximity to Midlothian Turnpike present safety concerns. The proposed site, located outside of the TransCanada pipeline right-of-way, was determined the most feasible in following TransCanada regulations and boosting existing pressure and capacity. (Exhibit A – Option A, Attachment 2).

Comprehensive Plan

The Comprehensive Plan indicates that this property is in the Midlothian Community Special Area Plan, which was adopted at the Board of Supervisors' December 11, 2019 meeting. The Special Area Plan suggests the property is appropriate for Neighborhood Office uses. Neighborhood office uses could include doctor, lawyer, accountant and real estate offices.

The following chart provides an overview of conditions recommended by staff to assist in mitigating the impact of the use on area properties:

General Overview	
Requirements	Details
Uses	Use shall be limited to the gas point of delivery station. <i>Condition 1</i>
Conceptual Plan	Development of the property to comply with the conceptual plan. <i>Condition 2</i>
Fencing	Eight (8) foot high fence along the perimeter of the POD station, with a privacy screen, and be a dark black, green or brown color. <i>Condition 3</i>
Buffers	Fifty (50) foot buffer maintained along the north property line, and a twenty-five (25) foot buffer shall be maintained along the west property line. <i>Condition 4</i>
Landscaping	Existing vegetation maintained along Midlothian Turnpike at 2 x Landscape C. <i>Condition 5</i>

As conditioned, is anticipated that the visual impact of this facility on area uses and the corridor will be minimal. Staff is supportive of this request.

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Midlothian Fire Station, Company Number 5
EMS Facility	The Forest View Volunteer Rescue Squad

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804-674-2907) willie.gordon@vdot.virginia.gov

The applicant, Columbia Gas, is requesting a conditional use permit to construct a utility point of distribution facility on the subject property, currently zoned R-7. The existing entrance to the property on Midlothian Turnpike will be subject to VDOT commercial entrance standards. The applicant may submit site trip generation data to support a lower entrance classification. VDOT will require the portion of the entrance within right-of-way to be paved.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) rochetr@chesterfield.gov

Geography

The subject property drains from west to east directly to Falling Creek which coincides with the eastern property line. The entire property is located within the Falling Creek Watershed.

Natural Resources

There is 100-year FEMA floodplain on the subject property along Falling Creek. Any fill and/or construction with the FEMA floodplain must be approved by the Department of Environmental Engineering and/or FEMA prior to site plan approval.

A Resource Protection Area Designation (RPAD) must be submitted to the Department of Environmental Engineering – Water Quality Section prior to the submittal of any site plans. A buffer modification request for exempt activities shall be submitted to and approved by the Department of Environmental Engineering for any improvements which encroach into the RPA.

Stormwater Management

The development of the subject property will be subject to the Annual Standards and Specifications for Columbia Gas of Virginia, which are reviewed and enforced by the Virginia Department of Environmental Quality.

UTILITIES

Staff Contact: Matt Rembold (804-706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	36"	N/A
Wastewater	No	33"	N/A

Additional Utility Comments:

The subject property is located within the mandatory water and wastewater connection areas for new non-residential structures, however, no structures requiring water or wastewater service are proposed with this application, therefore the impact to the utilities department is expected to be minimal.

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamst@chesterfield.gov

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

This request will not impact these facilities.

CASE HISTORY

Applicant Submittals

10/11/2019	Application submitted
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Community Meeting

11/07/2019	<p>Issues Discussed:</p> <ul style="list-style-type: none">• Safety of a Point of Delivery station• Square footage of the facility• Estimated truck traffic from the facility• Screening and lighting of the facility• Gas capacity, how long the facility will be in commission• Construction timeline
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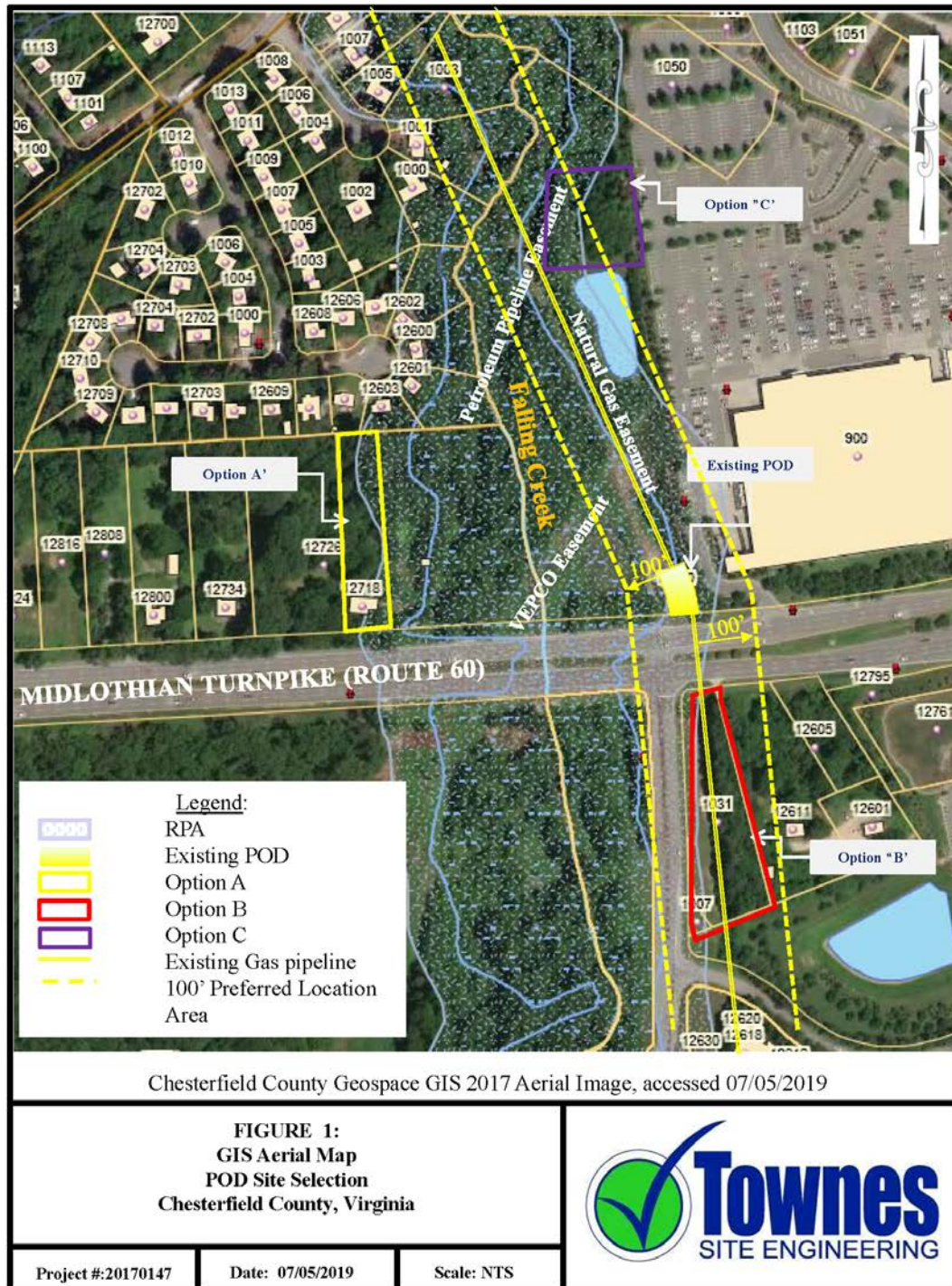
Planning Commission

12/17/2019	<p>Citizen Comments: Citizens spoke to the request, expression support subject to the Point of Delivery Station providing for a minimum 50 foot setback from adjacent residential properties to the north.</p> <p>Applicant's Comments: The applicant confirmed the revised drawings depicting a 50 foot setback were forthcoming.</p> <p>Commission Discussion: In response to the question regarding the 50-foot setback, staff confirmed the condition regarding a minimum 50-foot buffer adjacent to the residential property to the north (Proffered Condition 4).</p> <p>Recommendation – APPROVAL SUBJECT TO CONDITIONS IN ATTACHMENT 1.</p> <p>Motion: Jones Second: Freye AYES: Jackson, Freye, Jones, Sloan, Stariha</p>
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The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.

CONDITIONS
<p>Note: The following conditions are recommended by the Planning Commission and staff.</p> <ol style="list-style-type: none"> 1. <u>Use.</u> This Conditional Use shall be limited to the operation of a Point of Delivery (P.O.D.) station for natural gas distribution. (P) 2. <u>Conceptual Plan.</u> Development of the property shall generally conform to the Conceptual Plan prepared by Townes Engineering, dated July 5, 2019, and titled "Midlothian POD Site: Site Exhibit" (Exhibit B), with respect to the location of site improvements. (P) 3. <u>Fencing.</u> A fence of a minimum of eight (8) feet in height shall be provided along the perimeter of the Point of Delivery station as generally shown on the Site Renderings (Exhibit C). If such fence is a chain link fence, a privacy screen (mesh tarp or windscreen) shall be provided as part of such a fence as may be approved at the time of site plan review. Such privacy screen shall be located on the northern, western, and southern sides of the fence and shall be earth tone in color, such as dark black, green or brown. Any portion of such fence with the privacy screen shall also be powder coated an earth tone color, such as dark black, green or brown. Such fence and privacy screen shall be maintained in good visual condition. (P) 4. <u>Buffers – Northern and Western Property Boundaries.</u> A fifty (50) foot buffer shall be provided along the northern property boundary and a twenty-five (25) foot buffer shall be provided along the western property boundary. Such buffers shall comply with the requirements of the ZO except that these buffers shall be planted at a density of 2.0 times Landscape C. In addition, within the northern buffer, supplemental evergreen tree and shrub plantings shall be installed as determined necessary by the Planning Department at the time of site plan review to mitigate views of the facility from the north. (P) 5. <u>Landscaping – Midlothian Turnpike.</u> Within the setback from Midlothian Turnpike, existing vegetation shall be maintained and supplemented, as needed, to comply with the Ordinance requirements for 2.0 times Landscape C. (P)

EXHIBIT A: POINT OF DELIVERY STATION SITE SELECTION



CASE NUMBER: 20SN0549
APPLICANT: Columbia Gas of Virginia

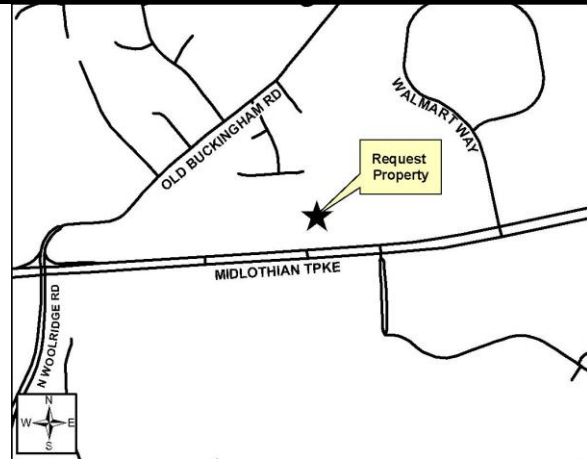


CHESTERFIELD COUNTY, VIRGINIA
MIDLOTHIAN DISTRICT

ADDENDUM

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Contacts:
 TOM HOUSTON (804-748-9011)
Planning Department Case Manager:
 TYLER WALTER (804-318-8893)



3.9 Acres – 12718 Midlothian Turnpike

REQUEST

Conditional use to permit a utility use requiring a structure in a Residential (R-7) District.

Notes:

- A. Conditions may be imposed or the property owners may proffer conditions.
- B. Conditions and exhibits are located in Attachments 1-3.

SUMMARY

Relocation and replacement of an existing Point of Delivery (POD) station for natural gas distribution is planned. The existing POD, located on a neighboring transmission easement to the east, has been in operation since the late 1960s. According to the applicant, this facility lacks sufficient capacity to meet growing area demands, and size and safety concerns impact replacement of the POD at the exiting location. This proposed facility at this new location would increase existing system capacity and facilitate serving future growth west of Route 288.

RECOMMENDATION

PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> Accommodates growing utility service coverage needs. As conditioned, minimizes visual impacts on existing and anticipated area development and the Midlothian Corridor.

ADDENDUM

The purpose of this addendum is to update Condition 2 to correct the date of Exhibit B, and the Case History to note receipt of this exhibit.

Subsequent to the Commission's consideration of this request, staff received a revised Exhibit B on December 20, 2019, which is included in the Staff Analysis. This exhibit reflects the minimum setbacks of 50 feet from the northern property line and 25 feet from the western property line to the facility compound, consistent with buffer widths provided in Condition 4. The Case History has been updated to record submittal of this amended Exhibit. Staff continues to recommend approval as noted in the staff analysis.

CASE HISTORY

Applicant Submittals

10/11/2019	Application submitted
12/20/2019	Revised Concept Plan submitted

Community Meeting

11/07/2019	<p>Issues Discussed:</p> <ul style="list-style-type: none"> • Safety of a Point of Delivery station • Square footage of the facility • Estimated truck traffic from the facility • Screening and lighting of the facility • Gas capacity, how long the facility will be in commission • Construction timeline
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Planning Commission

12/17/2019	<p>Citizen Comments: Citizens spoke to the request, expression support subject to the Point of Delivery Station providing for a minimum 50 foot setback from adjacent residential properties to the north.</p> <p>Applicant's Comments: The applicant confirmed the revised drawings depicting a 50 foot setback were forthcoming.</p> <p>Commission Discussion: In response to the question regarding the 50-foot setback, staff confirmed the condition regarding a minimum 50-foot buffer adjacent to the residential property to the north (Proffered Condition 4).</p> <p>Recommendation – APPROVAL SUBJECT TO CONDITIONS IN ATTACHMENT 1.</p> <p>Motion: Jones Second: Freye AYES: Jackson, Freye, Jones, Sloan, Stariha</p>
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The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.

<p style="text-align: center;">CONDITIONS</p>
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<p>Note: The following conditions are recommended by the Planning Commission and staff.</p>

1. Use. This Conditional Use shall be limited to the operation of a Point of Delivery (P.O.D.) station for natural gas distribution. (P)
2. Conceptual Plan. Development of the property shall generally conform to the Conceptual Plan prepared by Townes Engineering, dated December 20, 2019, and titled "Midlothian POD Site: Site Exhibit" (Exhibit B), with respect to the location of site improvements. (P)
3. Fencing. A fence of a minimum of eight (8) feet in height shall be provided along the perimeter of the Point of Delivery station as generally shown on the Site Renderings (Exhibit C). If such fence is a chain link fence, a privacy screen (mesh tarp or windscreen) shall be provided as part of such a fence as may be approved at the time of site plan review. Such privacy screen shall be located on the northern, western, and southern sides of the fence and shall be earth tone in color, such as dark black, green or brown. Any portion of such fence with the privacy screen shall also be powder coated an earth tone color, such as dark black, green or brown. Such fence and privacy screen shall be maintained in good visual condition. (P)
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5. Landscaping – Midlothian Turnpike. Within the setback from Midlothian Turnpike, existing vegetation shall be maintained and supplemented, as needed, to comply with the Ordinance requirements for 2.0 times Landscape C. (P)

CASE NUMBER: 20SN0549
APPLICANT: Columbia Gas of Virginia

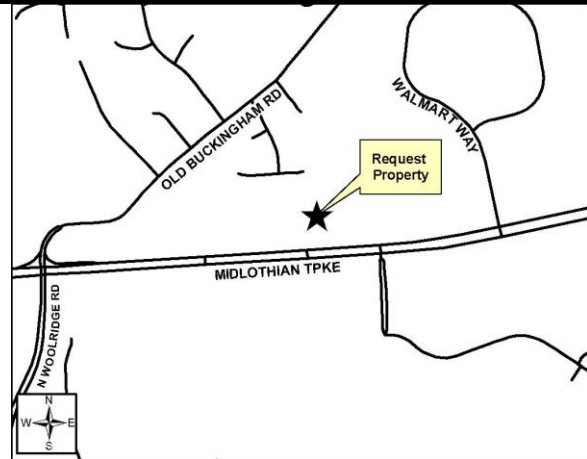


CHESTERFIELD COUNTY, VIRGINIA
MIDLOTHIAN DISTRICT

ADDENDUM

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Contacts:
 TOM HOUSTON (804-748-9011)
Planning Department Case Manager:
 TYLER WALTER (804-318-8893)



3.9 Acres – 12718 Midlothian Turnpike

REQUEST

Conditional use to permit a utility use requiring a structure in a Residential (R-7) District.

Notes:

- A. Conditions may be imposed or the property owners may proffer conditions.
- B. Conditions and exhibits are located in Attachments 1-3.

SUMMARY

Relocation and replacement of an existing Point of Delivery (POD) station for natural gas distribution is planned. The existing POD, located on a neighboring transmission easement to the east, has been in operation since the late 1960s. According to the applicant, this facility lacks sufficient capacity to meet growing area demands, and size and safety concerns impact replacement of the POD at the exiting location. This proposed facility at this new location would increase existing system capacity and facilitate serving future growth west of Route 288.

RECOMMENDATION

PLANNING
COMMISSION

APPROVAL

STAFF

APPROVAL

- Accommodates growing utility service coverage needs.
- As conditioned, minimizes visual impacts on existing and anticipated area development and the Midlothian Corridor.

ADDENDUM

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11/07/2019	Issues Discussed: <ul style="list-style-type: none"> • Safety of a Point of Delivery station • Square footage of the facility • Estimated truck traffic from the facility • Screening and lighting of the facility • Gas capacity, how long the facility will be in commission • Construction timeline
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The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.

CONDITIONS

Note: The following conditions are recommended by the Planning Commission and staff.
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1. Use. This Conditional Use shall be limited to the operation of a Point of Delivery (P.O.D.) station for natural gas distribution. (P)

2. Conceptual Plan. Development of the property shall generally conform to the Conceptual Plan prepared by Townes Engineering, dated December 20, 2019, and titled "Midlothian POD Site: Site Exhibit" (Exhibit B), with respect to the location of site improvements. (P)

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CASE NUMBER: 20SN0549
APPLICANT: Columbia Gas of Virginia

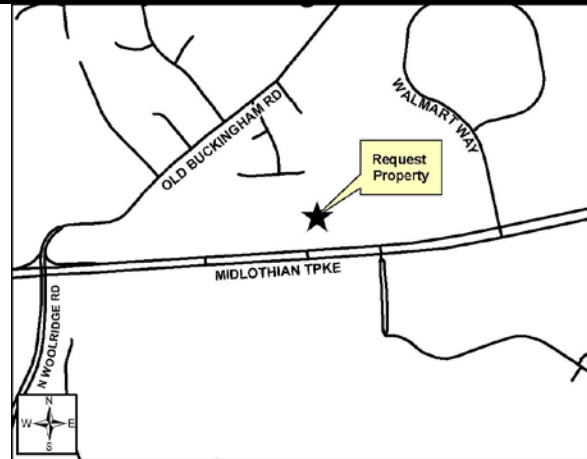


CHESTERFIELD COUNTY, VIRGINIA
MIDLOTHIAN DISTRICT

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:
 JANUARY 22, 2020
BOS Time Remaining:
 365 DAYS

Applicant's Contacts:
 TOM HOUSTON (804-748-9011)
Planning Department Case Manager:
 TYLER WALTER (804-318-8893)



3.9 Acres – 12718 Midlothian Turnpike

REQUEST

Conditional use to permit a utility use requiring a structure in a Residential (R-7) District.

Notes:

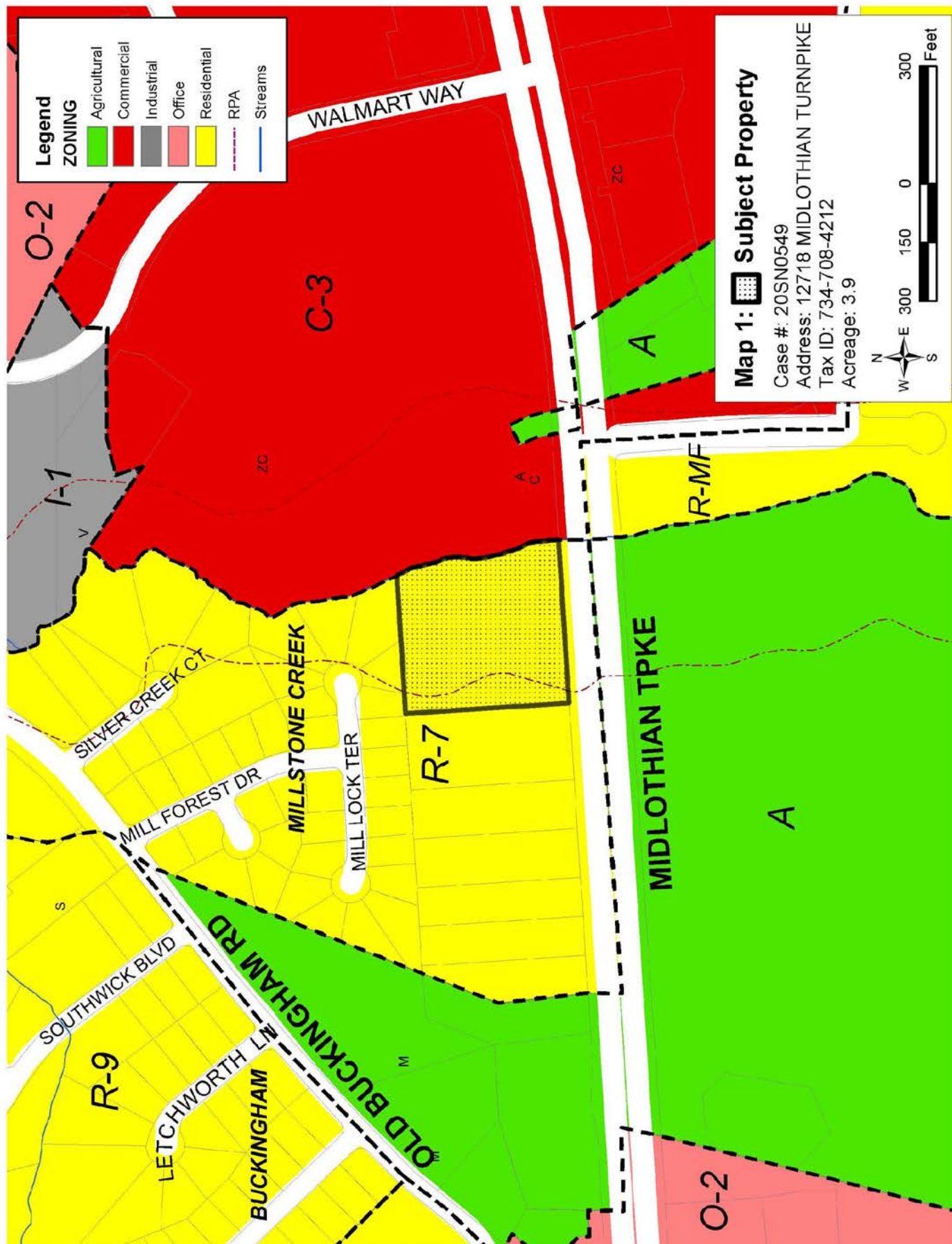
- A. Conditions may be imposed or the property owners may proffer conditions.
- B. Conditions and exhibits are located in Attachments 1-3.

SUMMARY

Relocation and replacement of an existing Point of Delivery (POD) station for natural gas distribution is planned. The existing POD, located on a neighboring transmission easement to the east, has been in operation since the late 1960's. According to the applicant, this facility lacks sufficient capacity to meet growing area demands, and size and safety concerns impact replacement of the POD at the exiting location. This proposed facility at this new location would increase existing system capacity and facilitate serving future growth west of Route 288.

RECOMMENDATION

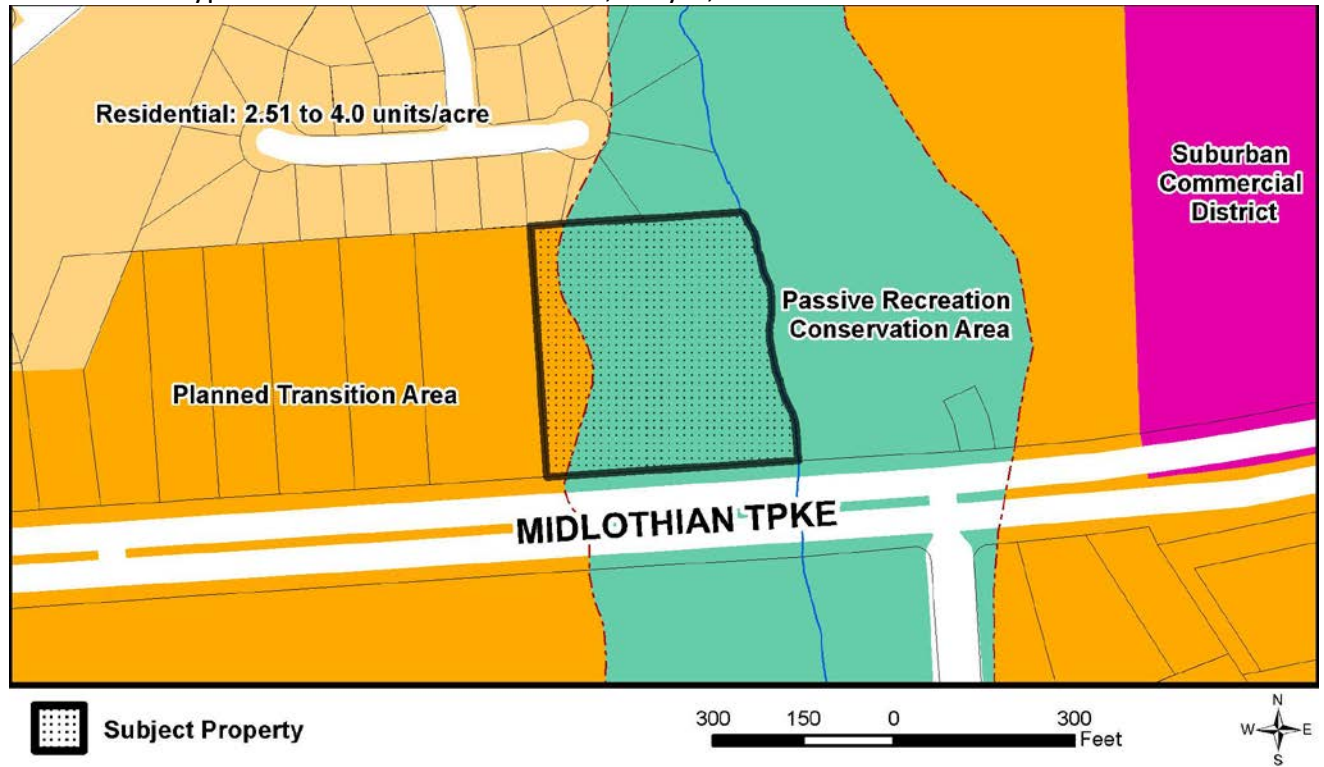
PLANNING COMMISSION	APPROVAL
STAFF	APPROVAL <ul style="list-style-type: none"> Accommodates growing utility service coverage needs. As conditioned, minimizes visual impacts on existing and anticipated area development and the Midlothian Corridor.



Comprehensive Plan – Midlothian Community Special Area Plan

Classification: NEIGHBORHOOD OFFICE

The designation suggests the property is appropriate for professional and administrative offices or similar uses. Typical uses could include doctor, lawyer, accountant and real estate offices.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Tyler Walter (804-318-8893) waltert@chesterfield.gov

Proposal

A utility use requiring a structure is proposed. Specifically, the relocation and replacement of a utility Point of Delivery (POD) facility to distribute natural gas is planned. A POD station is a facility that accepts natural gas from an existing pipeline and decreases the flow to move the gas at a safer speed onto service lines to homes and businesses. POD stations are typically located adjacent to existing gas lines.

The existing POD station is located at 12700 Midlothian Turnpike, approximately 650 feet east of the proposed POD station, both of which are adjacent to a TransCanada gas line (Exhibit A). The existing station was built in 1967 as a medium pressure system and is approaching 100 percent service capacity. The applicant indicates that the existing site is too small to build a new facility to meet gas demands, and its location within the TransCanada gas line right-of-way and proximity to Midlothian Turnpike present safety concerns. The proposed site, located outside of the TransCanada pipeline right-of-way, was determined the most feasible in following TransCanada regulations and boosting existing pressure and capacity. (Exhibit A – Option A, Attachment 2).

Comprehensive Plan

The Comprehensive Plan indicates that this property is in the Midlothian Community Special Area Plan, which was adopted at the Board of Supervisors' December 11, 2019 meeting. The Special Area Plan suggests the property is appropriate for Neighborhood Office uses. Neighborhood office uses could include doctor, lawyer, accountant and real estate offices.

The following chart provides an overview of conditions recommended by staff to assist in mitigating the impact of the use on area properties:

General Overview	
Requirements	Details
Uses	Use shall be limited to the gas point of delivery station. <i>Condition 1</i>
Conceptual Plan	Development of the property to comply with the conceptual plan. <i>Condition 2</i>
Fencing	Eight (8) foot high fence along the perimeter of the POD station, with a privacy screen, and be a dark black, green or brown color. <i>Condition 3</i>
Buffers	Fifty (50) foot buffer maintained along the north property line, and a twenty-five (25) foot buffer shall be maintained along the west property line. <i>Condition 4</i>
Landscaping	Existing vegetation maintained along Midlothian Turnpike at 2 x Landscape C. <i>Condition 5</i>

As conditioned, is anticipated that the visual impact of this facility on area uses and the corridor will be minimal. Staff is supportive of this request.

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Midlothian Fire Station, Company Number 5
EMS Facility	The Forest View Volunteer Rescue Squad

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804-674-2907) willie.gordon@vdot.virginia.gov

The applicant, Columbia Gas, is requesting a conditional use permit to construct a utility point of distribution facility on the subject property, currently zoned R-7. The existing entrance to the property on Midlothian Turnpike will be subject to VDOT commercial entrance standards. The applicant may submit site trip generation data to support a lower entrance classification. VDOT will require the portion of the entrance within right-of-way to be paved.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) rochetr@chesterfield.gov

Geography

The subject property drains from west to east directly to Falling Creek which coincides with the eastern property line. The entire property is located within the Falling Creek Watershed.

Natural Resources

There is 100-year FEMA floodplain on the subject property along Falling Creek. Any fill and/or construction with the FEMA floodplain must be approved by the Department of Environmental Engineering and/or FEMA prior to site plan approval.

A Resource Protection Area Designation (RPAD) must be submitted to the Department of Environmental Engineering – Water Quality Section prior to the submittal of any site plans. A buffer modification request for exempt activities shall be submitted to and approved by the Department of Environmental Engineering for any improvements which encroach into the RPA.

Stormwater Management

The development of the subject property will be subject to the Annual Standards and Specifications for Columbia Gas of Virginia, which are reviewed and enforced by the Virginia Department of Environmental Quality.

UTILITIES

Staff Contact: Matt Rembold (804-706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Served	Size of Closest Existing Lines	Connection Required by County Code
Water	No	36"	N/A
Wastewater	No	33"	N/A

Additional Utility Comments:

The subject property is located within the mandatory water and wastewater connection areas for new non-residential structures, however, no structures requiring water or wastewater service are proposed with this application, therefore the impact to the utilities department is expected to be minimal.

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamst@chesterfield.gov

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

This request will not impact these facilities.

CASE HISTORY

Applicant Submittals

10/11/2019	Application submitted
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Community Meeting

11/07/2019	<p>Issues Discussed:</p> <ul style="list-style-type: none">• Safety of a Point of Delivery station• Square footage of the facility• Estimated truck traffic from the facility• Screening and lighting of the facility• Gas capacity, how long the facility will be in commission• Construction timeline
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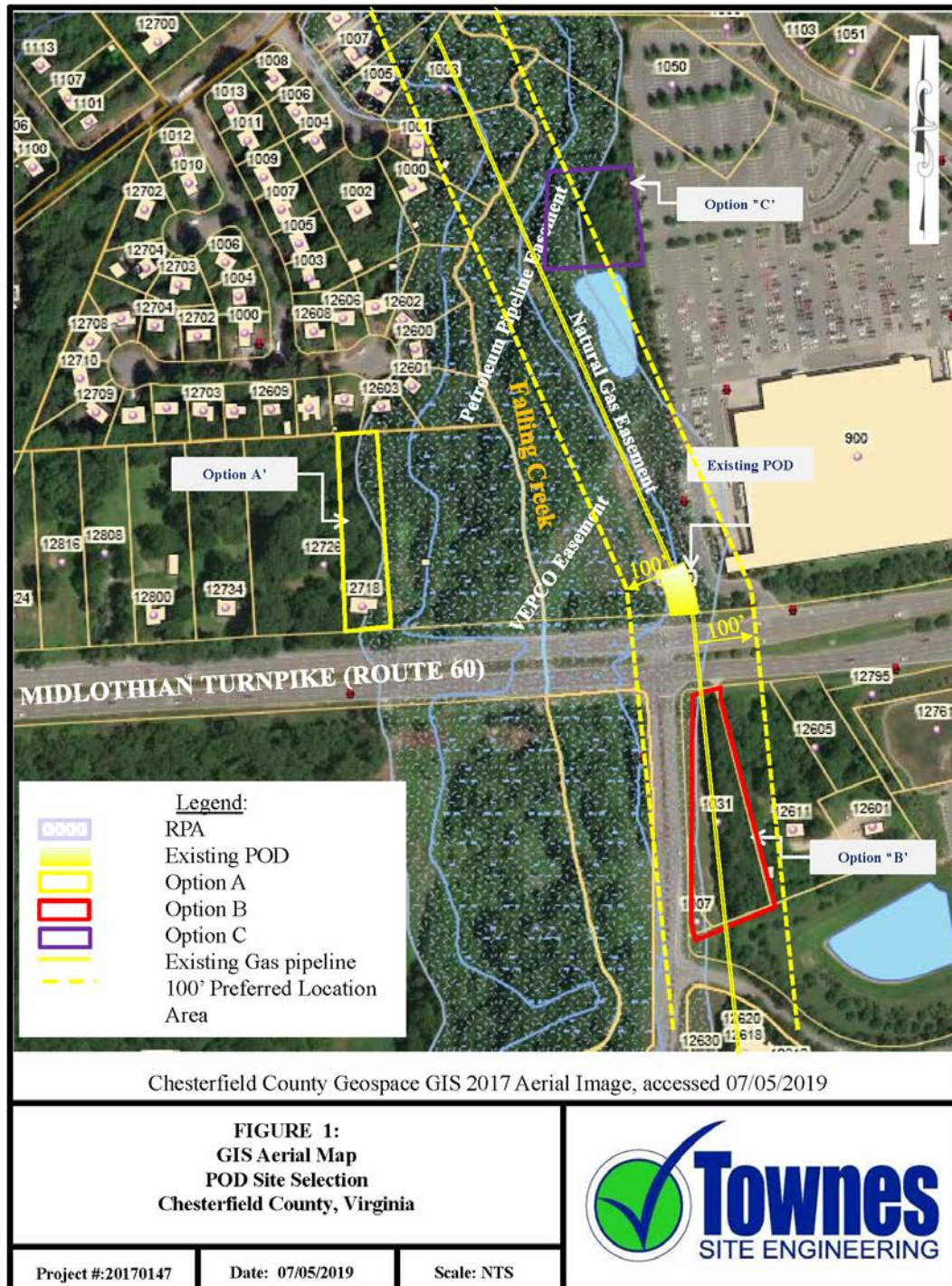
Planning Commission

12/17/2019	<p>Citizen Comments: Citizens spoke to the request, expression support subject to the Point of Delivery Station providing for a minimum 50 foot setback from adjacent residential properties to the north.</p> <p>Applicant's Comments: The applicant confirmed the revised drawings depicting a 50 foot setback were forthcoming.</p> <p>Commission Discussion: In response to the question regarding the 50-foot setback, staff confirmed the condition regarding a minimum 50-foot buffer adjacent to the residential property to the north (Proffered Condition 4).</p> <p>Recommendation – APPROVAL SUBJECT TO CONDITIONS IN ATTACHMENT 1.</p> <p>Motion: Jones Second: Freye AYES: Jackson, Freye, Jones, Sloan, Stariha</p>
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The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.

CONDITIONS
<p>Note: The following conditions are recommended by the Planning Commission and staff.</p> <ol style="list-style-type: none"> 1. <u>Use</u>. This Conditional Use shall be limited to the operation of a Point of Delivery (P.O.D.) station for natural gas distribution. (P) 2. <u>Conceptual Plan</u>. Development of the property shall generally conform to the Conceptual Plan prepared by Townes Engineering, dated July 5, 2019, and titled "Midlothian POD Site: Site Exhibit" (Exhibit B), with respect to the location of site improvements. (P) 3. <u>Fencing</u>. A fence of a minimum of eight (8) feet in height shall be provided along the perimeter of the Point of Delivery station as generally shown on the Site Renderings (Exhibit C). If such fence is a chain link fence, a privacy screen (mesh tarp or windscreen) shall be provided as part of such a fence as may be approved at the time of site plan review. Such privacy screen shall be located on the northern, western, and southern sides of the fence and shall be earth tone in color, such as dark black, green or brown. Any portion of such fence with the privacy screen shall also be powder coated an earth tone color, such as dark black, green or brown. Such fence and privacy screen shall be maintained in good visual condition. (P) 4. <u>Buffers – Northern and Western Property Boundaries</u>. A fifty (50) foot buffer shall be provided along the northern property boundary and a twenty-five (25) foot buffer shall be provided along the western property boundary. Such buffers shall comply with the requirements of the ZO except that these buffers shall be planted at a density of 2.0 times Landscape C. In addition, within the northern buffer, supplemental evergreen tree and shrub plantings shall be installed as determined necessary by the Planning Department at the time of site plan review to mitigate views of the facility from the north. (P) 5. <u>Landscaping – Midlothian Turnpike</u>. Within the setback from Midlothian Turnpike, existing vegetation shall be maintained and supplemented, as needed, to comply with the Ordinance requirements for 2.0 times Landscape C. (P)

EXHIBIT A: POINT OF DELIVERY STATION SITE SELECTION



CASE NUMBER: 20SN0550**APPLICANT: Chesterfield Economic Development Authority**

**CHESTERFIELD COUNTY, VIRGINIA
MIDLOTHIAN DISTRICT**

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Hearing:

JANUARY 22, 2020

BOS Time Remaining:

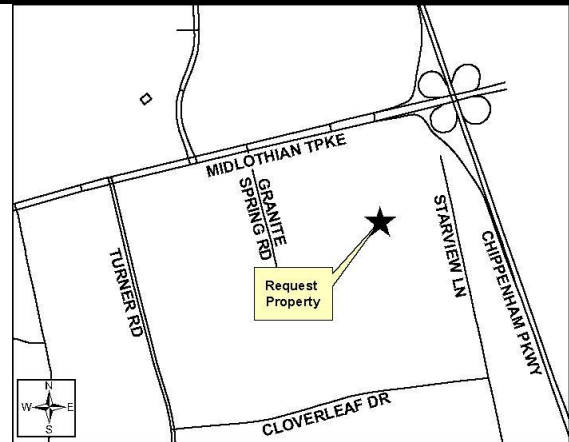
365 DAYS

Applicant's Agent:

GARRETT HART (804-318-8561)

Planning Department Case Manager:

DARLA ORR (804-717-6533)



18.2 Acres – 100 Stonebridge Plaza Avenue
STONEBRIDGE

REQUEST

Amendment of zoning approval (Case 07SN0333) relative to maximum permitted residential density. Specifically, an amendment is proposed to Textual Statement Item IV(A)(3) to increase residential density by 680 multi-family units.

Notes: A. Conditions may be imposed or the property owner may proffer conditions.

B. A condition and existing zoning conditions are located in Attachments 1 and 2.

SUMMARY

Continued development of a mixed use project (commonly known as Stonebridge) is planned. The property is the former site of Cloverleaf Mall and is located within a revitalization area. Existing zoning (Case 07SN0733) permits 520 residential units, 450,000 square feet of commercial/retail and 224,000 square feet of office use within the Stonebridge development. The site is currently developed for approximately 335,000 square feet of commercial/office use and 400 multi-family units.

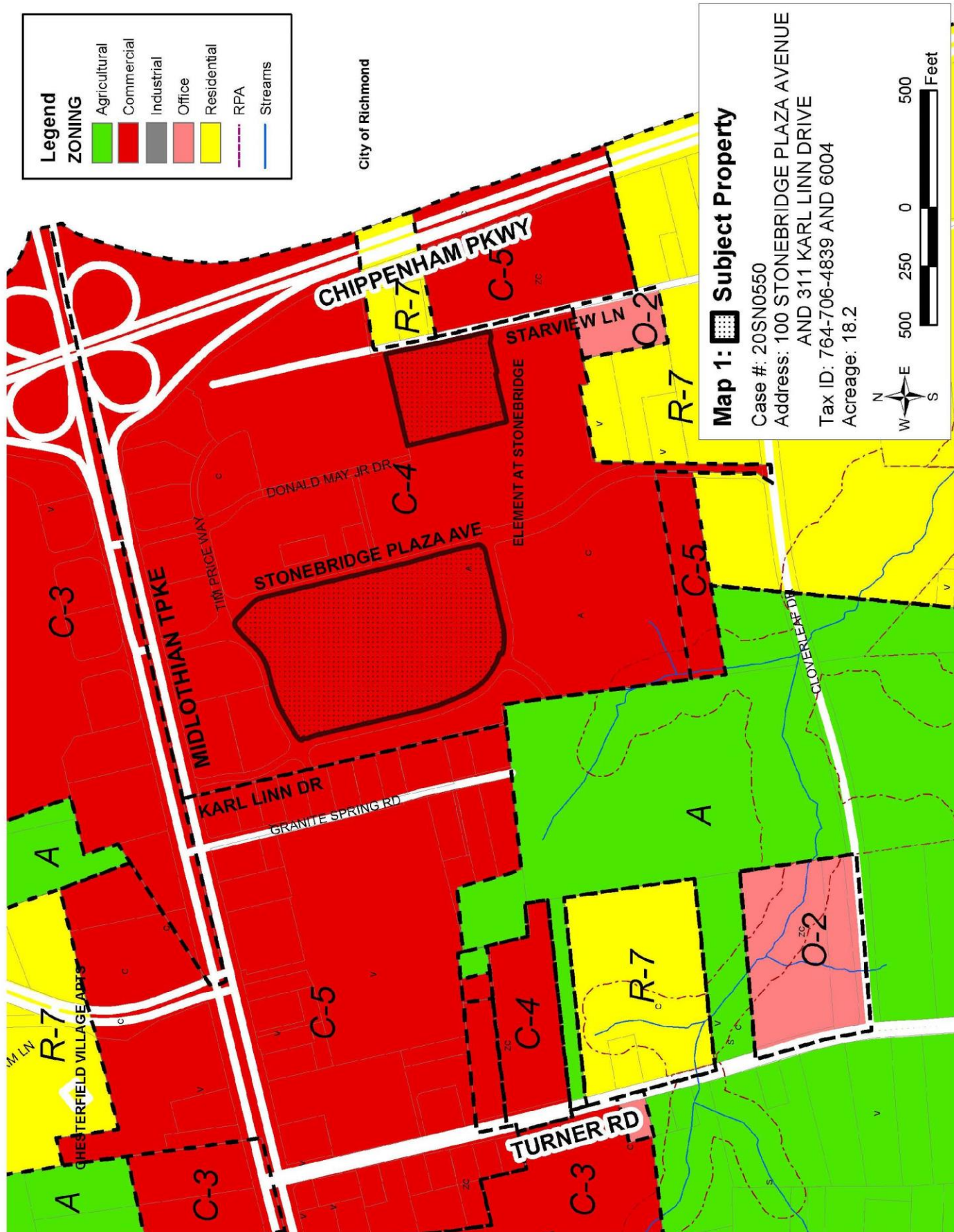
In 2014, a site plan (Case 13PR0232) was approved to permit 600 multi-family units (commonly known as the Element at Stonebridge) on the eastern portion of the request property which exceeded the approved residential density of the existing zoning. Amendment of the permitted density in this case is proposed to permit the 600 units approved with the 2014 site plan approval.

A current development proposal would further increase the multi-family residential units permitted on the eastern portion of the request property by an additional 100 units to 700 units and would permit an additional 500 multi-family residential units, a 200-room hotel with a 15,000 square foot conference center and 50,000 square feet of retail on the western portion of the request property. Amendment to Textual Statement Item IV(A)(3) of zoning approval (Case 07SN0333) is proposed to permit these additional 680 residential units over the 520 permitted with the existing zoning thereby permitting an overall total of 1,200 residential units within the Stonebridge development. This additional development would be required to comply with all other conditions of Case 07SN0333 and be comparable in design and quality to Stonebridge.

The request will not alter or exceed the maximum transportation density approved with Case 07SN0733. Under the Road Cash Proffer Policy, no road cash proffer will be accepted as the property is within a revitalization area.

RECOMMENDATION	
PLANNING COMMISSION	APPROVAL
STAFF	<p>PLANNING - APPROVAL</p> <ul style="list-style-type: none"> Allows for increased density to correct the 2014 site plan approval and permit the additional multi-family residential units proposed with current development Development will maintain the quality design and architecture of the existing zoning that provide for a convenient, attractive and harmonious community that should enhance the surrounding area <p>TRANSPORTATION - APPROVAL</p> <p>Located within a revitalization area. Under the Road Cash Proffer Policy, no road cash proffer will be accepted.</p>

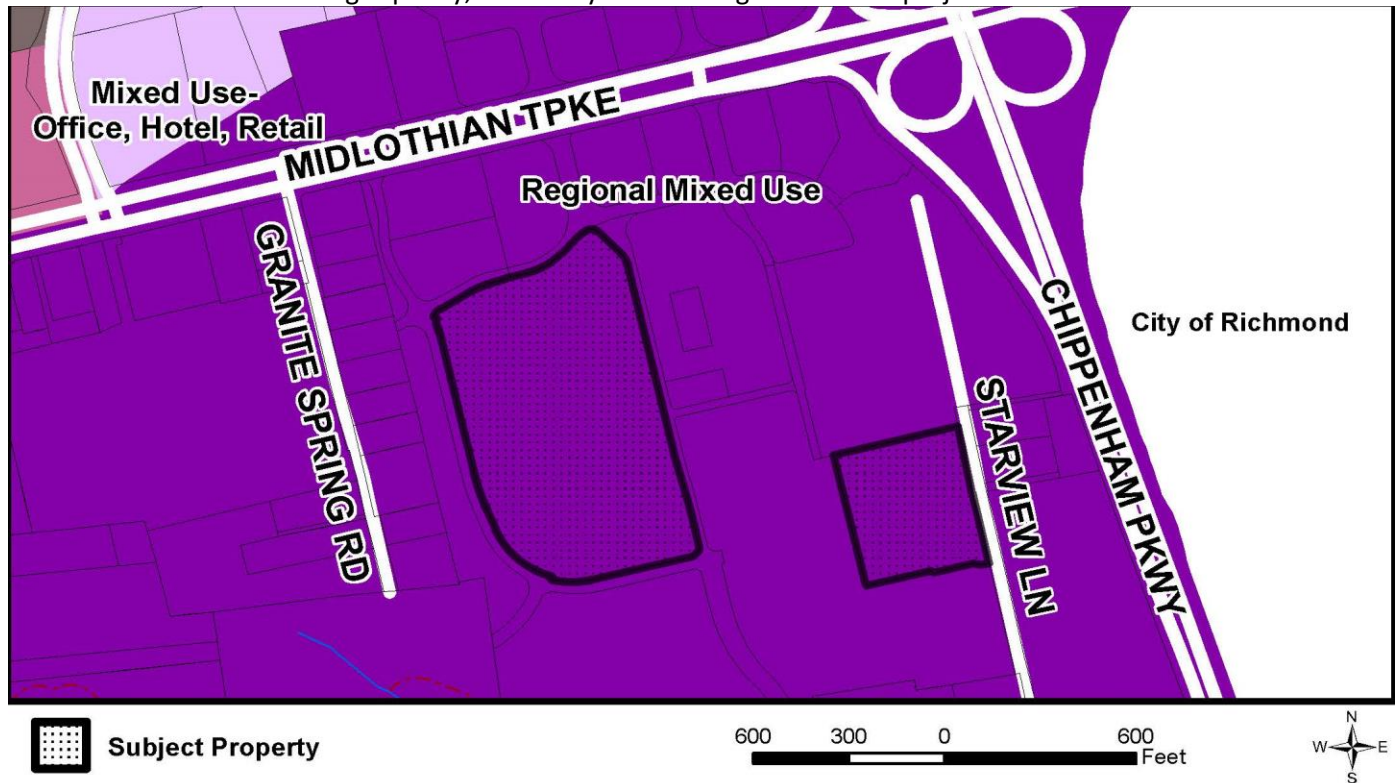
SUMMARY OF IDENTIFIED ISSUES	
Department	Issue
SCHOOLS	The <i>Public Facilities Plan</i> recommends that A.M. Davis Elementary School be revitalized or replaced post 2020. However, at this time a budget has not been developed for the acquisition of land or construction of this school facility as recommended in the Plan.



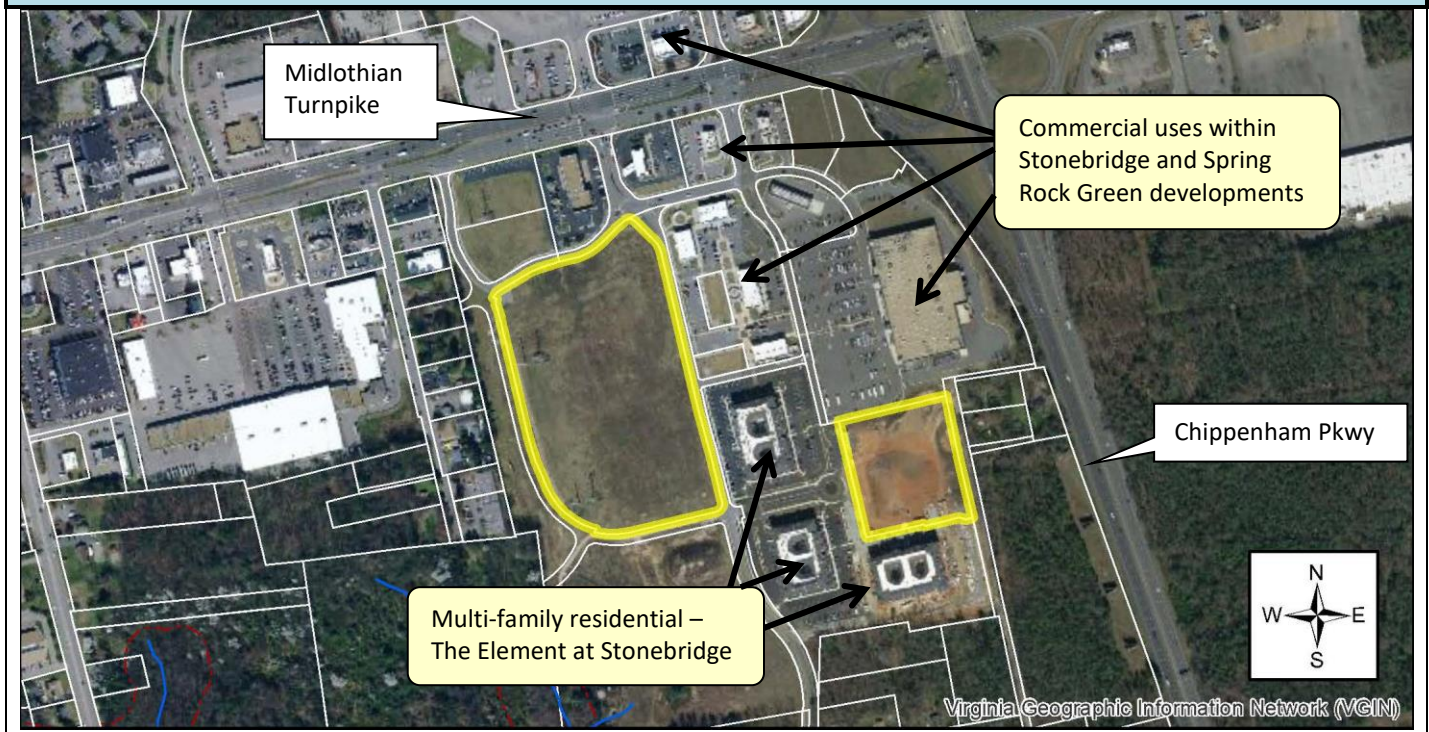
Comprehensive Plan – THE EASTERN MIDLOTHIAN PLAN

Classification: Regional Mixed Use

This designation suggests the property is appropriate for a mixture of integrated office, shopping center and light industrial uses designed to be compatible with surrounding neighborhoods. Where appropriate permitted residential uses should be high-quality, subsidiary to and integrated within projects.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Darla Orr (804-717-6533) orrd@chesterfield.gov

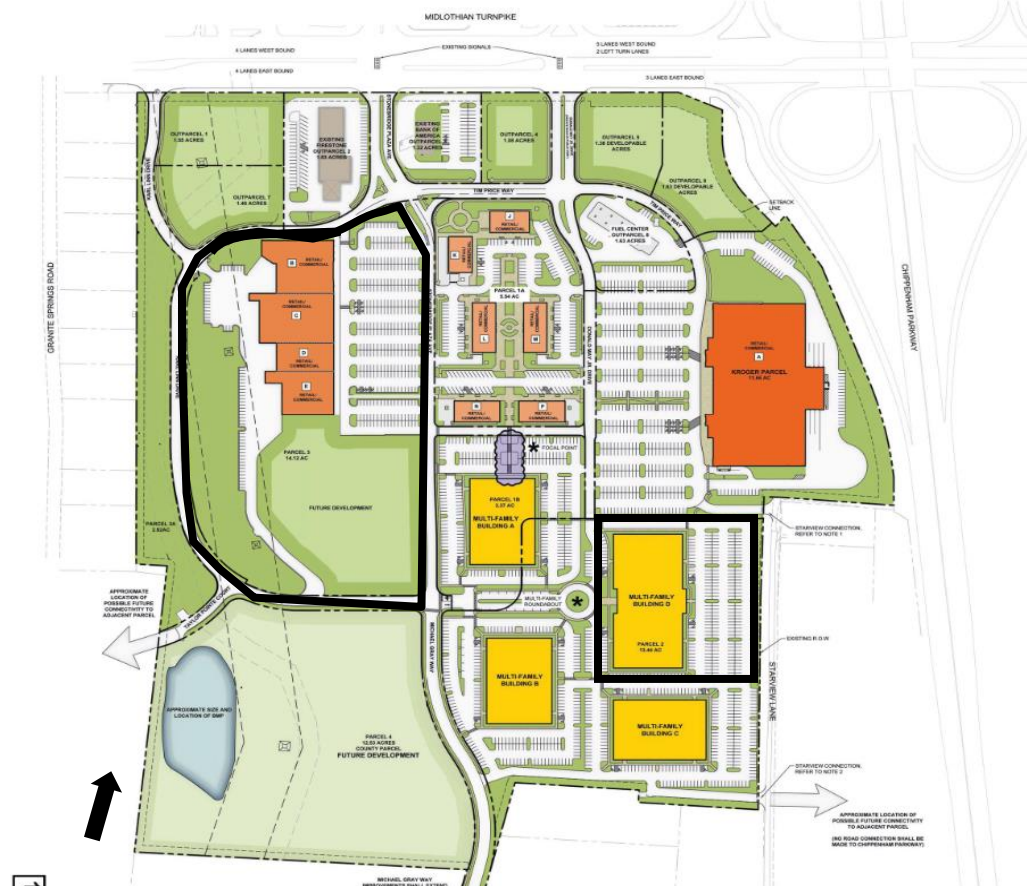
Zoning History

Case Number	Request
07SN0733 Approved 4/23/2008	<ul style="list-style-type: none"> Rezoning of former Cloverleaf Mall site (83 acres) to Regional Business (C-4) with Conditional Use to permit multi-family and townhouse uses plus Conditional Use Planned Development to permit Neighborhood Business (C-2), Residential Townhouse (RTH) plus Conditional Use Planned Development to permit exceptions to ordinance requirements A mix use development including a minimum of 400,000 square feet of commercial and office uses and a maximum of 520 residential uses consisting of condominium and non-condominium multi-family, townhomes and detached single family dwellings was planned.

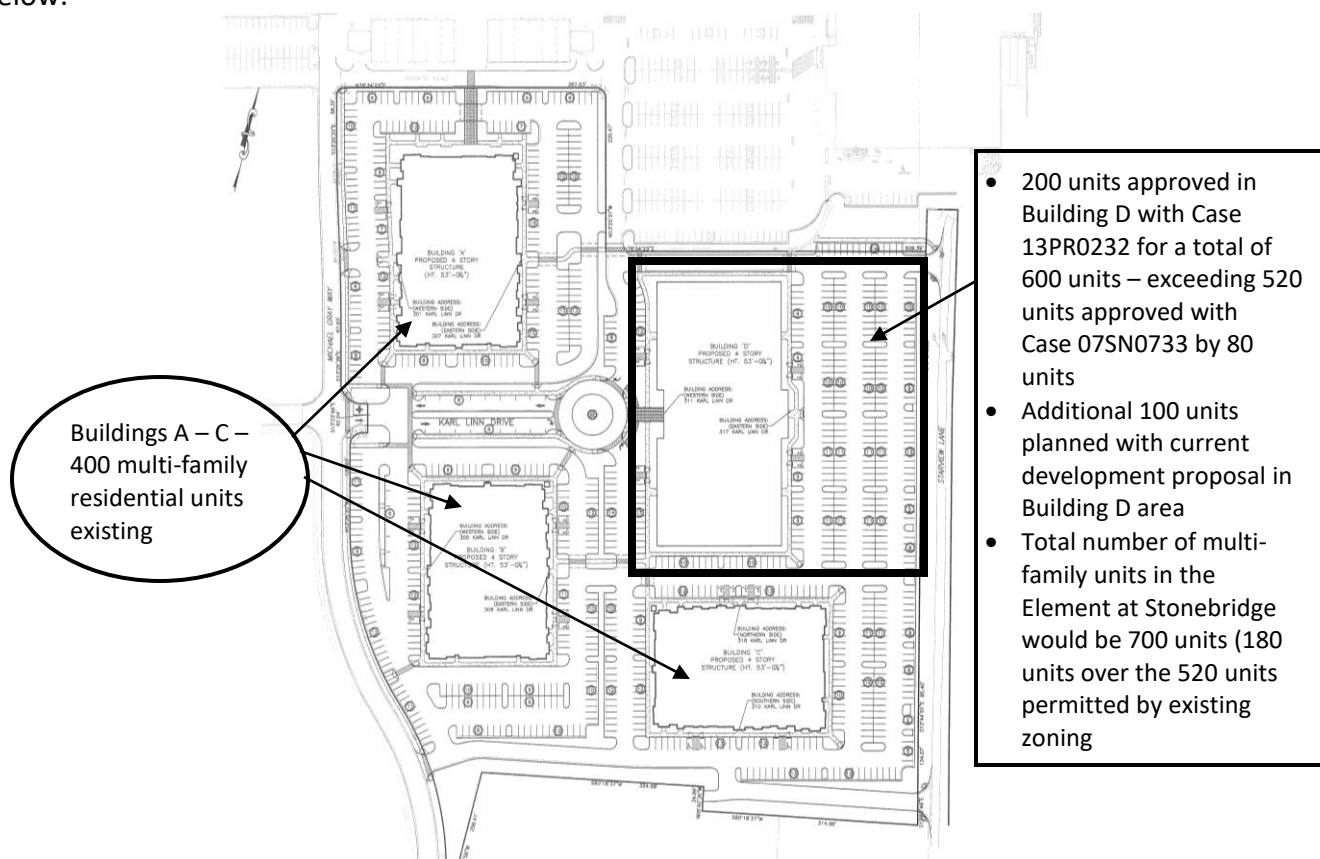
Proposal

Continued development of a mixed use project (commonly known as Stonebridge) is planned. Existing zoning (Case 07SN0733) permits 520 residential units, 450,000 square feet of commercial/retail and 224,000 square feet of office use on the 83 acres, formerly the Cloverleaf Mall site. The site is currently developed for approximately 335,000 square feet of commercial/office use and 400 multi-family units.

The subject properties, an 18.2-acre portion of the overall development, are identified in the bold black lines on the conceptual plan approved with Case 13PS0159 in January, 2013 below:



In 2014, a site plan (Case 13PR0232) was approved to permit 600 multi-family units, exceeding the approved residential density, on property which included the eastern portion of the request property as identified below. 400 of these units have been built in Buildings A – C as shown below.



Amendment of the permitted density in this case is proposed to permit the 80 units approved with the 2014 site plan over the allowed 520 units plus an additional 100 units proposed with the current proposal on the eastern portion of the request property. With these additional units, the total number of units within the Element at Stonebridge would be 700 units and exceeds the density permitted with Case 07SN0330 by 180 units.

On the western portion of the request property (as identified on Page 5), 500 additional multi-family residential units, a 200-room hotel with a 15,000 square foot conference center and 50,000 square feet of retail are proposed. Existing zoning does not limit the square footage for permitted commercial uses, so no amendment is necessary for the non-residential component.

Given the proposed additional 500 units on the western portion of the request property plus the 180 units (from the Element at Stonebridge) over the permitted 520 units, an amendment to Textual Statement Item IV(A)(3) of zoning approval (Case 07SN0333) is proposed to permit 680 residential units on the request property. With this amendment, the total overall residential units within the Stonebridge development would be 1,200 units. This additional development would be required to comply with all other conditions of Case 07SN0333 and be comparable in design and quality to Stonebridge.

COMMUNITY ENHANCEMENT

Staff Contact: Carl Schlaudt (804-318-8674) schlaudtc@chesterfield.gov

The project site is located in a revitalization area, consistent with the criteria-based approach of Road Cash Proffer Policy Section B.5 (as amended by the Board of Supervisors on April 26, 2017). The Department of Community Enhancement supports development in revitalization areas that represents a substantial improvement above current area conditions. This proposal represents a substantial improvement above conditions of older residential development in the vicinity of the project site. The Department of Community Enhancement supports the proposal as proffered.

BUDGET & MANAGEMENT

Staff Contact: Natalie Spillman (804-318-8767) spillmann@chesterfield.gov

County finance staff is responsible for managing the finances of the County and making recommendations to the County Administrator regarding the allocation of available resources for the provision of services and capital facilities to serve the citizens of the County. Finance staff will advise the County Administrator if changed economic circumstances require adjustments to the County's budget or capital improvement program.

COUNTY TRANSPORTATION

Staff Contact: Steve Adams (804-748-1037) adamsSt@chesterfield.gov

In 2008, the Board of Supervisors approved a rezoning (Case 07SN0333) on 83 acres. Textual Statement IV.A.5 established a maximum density that limits development to 450,000 square feet of shopping center, 224,000 square feet of general office, 350 apartments, 100 townhomes, and 70 single-family units, or equivalent traffic generation. This condition would allow the Planning Commission to approve a higher density of development. As noted in Case 07SN033 staff report, based on the maximum density outlined, development could generate approximately 24,200 average daily trips (approximately 1,030 of these trips will occur in the morning peak hour and approximately 2,370 trips will occur in the evening peak hour). Currently, the approved development on the property is approximately 335,000 square feet of shopping center and 600 multi-family dwelling units.

The applicant is requesting to amend Textual Statement IV.A.3 of Case 07SN0333 to increase the total number of residential dwelling units from 520 to 1,200. The request will not alter or exceed the maximum density established as noted above.

According to the Department of Community Enhancement, the property is located within a revitalization area. Under the Road Cash Proffer Policy, no road cash proffer will be accepted for development in these areas; therefore, staff supports this request.

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Adam Wilkerson (804-674-2384) adam.wilkerson@vdot.virginia.gov

The applicant is requesting to amend the existing zoning case 07SN0333 Textual Statement IV(A)(3) regarding residential unit maximum from 520 dwelling units to 1,200 dwelling units. Since the original approved zoning case has a set maximum trip generation, a Traffic Impact Analysis (TIA) as required by the Code of Virginia Chapter 527 regulation will not be required, as long as the overall trip generation for the site does not exceed the previously approved level. In the event that the development exceeds the previously established traffic threshold, then a full TIA report will be required. Documentation detailing the amount of traffic to be generated by the proposed site shall be provided to VDOT for review to confirm the projected trip generation for the site.

FIRE AND EMERGENCY MEDICAL SERVICES

Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov

Mission

The mission of Fire and Emergency Medical Services (EMS) is to protect life, property and the environment through a comprehensive fire and life safety program that ensures an adequate and timely response to emergencies.

Response Times

The proposed development is located in the urban response zone for which Fire & EMS has a goal of responding to at least 90% of the calls for service in under seven (7) minutes. Fire and EMS is currently unable to meet that goal.

Nearby Fire/EMS Facilities

- The Buford Fire Station, Company Number 9
- The Forest View Volunteer Rescue Squad

Anticipated Fire & EMS Impacts/Needs

Based on an average of .418 calls per dwelling, it is estimated that this development will generate 284 annual calls for Fire/EMS services.

Additional Fire and EMS Comments

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

SCHOOLS

Staff Contact: Atonja Allen (804-318-8740) atonja_allen@ccpsnet.net

Mission

High performing, high quality public schools contribute to the quality of life and economic vitality of the County. The comprehensive plan suggests a greater focus should be placed on linking schools with communities by providing greater access, flexible designs and locations that better meet the needs of the communities in which they are located.

Capital Improvements

The School Board FY2020 adopted Capital Improvement Plan (CIP) continues to support the 2013 voter approved school revitalization program that will replace or renovate ten schools and construct one new elementary school to add capacity in the Midlothian area of the county. The ten existing facilities that are part of the revitalization program are Beulah Elementary School, Crestwood Elementary School, Enon Elementary School, Ettrick Elementary School, Harrowgate Elementary School, Matoaca Elementary School, Reams Elementary School, Manchester Middle School, Providence Middle School, and Monacan High School. A replacement Manchester Middle School is planned for construction on the existing school site, and the Beulah Elementary School, Enon Elementary School, Providence Middle School, and Monacan High School projects are complete. Additional school construction projects include a Matoaca Middle School addition on the east campus site, and the new Matoaca Elementary School will be constructed on the existing west campus site. Upon completion of the east campus addition, the current west campus building will be demolished and Matoaca Middle School will operate as a single, unified campus. Information on the CIP and School Board approved construction projects can be found in the financial section of the CCPS Adopted Budget for FY2020.

Anticipated School Impacts

	Elementary (PK – 5)	Middle (6 – 8)	High (9 – 12)	Total ⁽¹⁾
Anticipated Student Yield by School Type	67	44	47	158
Schools Currently Serving Area	A.M. Davis	Providence	James River	2019-20 School Year
Current Enrollment	739	1,100	1,904	
Design Capacity ⁽²⁾	780	1,101	2,208	
Enrollment Percent of Design Capacity	95%	100%	86%	
Program Capacity ⁽³⁾	727	1,152	2,164	
Enrollment Percent of Program Capacity	102%	95%	88%	
Total Number of Trailers	10	0	2	
Number of Classroom Trailers	8	0	2	

Note:

(1) Based upon the average number of students per multi-family dwelling unit for each of the school attendance zones where the proposal is located. Student Generation Factor (2017) is the actual total number of students by grade level divided by the actual total number of housing units by housing type.

(2) Design capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the architectural program design of the existing building including all interior and exterior renovations to date and an inventory of all available space. Design capacity does not include site-based initiatives and is thus not subject to frequent change and represents prototypical design capacity using VDOE standards.

(3) Program capacity is the maximum number of students the building can accommodate based on the Virginia Department of Education Standards of Quality and the current school programming that may adjust the number of rooms used for core or grade-level classrooms in the overall building design capacity.

Public Facilities Plan

The *Public Facilities Plan* recommends that A.M. Davis Elementary School be revitalized or replaced post 2020. However, at this time a budget has not been developed for the acquisition of land or construction of this school facility as recommended in the Plan.

Additional School Comments

This is an amendment to existing zoning case 07SN0333 regarding residential unit maximum increase from 520 dwelling units to 1,200 dwelling units. The anticipated student yield analysis above is based on the proposed additional 680 dwelling units.

Over time, this case combined with other tentative residential developments, infill developments, and approved residential zoning cases in the area may cause these schools to reach or exceed their capacity.

UTILITIES

Staff Contact: Matthew Rembold (706-7616) remboldm@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	8" & 12"	Yes
Wastewater	No	8" & 12"	Yes

Additional Utility Comments:

The subject properties are located within the mandatory water and wastewater connection areas for new residential and non-residential structures. The applicant has indicated the use of public water and wastewater previously under zoning case 07SN0333. The receiving wastewater system along Pocosham Creek was designed assuming a population density of 10 person per acre for the entire sewer shed. The redevelopment of the former mall into this mixed-use development (zoning case 07SN0333) has increased the wastewater generated to a number that exceeds the original wastewater system design parameters. The request to increase the allowable number of

dwelling units from 520 to 1,200 within this project's original boundary will further increase the demands on the wastewater collection system.

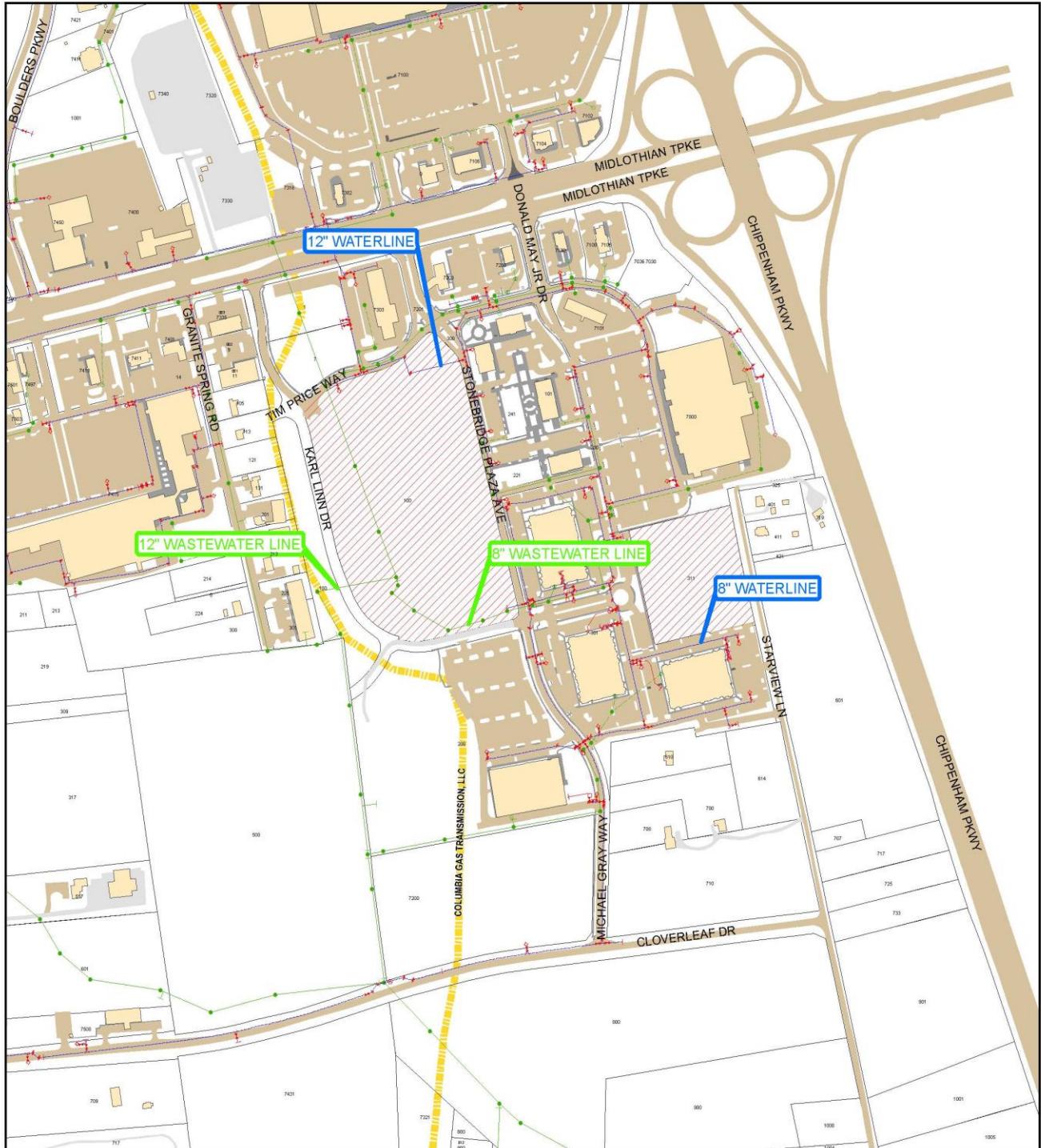
Case 07SN0333 included a maximum density of 520 residential units along with 450,000 square foot of shopping center and 224,000 of general office. The current developed property has completed approximately 400 dwelling units and less than half of the combined 674,000 square foot of non-residential development that was proposed in the original case.

The proposed increase of 680 dwelling units and the current vision for a 200-room hotel, additional 50,000 square foot of retail, and a 15,000 square foot conference center are all competing for the remaining acreage of developable land within this project as highlighted on the attached map.

Given the current available land acreage and existing development within the project, it appears that the ultimate developability of this site may be more realistically a mixture of 600 to 750 dwelling units, a 200-room hotel, and 400,000 square foot of non-residential development. This amount of development is viewed by Utilities to have a comparable impact on the county's water and wastewater systems as the original 07SN0333 rezoning case. Should the project include any combination of uses that generate more water and/or wastewater system demands than the original 07SN0333 rezoning case, the developer is advised that the Utility Department will require a formal hydraulic study be performed by the developer's engineer to verify that the existing water and wastewater systems can adequately handle the additional demands prior to approving the construction plans for the development that exceeds the original zoning case's wastewater flows. Any associated capacity improvements needed to serve the demands of the project will be the responsibility of the developer.

The Utilities Department supports this case.

CHESTERFIELD COUNTY DEPARTMENT OF UTILITIES



ACCURACY OF INFORMATION NOT GUARANTEED

This information is being provided to you as a public service.
WE DO NOT GUARANTEE ITS ACCURACY.
By using it in any way, you are agreeing to
Release the County, its employees and
officials from responsibility for
any consequence(s) if it proves
to be inaccurate.



Chesterfield County
Department of Utilities
Case 20SN0550
Chesterfield EDA
MJR 11/22/2019

1 inch = 500 feet



Remaining Developable Acreage



ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) RochetR@chesterfield.gov

This request will have a minimal impact on these facilities.

LIBRARIES

Staff Contact: Jennifer Stevens (804-751-4998) stevensj@chesterfield.gov

PARKS AND RECREATION

Staff Contact: Stuart Connock (804-751-4484) ConnockS@chesterfield.gov

To date, no comments have been received.

CASE HISTORY

Applicant Submittals	
10/18/19	Application submitted
11/15 and 11/26/19	Application amended
10/10, 10/17, and 11/26/19	Revisions to Textual Statement submitted

Planning Commission	
12/17/19	<p>Citizens Comments:</p> <ul style="list-style-type: none"> • Support additional dwelling units; ensure integrated appropriately with Starview Village development proposed south and west of property • Consideration should be given to pedestrian connections to properties east including sidewalk along Midlothian Turnpike and improvements to Chippenham/Route 60 interchange <p>Commission Discussion:</p> <p>In response to questions from the Bermuda District Commissioner, the applicant confirmed that the increased residential density proposed with the additional commercial square footage would be the maximum density permitted under the transportation density condition of the existing zoning. In response to the Matoaca District Commissioner, the Applicant stated that parking should be adequate as it would comply with parking standards of the existing zoning.</p> <p>Recommendation – APPROVAL SUBJECT TO THE CONDITION IN ATTACHMENT 1</p> <p>Motion: Jones Second: Stariha AYES: Jackson, Freye, Jones, Sloan and Stariha</p>

The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.

CONDITION

December 11, 2019

Note: Both the Planning Commission and staff recommend imposition of the following condition.

With the approval of this request, Textual Statement Item IV(A)(3) of Case 07SN0733 shall be amended as stated below. All other conditions of Case 07SN0733 shall remain in force and effect.

The total number of residential dwelling units on the property shall not exceed 680 dwelling units. (P)

APPROVED CONDITIONS – CASE 07SN0333

07SN0333

In Midlothian Magisterial District, CHESTERFIELD COUNTY BOARD OF SUPERVISORS requests rezoning and amendment of zoning district map from Residential (R-7), Neighborhood Business (C-2), Community Business (C-3), Regional Business (C-4) and General Business (C-5) to Regional Business (C-4) with Conditional Use to permit multifamily and townhouse uses plus Conditional Use Planned Development to permit exceptions to Ordinance requirements. The density of such amendment will be controlled by zoning conditions or Ordinance standards. The Comprehensive Plan suggests the property is appropriate for regional mixed use. This request lies on 83 acres located in the southwest quadrant of Midlothian Turnpike and Chippenham Parkway, also fronting on the north line of Cloverleaf Drive and the northern terminus of Starview Lane. Tax IDs 764-705-3864, 6668 and 8227; 764-706-3159-00001 and 00002 and 8861-00001 and 00002; 764-707-6112-00001 and 00002; 765-704-2693; 765-705-4651, 5781, 7651 and 7962; 765-706-1010-00001 and 00002, 4170, 6964, 8068 and 8842; and 765-707-6600.

Mr. Turner provided a summary of Case 07SN0333 and stated the Planning Commission and staff recommended approval subject to one condition.

Mr. Tom Jacobson, the agent for the Board, accepted the recommendation with one condition.

Mr. Warren called for public comment.

Ms. Andrea Epps spoke in support of Case 07SN0333 and expressed appreciation to Mr. Gecker and Mr. Jacobson for their work on the case.

Mr. Warren closed the public hearing.

Mr. James Downs, Vice President of Crosland, thanked the Board for their support and Mr. Gecker for the significant amount of time he has spent on this case.

Mr. Gecker expressed appreciation to Crosland for the work they did to get the case to a place he can support it.

On motion of Mr. Gecker, seconded by Mr. Warren, the Board approved Case 07SN0333, subject to the following condition:

The Textual Statement dated March 13, 2008, shall be considered the Master Plan. (P)

Ayes: Warren, Gecker, Jaeckle, Holland and Durfee.

Nays: None.

Chippenham Place Textual Statement

Revised March 13, 2008

All property subject to this rezoning (“the Property”) shall be zoned Regional Business (C-4) with a Conditional Use to permit townhouse and multi-family uses in accordance with the requirements specified herein, and with Conditional Use Planned Development to permit use and bulk exceptions as specified herein.

I. Specification of Areas within the Property

The Property is shown on the Chippenham Place Master Plan prepared by Designforum dated February 29, 2008 (“Zoning Plan”), which delineates the general location of the Retail Mixed Use Area, Commercial Mixed Use Area, Office Mixed Use Area, and the Residential Mixed Use Area referred to in this Textual Statement. The boundaries among these Areas may be adjusted, provided that they maintain the same general relationship with each other and with adjacent properties and that the Residential Mixed Use Area cannot be expanded by more than three (3) acres.

II. Definitions

As used in this Textual Statement, these terms shall be defined as follows:

- A. “Over Shop Housing”: multi-family housing in which the multi-family units are located on upper stories above uses permitted in the Regional Business (C-4) District, but not including multi-family uses located above convalescent, nursing and rest homes or group care facilities.
- B. “Senior Housing”: Residential dwellings in any format that meet the requirements of “housing for older persons” as defined in the Virginia Fair Housing Law and in which residents under the age of 19 are prohibited.

III. Permitted Uses

- A. Retail Mixed Use Area. Within the Retail Mixed Use Area, the following uses shall be permitted, subject to the requirements stated in this Textual Statement:
 - 1) Uses permitted in the Regional Business (C-4) District; and
 - 2) Over Shop Housing.
- B. Commercial Mixed Use Area. Within the Commercial Mixed Use Area, the following uses shall be permitted, subject to the requirements stated in this Textual Statement:
 - 1) Uses permitted in the Regional Business (C-4) District;
 - 2) Over Shop Housing;

- 3) Multi-family (subject to phasing requirements in section IV(A)(4)); and
 - 4) Townhouses (subject to phasing requirements in section IV(A)(4)).
- C. Office Mixed Use Area. Within the Office Mixed Use Area, the following uses shall be permitted, subject to the requirements stated in this Textual Statement:
- 1) Uses permitted in the Regional Business (C-4) District;
 - 2) Over Shop Housing;
 - 3) Multi-family (subject to phasing requirements in section IV(A)(4));
 - 4) Townhouses (subject to phasing requirements in section IV(A)(4)); and
 - 5) Single family detached dwellings (subject to phasing requirements in section IV(A)(4)).
- D. Residential Mixed Use Area. Within the Residential Mixed Use Area, the following uses shall be permitted, subject to the requirements stated in this Textual Statement:
- 1) Multi-family;
 - 2) Townhouses and other uses permitted by right or with restrictions in the R-TH Residential Townhouse District;
 - 3) Single-family detached dwellings.

IV. **Required Conditions**

A. Conditions Applicable to Entire Property

- 1) Master Plan. The Zoning Plan and this Textual Statement shall be considered the Master Plan.
- 2) Mixing of Uses. A conceptual plan addressing land use compatibility and transition within the property and with adjacent properties will be submitted for review and approval. Consideration of land use compatibility and transition may include, but not be limited to, the exact location of uses, site design, and appropriate use transitions. The conceptual plan shall be reviewed and approved by the Planning Commission, and such review shall be subject to appeal in accordance with the provisions of the zoning ordinance for site plan approval.
- 3) Residential Unit Maximum. The total number of residential dwelling units on the property shall not exceed 520 dwelling units.

4) Phasing.

- (a) Retail Mixed Use Area, Commercial Mixed Use Area, and Residential Mixed Use Area. A minimum of 400,000 gross square feet of commercial or office uses shall be planned for development within the Retail Mixed Use Area and the Commercial Mixed Use Area as submitted and approved on the required Conceptual Plan, exclusive of the existing Firestone and Bank of America buildings, provided that no more than 50,000 gross square feet of convalescent, nursing and rest homes or group facilities may count toward such 400,000 square foot requirement ("50,000 Square Foot Limitation"). Such development may be phased, provided that, prior to issuance of a building permit for any residential unit except Over Shop Housing, building permits shall have been issued for a minimum of 160,000 gross square feet of commercial or office uses within the Property.
- (b) Commercial Mixed Use Area. Within the Commercial Mixed Use Area, no multi-family or townhouse uses shall be permitted until certificates of occupancy have been issued for a cumulative total of at least 400,000 gross square feet of commercial or office uses within the Property, subject to the 50,000 Square Foot Limitation stated in paragraph 4(a).
- (c) Office Mixed Use Area. Within the Office Mixed Use Area, the following uses shall be permitted only under the conditions stated herein:
 - (i) Townhouses, Residential Condominiums (as defined in paragraph IV(D), and single family dwellings shall be prohibited until one of the following conditions is met, whichever occurs first:
 - i. Certificates of occupancy have been issued for a cumulative total of at least 400,000 gross square feet of commercial or office uses within the Property, subject to the 50,000 Square Foot Limitation stated in paragraph 4(a); or
 - ii. A period of five (5) years commencing on the date of approval of this rezoning has elapsed.
 - (ii) Multi-family (other than Residential Condominiums) shall be prohibited until certificates of occupancy have been issued for a cumulative

total of at least 400,000 gross square feet of commercial or office uses within the Property, subject to the 50,000 Square Foot Limitation stated in paragraph 4(a).

- 5) Maximum Density. The maximum permissible density shall be 450,000 square feet of shopping center, 224,000 square feet of general office, 350 non-condominium multi-family units, 100 townhouses, and 70 single-family dwellings, or equivalent traffic generation as determined by the Transportation Department. At the election of the developer, higher densities may be approved by the Planning Commission if the other requirements of zoning are met.
- 6) Building Height. The maximum building height shall be twelve (12) stories.
- 7) Public Water and Wastewater. The public water and wastewater systems shall be used.
- 8) Public Streets. All roads that accommodate general traffic circulation through the development, as determined by the Transportation Department, shall be designed and constructed to VDOT standards and taken into the State System. Such roads shall be considered special access streets. Except as otherwise specified herein, setbacks from such streets may be reduced or eliminated in accordance with § 19-505(b) of the Zoning Ordinance
- 9) Vehicular Access. Direct vehicular access from the Property to Midlothian Turnpike shall be limited to the three (3) existing access locations, and direct vehicular access from the property to Cloverleaf Drive shall be limited to the one (1) existing access location.

Development of the Property shall include the potential for vehicular access from the Property to the west, south, and east, as shown conceptually on the Zoning Plan. The exact location and number of such future accesses shall be approved by the Transportation Department. Any modifications of these accesses shall be approved by the Transportation Department.

- 10) Parking. If residential units have garages, one parking space within garages shall be counted toward the minimum parking requirements
- 11) Sidewalks, Street Trees and Decorative Lights. Sidewalks, street trees and decorative lights with spacing appropriate for the

adjacent use as reasonably approved by the Planning Department shall be provided along both sides of those portions of internal public streets that have uses fronting the street and where necessary to provide pedestrian connections among the various uses within the Property.

- 12) Landscaping, Sidewalks, and Setbacks Along Midlothian Turnpike. Landscaping in accordance with the requirements for Landscaping H under the Zoning Ordinance shall be provided along Midlothian Turnpike, except that the spacing of trees shall be 40 feet on center, and provided that an alternative landscaping plan may be used if requested by the Developer and approved by the Planning Department provided such alternative meets the spirit and intent of Landscape Standard H. A sidewalk shall be installed running generally parallel to Midlothian Turnpike from the eastern property line to the western property line and located within 300 feet of the ultimate right of way of Midlothian Turnpike. With the exception of the existing Firestone and Bank of America buildings and related facilities, setbacks from Midlothian Turnpike for buildings, drives, and parking areas shall be twenty-five (25) feet.
- 13) Commercial Focal Point and Recreation Areas. Area(s) conveniently accessible to and included within the development totaling not less than 40,000 square feet shall be provided for suitable recreational use by the various uses within the Property. These areas shall include:
 - (a) A minimum of a total of 15,000 square feet in a visible central place within the Retail Mixed Use Area and/or the Commercial Mixed Use Area, to serve as a focal point for the entire development. The first floor uses located around the perimeter of such open area shall predominantly be non-residential uses and shall be oriented to face toward such area. The development around the open area shall be designed in a new-urbanist or neo-traditional design as a "Main Street", having characteristics including: uses fronting, and adjacent to, sidewalks having street trees; pedestrian-scale street lights; benches and other pedestrian features; on-street parking; and plazas and open spaces with benches and fountain. The infrastructure for the "Main Street" area, including open space, on-street parking, sidewalks, street trees, and lighting shall be installed or bonded prior to issuance of the initial certificate of occupancy within the Retail Mixed Use Area; and

- (b) Recreation area(s) with a minimum of 0.50 acres within the Residential Mixed Use Area. Part of such residential recreation area shall have benches or other amenities that accommodate and facilitate gatherings.
- 14) On-Street Parking. Designated on-street parking is to be counted towards the parking space requirement.
- 15) Residential Multi-Family and Townhouse Security. The owner or its successor shall meet the Crime Prevention through Environmental Design (CPTED) standards, whenever practicable, in the design of a multi-family or townhouse project as approved by the Chesterfield County Police Department.

If the project experiences Group A crime incidents above the County average for a year or longer, then the owner or successor shall submit a security plan to the Chesterfield County Police Department for review and approval.
- 16) Drainage. The developer will re-direct as much stormwater runoff as practicable, as determined by the Environmental Engineering Department, from the existing impervious area that drains to the south.
- 17) Timbering. With the exception of timbering that has been approved by the Virginia State Department of Forestry for the purpose of removing dead or diseased trees, there shall be no timbering until a land disturbance permit has been obtained from the Environmental Engineering Department and the approved devices have been installed.
- 18) Architectural Conditions for Commercial, Office, and Mixed Use Buildings. Buildings shall be constructed of modern materials with design elements consistent with the Colonial Revival Style of the late nineteenth and early twentieth centuries. Building materials are to consist of masonry (brick, stone, or split faced block), cementitious siding (hardi siding), EFIS, precast stone, or similar materials. Architectural trim materials shall be constructed of architecturally complimentary materials. Painted block may be used on facades in service areas that are not visible from areas generally accessible to the public.
- 19) Demolition of Existing Structures. All existing buildings on the property shall be demolished except the buildings currently occupied by Firestone and Bank of America.

- 20) Commercial Layout. The non-residential development shall not be designed as a typical suburban “linear” shopping center with all commercial uses facing towards Midlothian Turnpike.

B. Conditions for Single-Family Detached Units

Single-family detached units shall meet the requirements of the R-9 Zoning District except as follows:

- 1) Lot area and width. Each lot shall have an area of not less than 5,000 square feet and a lot width of not less than 40 feet.
- 2) Percentage of lot coverage. No maximum
- 3) Front yard. Minimum of 5 feet in depth. Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- 4) Side yard. Two side yards, each with a minimum of 5 feet in width.
- 5) Corner side yard. Minimum of 10 feet.
- 6) Rear yard. Minimum of 20 feet in depth.
- 7) Setbacks for Accessory Structures
Side: 5 feet minimum
Corner Side: 10 feet minimum
Rear: 2 feet minimum
- 8) Minimum Size. All single family detached dwellings shall have a minimum of 1400 square feet of gross floor area.
- 9) Garages. Front loading garages shall be located no closer to the street than the front façade of the dwelling unit.

C. Conditions for Townhouse Units

- 1) Lot area and width. Each lot shall have an area not less than 1800 square feet and a lot width of not less than 18 feet.

- 2) Percentage of lot coverage. No maximum. No accessory building on any lot except for a private garage shall cover more than 225 square feet.
- 3) Front yard. Minimum of 5 feet in depth. Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- 4) Side yard. A side yard of not less than 2.5 feet in width shall be provided for each end residence in townhouse groups.
- 5) Corner side yard. Minimum of 10 feet.
- 6) Rear yard. Minimum of 10 feet in depth.
- 7) Driveways and parking areas. All roads and parking areas shall have concrete curbs and gutters.
- 8) Group or row design. The total number of lots within each attached group or row of townhouses shall be varied, but in no case exceed fifteen (15), and shall be designed and sited as outlined herein.
- 9) Setbacks for Accessory Structures
 - (a) Front: greater than principal structure
 - (b) Side: 2 feet minimum
 - (c) Corner Side: 10 feet
 - (d) Rear: 2 feet
- 10) Common Areas Between Buildings. A minimum common area of ten feet in width shall be provided for each exposed side, front, and rear of all lots of a block, except the side, front, and rear of any lot or lots fronting or abutting a public street.
- 11) Garages. Front loading garages shall be located no more than 2 feet closer to the street than the front façade of the dwelling unit.
- 12) Minimum Size. All townhouse units shall have a minimum of 1,000 square feet of gross floor area.

D. Conditions for Residential Condominium Units

- 1) Condominium Requirements. All such units must comply with the requirements of the Virginia Condominium Act.

- 2) Integration of Uses. Any residential condominium units shall be integrated with commercial and office uses by locating the units adjacent to a commercial or office use. Vertical integration of commercial, office, and residential units shall be permitted.
- 3) Parking. The minimum number of off-street parking spaces shall be 1.5 spaces per dwelling.

E. Conditions for Non-Condominium, Multi-Family Units

- 1) Integration of Uses. Any non-condominium, multi-family units shall be integrated with commercial and office uses by locating the multi-family use adjacent to a commercial or office use. Vertical integration of commercial, office, and residential units shall be permitted.
- 2) Number of Non-Condominium, Multi-family Units. The maximum number of non-condominium, multi-family units located on the Property shall be 350; provided that such total shall not include Residential Condominiums, Over Shop Housing, or those permitted as Senior Housing.
- 3) Limitation on Number of Bedrooms. A maximum of twenty (20) of the non-condominium multi-family units may exceed two (2) bedrooms.
- 4) Minimum Unit Sizes. Units shall have a minimum gross floor area as follows:
 - (a) Studio: 550 square feet
 - (b) 1 Bedroom: 650 square feet
 - (c) 2 Bedroom: 800 square feet
 - (d) 3 Bedroom: 1050 square feet
- 5) Setbacks. Buildings shall be setback a minimum of five (5) feet from rights of way.
- 6) Building Separation. Buildings shall be separated by a minimum distance of fifteen (15) feet.
- 7) Parking. The minimum number of off-street parking spaces shall be 1.5 spaces per dwelling.

- 8) Amenities. Prior to issuance of a certificate of occupancy for more than fifty (50) multi-family units within the Residential Mixed Use Area, the following recreational facilities shall be completed as determined by the Planning Department:
 - (a) Clubhouse containing a minimum of 2,500 gross square feet;
 - (b) Swimming pool containing at least 800 square feet.

F. Restrictive Covenants

Prior to the approval of the site plan for the condominium and non-condominium multi-family residential project or the recordation of the initial subdivision plat for the townhouse project, restrictive covenants shall be recorded that provide for an architectural review committee (ARC), that, until such time as the multi-family and townhouse projects are completed, shall include one member appointed by the Chesterfield County Board of Supervisors and one member of the Chesterfield County Revitalization Office. The remaining members of the ARC shall consist of developer representatives and property owners.

The restrictive covenants shall be filed and a copy sent to the Chesterfield County Planning Department to include the Architectural Guidelines listed in Exhibit A. The Architectural Guidelines shall not be changed except by a unanimous decision of the ARC.

Exhibit A

Architectural Guidelines

for Multi-Family and Townhouse Projects

These guidelines apply to condominium and non-condominium multi-family and townhouse projects that are not vertically mixed in a building with commercial, office, or other nonresidential uses.

Building Design Style: Buildings shall be constructed of modern materials with design elements consistent with the Colonial Revival Style of the late nineteenth and early twentieth centuries. Design is to be consistent with the following principles:

- A. An orderly, symmetrical relationship between the windows, doors, and building mass, and
- B. Building design style shall be similar to the style illustrated on the attached drawings.

Building Materials: Masonry (brick or stone or similar materials), cementitious siding (hardi siding), EFIS (not to exceed 20% of building materials) and precast stone; trim or accent elements can be constructed of materials architecturally complimentary to the primary building materials.

Building Arrangement: Buildings are to front on streets as much as practicable in an urbanist style. Streetscape improvements (including street trees and pedestrian scale decorative lights) shall be continued along buildings that front parking lots. Open space, as provided for in the Required Zoning Conditions, shall be located in a visible central place to serve as a focal point for the residential neighborhood,

Architectural Features:

1. The side elevation of building units shall have architectural details and exterior finish materials consistent with the front elevation,
2. Windows shall be constructed of wood, vinyl, or polymer. Windows constructed of wood may be clad in vinyl or PVC,
3. Clear glass shall be used in all windows and doors. Stained, frosted and tinted glass is not permitted.
4. Doors shall typically have six raised panels and may incorporate sidelights and transoms,
5. Roof penetrations (vents, flues, attic ventilators, etc.) shall be painted to match the color of the roof. Penetrations shall be placed on the rear of the primary ridge when possible,
6. Front porches/balconies and street porches/balconies shall be open. Screened or enclosed porches are not permitted. Minimum porch/balcony depth shall be six feet. Urban style metal balconies (juliettes) shall be permitted.

CASE NUMBER: 20SN0551

APPLICANTS: Jennifer and Michael Kielb



**CHESTERFIELD COUNTY,
VIRGINIA
MIDLOTHIAN DISTRICT**

**STAFF'S ANALYSIS
AND RECOMMENDATION**

Board of Supervisors (BOS) Public Hearing:

JANUARY 22, 2020

BOS Time Remaining:

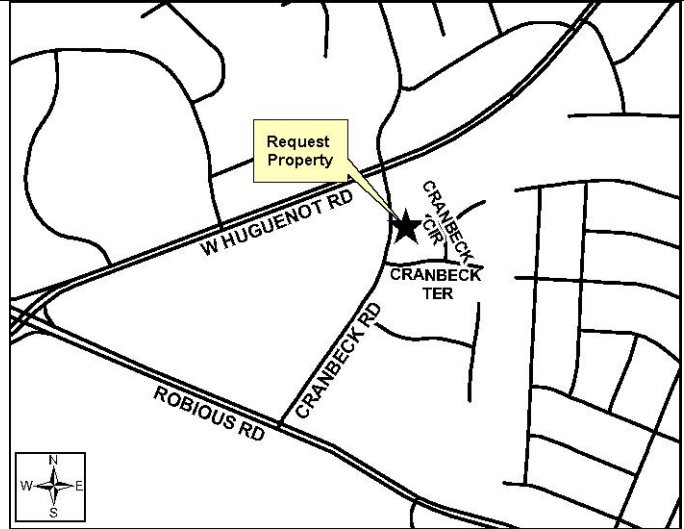
365 DAYS

Applicant's Contact:

MICHAEL KIELB (804-310-1510)

Planning Department Case Manager:

HAROLD ELLIS (804-768-7592)



0.4 Acre – 2302 Cranbeck Circle

REQUEST

Conditional use planned development to permit encroachment of a deck into a rear yard buffer in a Residential (R-12) District.

Notes:

- A. Conditions may be imposed or the property owner may proffer conditions.
- B. Conditions and an Exhibit are located in Attachments 1 and 2.

SUMMARY

The applicant is proposing to replace an existing deck that encroaches into a required buffer along a secondary roadway (Cranbeck Road). A conditional use planned development is requested to replace the existing deck with a new deck in the existing location, with a smaller footprint.

RECOMMENDATION

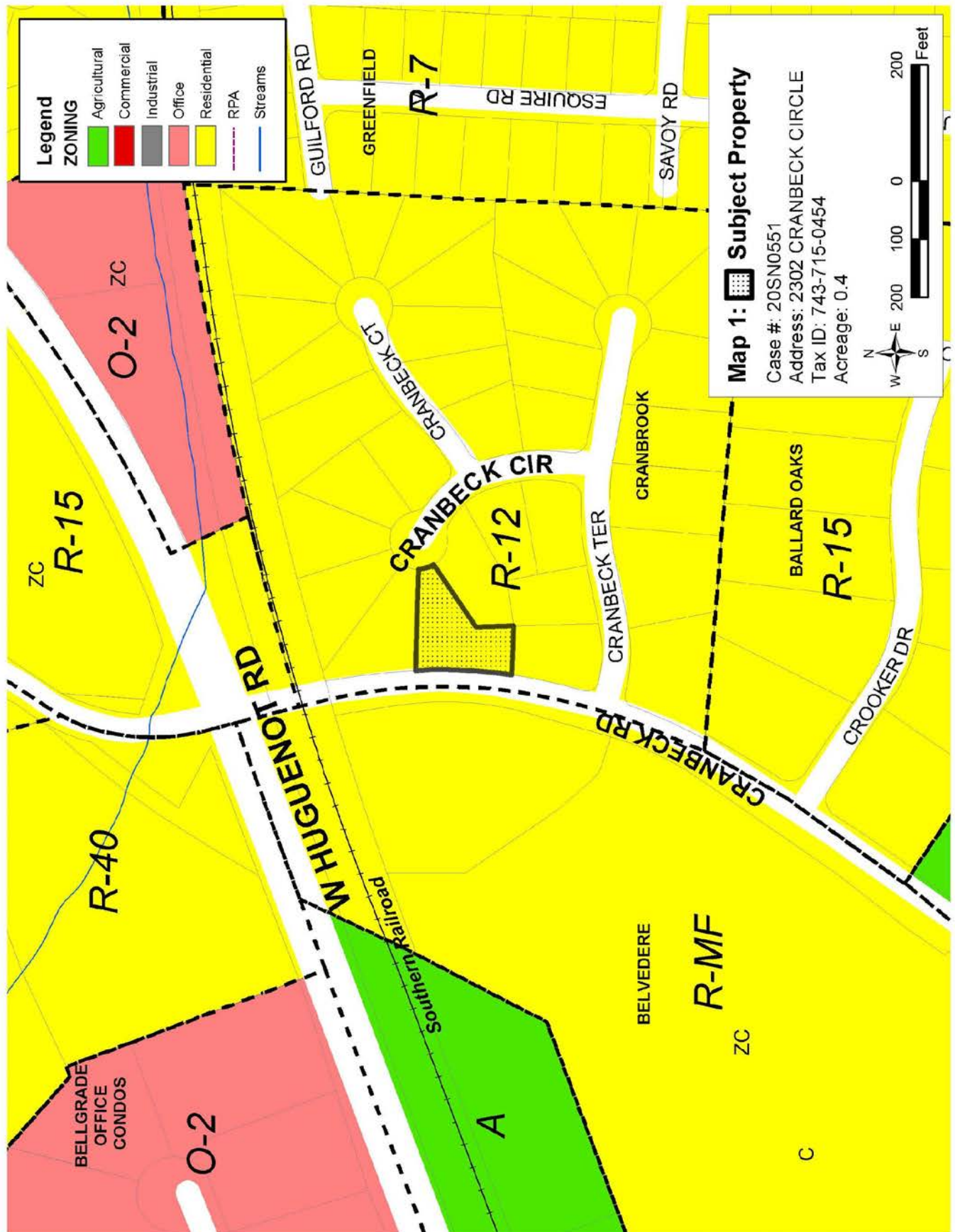
PLANNING
COMMISSION

APPROVAL

STAFF

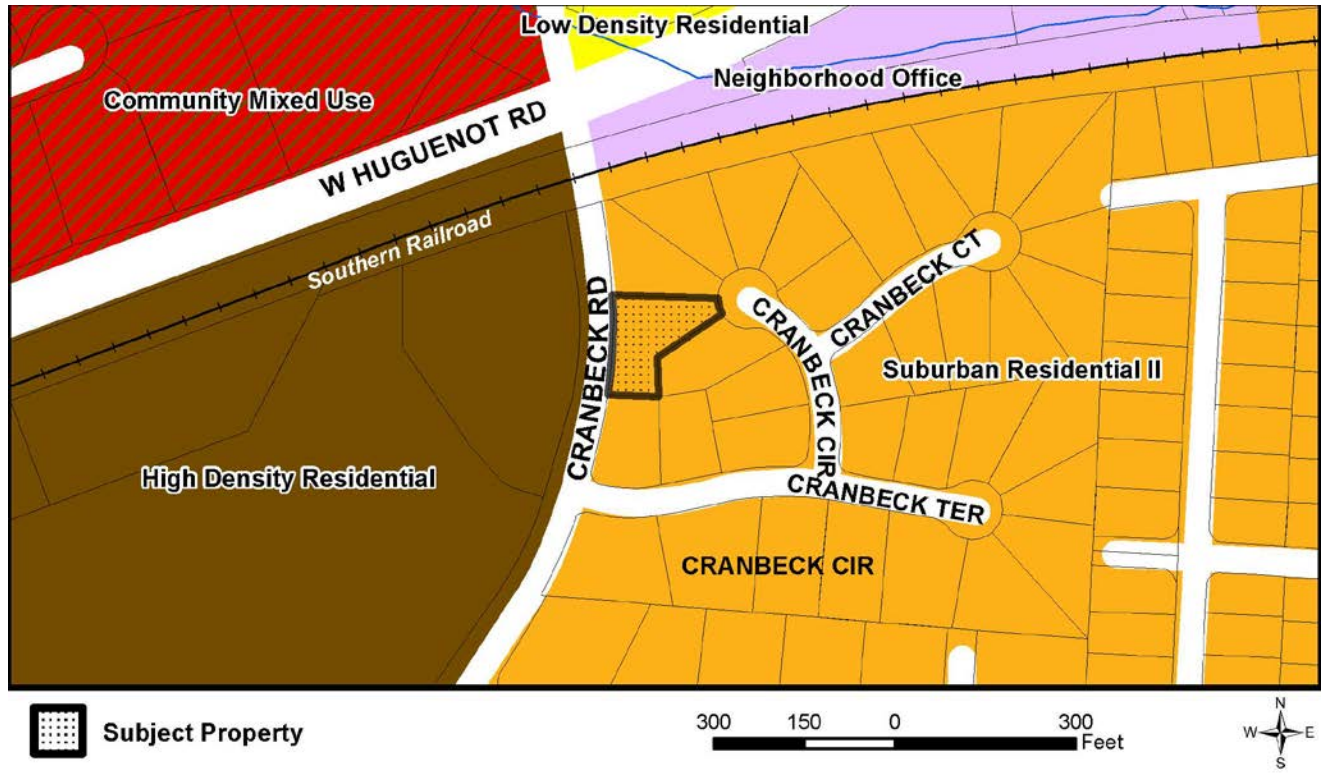
APPROVAL

- Does not impact continuity of existing buffer area due to existing deck
- Similar requests have been approved within the area
- Reduces overall encroachment into the buffer

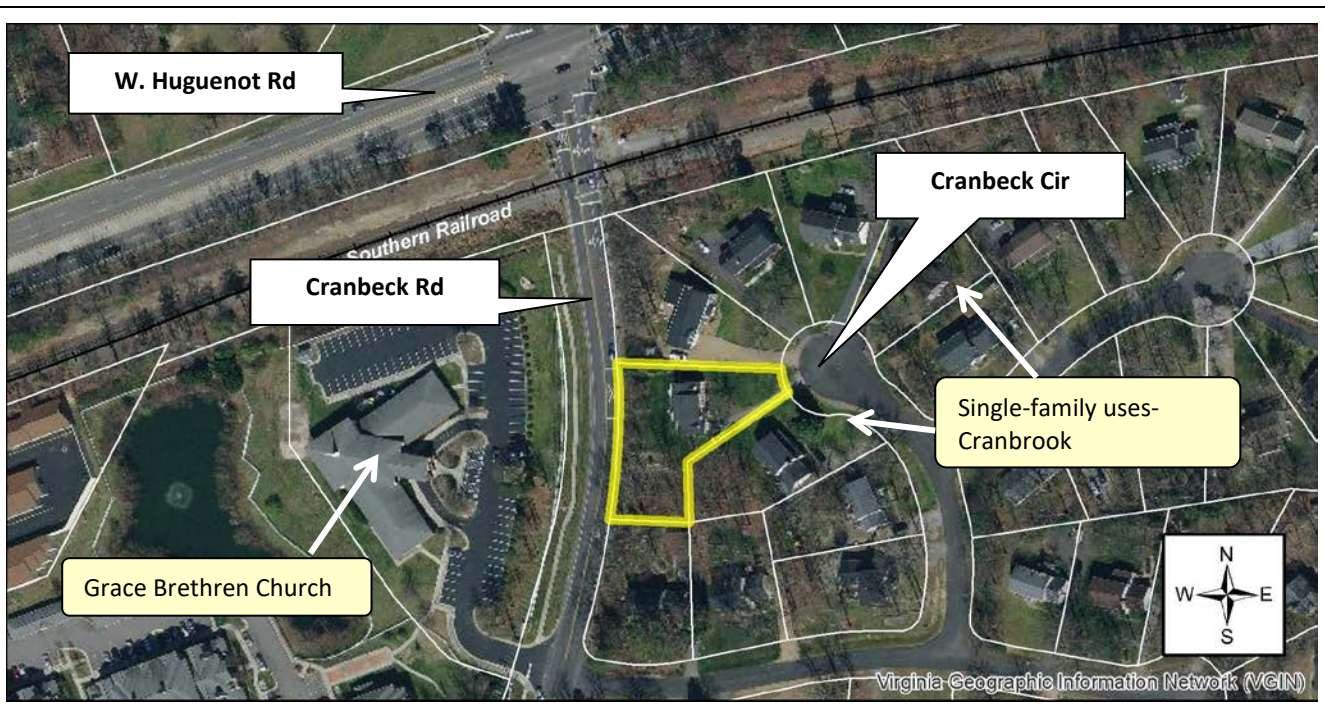


Comprehensive Plan
Classification: SUBURBAN RESIDENTIAL II

The designation suggests the property is appropriate for residential use with a maximum of 2.0 – 4.0 dwellings per acre.



Surrounding Land Uses and Development



PLANNING

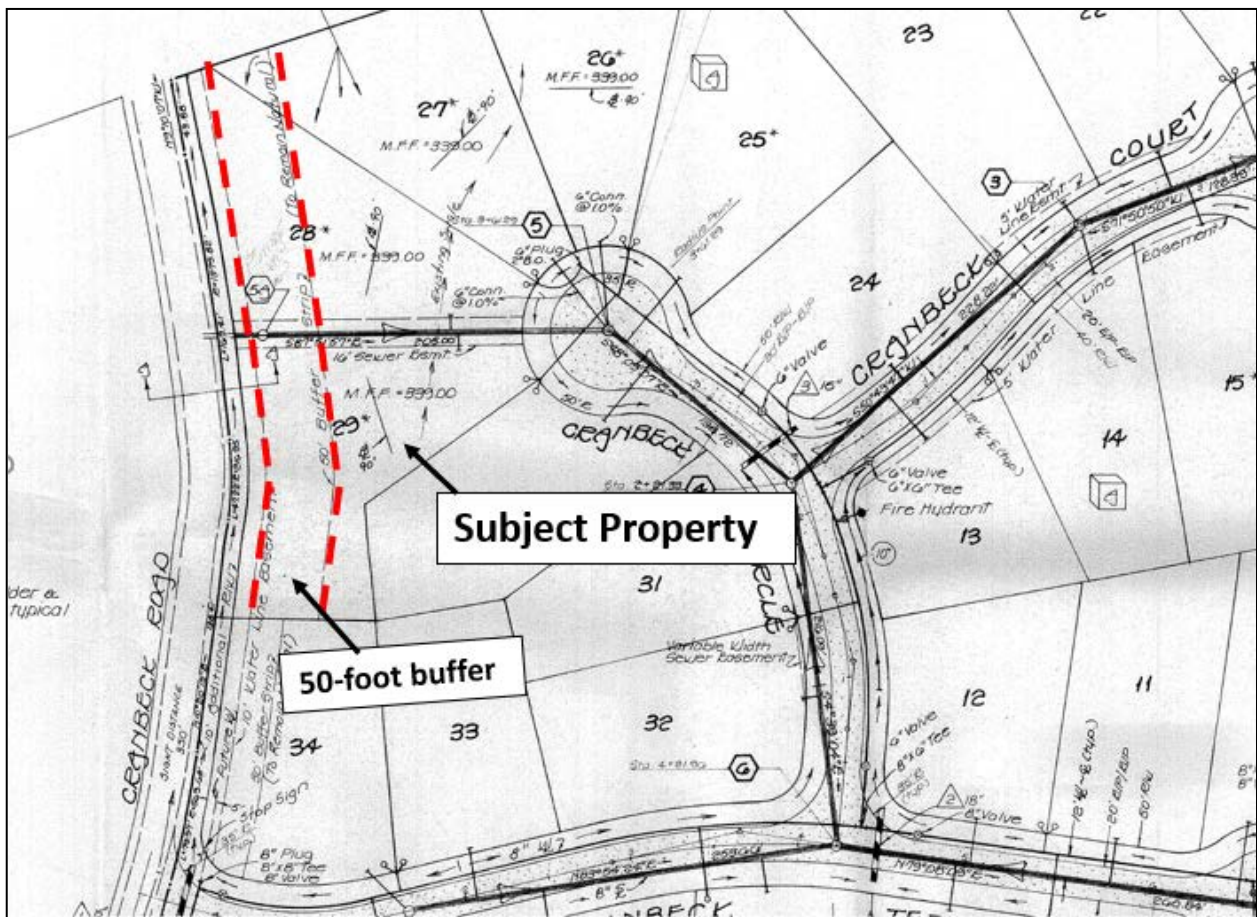
Staff Contact: Harold Ellis (804-768-7592) ellish@chesterfield.gov

Zoning History

Case Number	Request
84SN0015 Approved (3/1984)	<ul style="list-style-type: none">• Subdivision consisting of 34 single-family lots.• Requirement for 50-foot buffer along Cranbeck Road.• Buffer recorded with subdivision plat noted to remain in a natural state• Per ordinance, uses permitted within a buffer would not include buildings

Proposal

The applicant is proposing to replace an existing deck, within a buffer. Attachment 2 of this report provides images of the existing deck and proposed elevations of the replacement deck. The subject property is located within the Cranbrook subdivision, recorded in 1984 (see subdivision plat excerpt at bottom of page). At the time of approval, the plat established a 50-foot buffer along the rear property boundary abutting Cranbeck Road. The area within this buffer was to remain in a natural undisturbed state. The buffer was recorded within the boundaries of privately owned lots and not within common or open space.



Buffer Exception

In August 2019, the applicant contacted the Planning Department relative to replacement of an existing deck within the rear buffer. Both the existing and proposed replacement decks encroach approximately 6-feet into the 50-foot buffer which abuts Cranbeck Road. Given that buildings are not permitted within buffers, relief to permit the encroachment is requested through a Conditional Use Planned Development. The existing deck is approximately 300 square feet and the new deck is approximately 275 square feet. This results in an approximately 25 square foot reduction in encroachment into the buffer.

Cranbeck Road is classified as a secondary roadway, and a privacy fence extends along the subdivision's entire frontage. The fence, in combination with the existing vegetation, assists in buffering the residential use from the roadway.

Staff is supportive of the proposal. Encroachment of the existing deck does not reduce the effectiveness of the buffer, or adversely impact the buffer and the separation of residential lots and the abutting roadway. Further, the new deck as proposed, will result in a smaller footprint than the existing deck, reducing the overall encroachment into the buffer.

Staff believes the conditions listed in Attachment 1 and summarized in the chart below assist in ensuring additional changes are not made to the new deck, and existing screening is maintained.

General Overview	
Requirements	Details
Use and location	Deck is constructed as depicted in Exhibit A <i>Condition 1</i>
Fence	6-foot privacy fence located along rear property boundary <i>Condition 2</i>

COUNTY DEPARTMENT OF TRANSPORTATION Staff Contact: Steve Adams (804) 748-1037 adamsSt@chesterfield.gov
VIRGINIA DEPARTMENT OF TRANSPORTATION Staff Contact: Willie Gordon (804-674-2907) willie.gordon@vdot.virginia.gov
FIRE AND EMERGENCY MEDICAL SERVICES Staff Contact: Anthony Batten (804-717-6167) battena@chesterfield.gov
UTILITIES Staff Contact: Matt Rembold (804-706-7616) remboldm@chesterfield.gov
ENVIRONMENTAL ENGINEERING Staff Contact: Rebecca Ward (804-748-1028) wardr@chesterfield.gov

The proposal will not impact these facilities.

CASE HISTORY

Applicant Submittals

10/07/19	Application submitted
----------	-----------------------

Planning Commission

12/17/19	<p>Citizen Comments: No citizens spoke to the request.</p> <p>Recommendation – APPROVAL SUBJECT TO THE CONDITIONS IN ATTACHMENT 1.</p> <p>Motion: Jones Second: Freye AYES: Jackson, Freye, Jones, Sloan, and Stariha</p>
----------	--

The Board of Supervisors on Wednesday, January 22, 2020, beginning at 6:00 p.m., will consider this request.

CONDITIONS

Note: The following conditions are recommended by both the Planning Commission and Staff.

1. Use and Location. The proposed deck, as depicted on Exhibit A, shall be permitted to be constructed within the 50-foot buffer. No additional structures or improvements shall be permitted within the buffer. (P)
2. Fence. The existing privacy fence shall be maintained in a location generally adjacent to the rear property boundary to reduce the visibility of the deck from Cranbeck Road. (P)

EXHIBIT A

November 20, 2019

Existing Elevations



Left Elevation



Rear Elevation

Right Elevation



Existing Conditions



New Elevations



Left Elevation

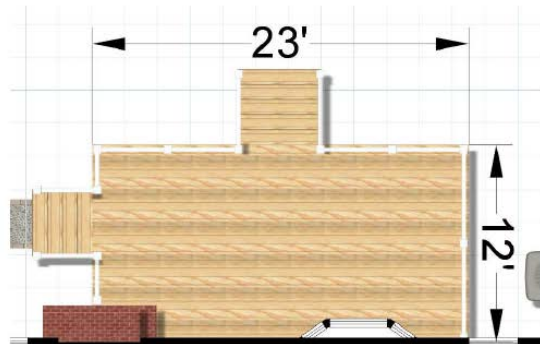


Rear Elevation

Right Elevation



Aerial Elevation





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 17.A.

Subject:

To Consider the Exercise of Eminent Domain for the Acquisition of Permanent Sewer Easements, a Water Easement, and Temporary Construction Easements for the Johnson Creek Force Main Project

Board Action Requested:

Authorize the County Attorney to proceed with eminent domain for the acquisition of permanent sewer easements, a water easement, and temporary construction easements for the Johnson Creek Force Main Project, including the filing of certificates so construction may begin prior to eminent domain proceedings.

Summary of Information:

Staff has made bonafide but ineffective efforts to acquire permanent sewer easements, a water easement, and temporary construction easements for the Johnson Creek Force Main Project. Offers have been made for easements across the following properties: 2127 Burgess Road, Joshua C. Smith; \$2,790.00; 2106, 2108, 2112, 2124, 2130, 2134, 2138 Burgess Road, John B. and Rebecca S. Bishop, \$3,290.00; 2050 Burgess Road, Melissa D. Walker, \$450.00; 2501 Bermuda Hundred Road & 13911 Enon Church Road, Enon, LLC, \$2,900.00; 1901 Bermuda Hundred Road, Richmond Memorial Parks, Inc., \$680.00; 1524 Irvenway Lane, James R. and Phyllis B. Carpenter, \$120.00; 1601 Bermuda Hundred Road, G. Dallas Coons Estate, \$2,025.00; 2400 E. Hundred Road, Josephine K. Nye, et al, heirs of H. M. Frazier, \$1,675.00. These offers have not been accepted. Staff will continue to negotiate with these owners in an effort to reach an agreement.

Approval recommended.

District: Bermuda

Attachments:

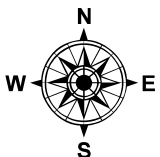
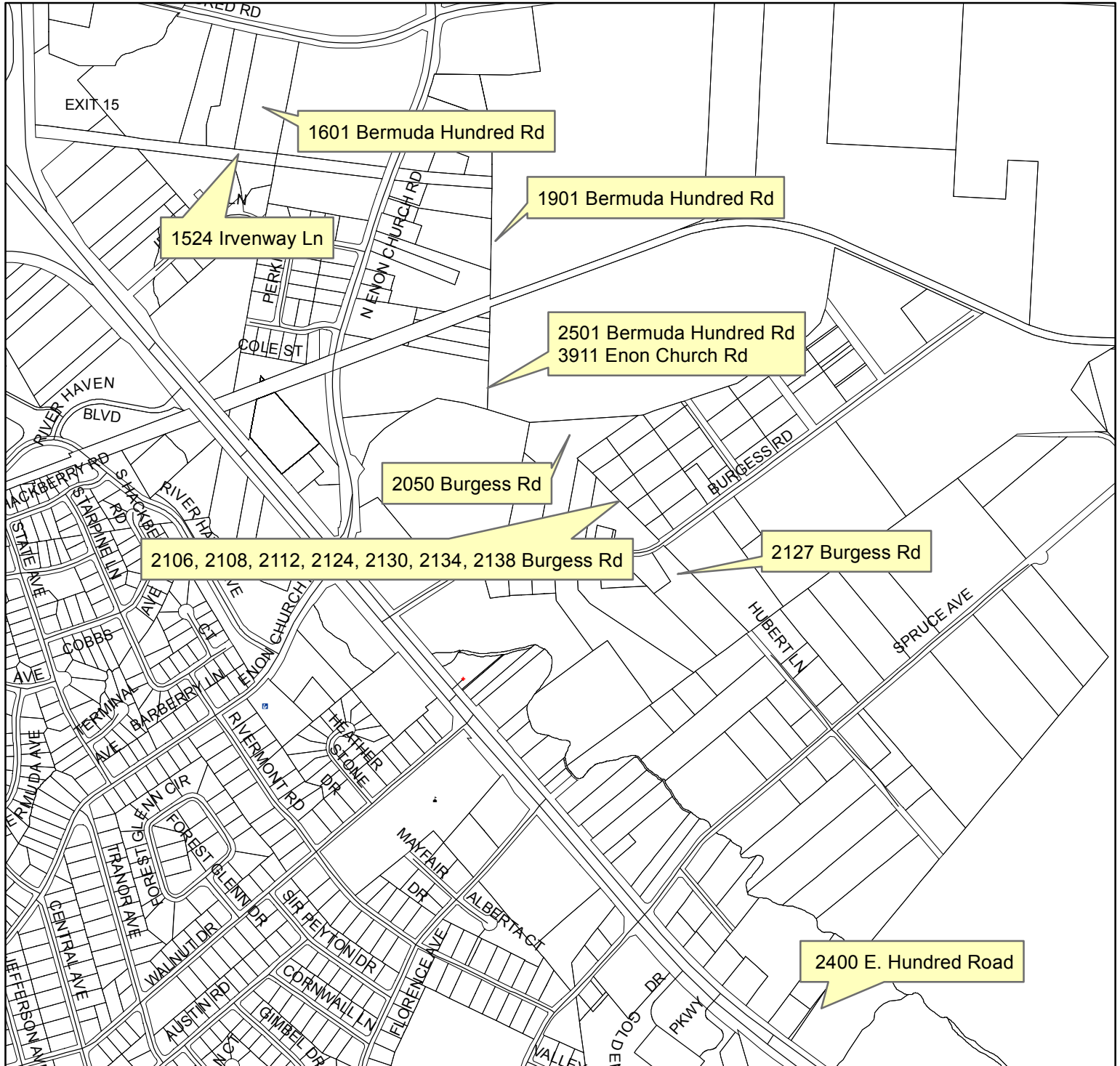
1. Johnson Creek FM Condemnations
2. Johnson Creek Plats 1-14

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

PUBLIC HEARING: Consider the Exercise of Eminent Domain for the Acquisition of Permanent Sewer and Water Easements and Temporary Construction Easements for the Johnson Creek Force Main Project



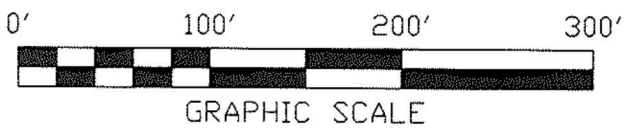
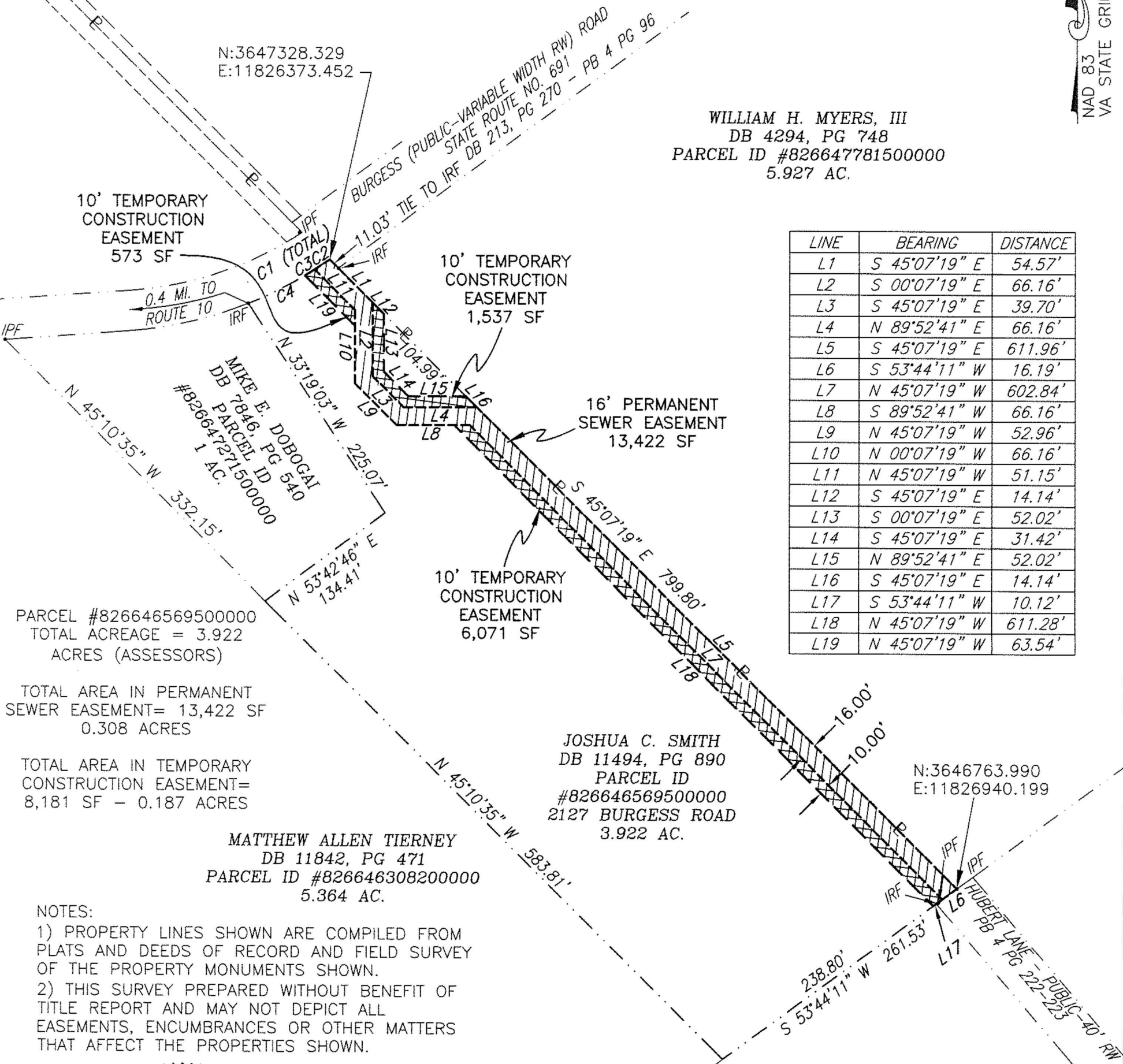
1 inch = 917 feet



[SnowD 01/06/2020]

CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
C1	364.39'	83.79'	83.61'	N 61°31'30" E	13°10'31"
C2	364.39'	16.32'	16.32'	N 56°13'13" E	2°33'58"
C3	364.39'	10.28'	10.28'	N 58°18'42" E	1°37'00"
C4	364.39'	57.19'	57.13'	N 63°36'59" E	8°59'33"

NAD 83
VA STATE GRID-SOUTH ZONE

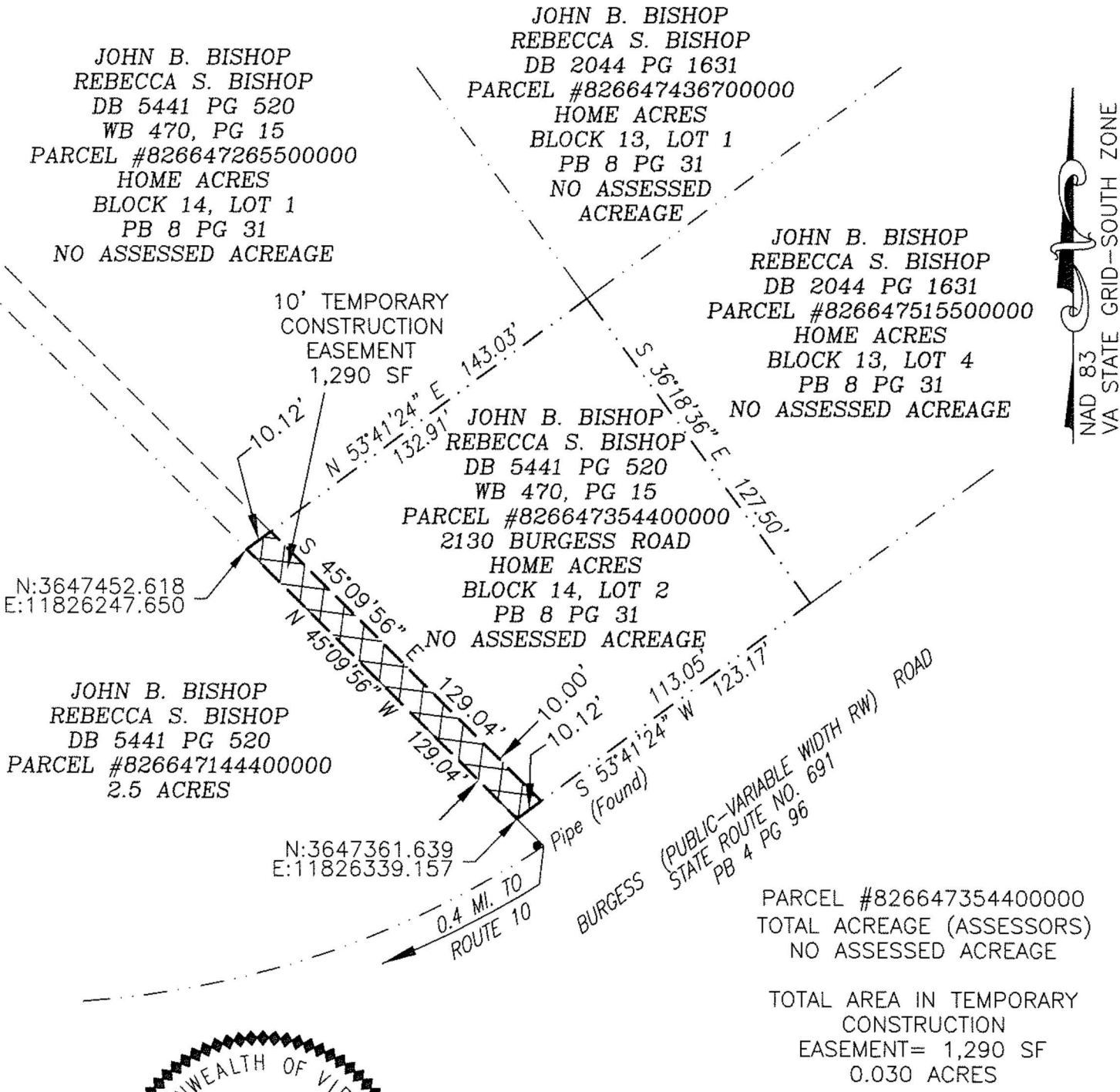


	PRECISION MEASUREMENTS, INC. 1047 TECHNOLOGY PARK DRIVE GLEN ALLEN, VA 23059 (T)804-340-5229 (F)804-340-5228	COUNTY PROJECT NO. 16-0169 PLAT NUMBER _____ SHEET 1 OF 1 RECORDED _____ DB _____ PG _____

PLAT SHOWING A 16' PERMANENT SEWER EASEMENT AND A 10' TEMPORARY CONSTRUCTION EASEMENT TO BE ACQUIRED THROUGH THE PROPERTY OF JOSHUA C. SMITH, BERMUDA MAGISTERIAL DISTRICT, COUNTY OF CHESTERFIELD, VIRGINIA.
SCALE: 1"=100' DATE: JAN. 31, 2018 REV:

CLAUDE R. MITCHELL, JR.
DB: 2255, PG. 1778
PARCEL ID #826646825400000
PT. LOT 1 POPLAR HILLS
PB 4, PG 222-223
2.21 AC.

OWNER: JOHN B. BISHOP AND REBECCA S. BISHOP
PARCEL NO. 826647354400000 DEED BOOK: 5441 PAGE: 520 WILL BOOK: 470 PAGE: 15



NOTES:
1) PROPERTY LINES SHOWN ARE
COMPILED FROM PLATS AND DEEDS OF
RECORD AND FIELD SURVEY OF THE
PROPERTY MONUMENTS SHOWN.
2) THIS SURVEY PREPARED WITHOUT
BENEFIT OF TITLE REPORT AND MAY NOT
DEPICT ALL EASEMENTS, ENCUMBRANCES
OR OTHER MATTERS THAT AFFECT THE
PROPERTIES SHOWN.

PLAT SHOWING A 10 FOOT
TEMPORARY CONSTRUCTION EASEMENT
TO BE ACQUIRED THROUGH THE PROPERTY OF
JOHN B. BISHOP AND REBECCA S. BISHOP
BERMUDA MAGISTERIAL DISTRICT,
COUNTY OF CHESTERFIELD, VIRGINIA.
SCALE: 1"=50' DATE: FEB. 12, 2018 REV:



PRECISION MEASUREMENTS, INC.
1047 TECHNOLOGY PARK DRIVE
GLEN ALLEN, VA 23059
(T)804-340-5229 (F)804-340-5228

COUNTY PROJECT NO. 16-0169
PLAT NUMBER _____
SHEET 1 OF 1
RECORDED _____ DB _____ PG _____

NAD 83
VA STATE GRID--SOUTH ZONE

Page 525 of 563

OWNER: JOHN B. BISHOP AND REBECCA S. BISHOP
PARCEL NO. 826647265500000 DEED BOOK: 5441 PAGE: 520 WILL BOOK: 470 PAGE: 15

JOHN B. BISHOP
REBECCA S. BISHOP
DB 2044 PG 1631
PARCEL #826647348100000
HOME ACRES
BLOCK 4, LOT 4
PB 8 PG 31

JOHN B. BISHOP
REBECCA S. BISHOP
DB 5441 PG 520
WB 470, PG 15
PARCEL #826647156700000
HOME ACRES
BLOCK 3, LOT 2
PB 8 PG 31
NO ASSESSED ACREAGE

NO ASSESSED
ACREAGE

10 FOOT TEMPORARY
CONSTRUCTION
EASEMENT
1,594 SF

JOHN B. BISHOP
REBECCA S. BISHOP
DB 5441 PG 520
WB 470, PG 15
PARCEL #826647265500000
2134 BURGESS ROAD
HOME ACRES
BLOCK 14, LOT 1
PB 8 PG 31
NO ASSESSED ACREAGE

JOHN B. BISHOP
REBECCA S. BISHOP
DB 2044 PG 1631
PARCEL #826647436700000
HOME ACRES
BLOCK 13, LOT 1
PB 8 PG 31
NO ASSESSED
ACREAGE

JOHN B. BISHOP
REBECCA S. BISHOP
DB 2044 PG 1631
PARCEL
#826647515500000
HOME ACRES
BLOCK 13, LOT 4
PB 8 PG 31
NO ASSESSED
ACREAGE

JOHN B. BISHOP
REBECCA S. BISHOP
DB 5441 PG 520
PARCEL #826647144400000
2.5 ACRES

JOHN B. BISHOP
REBECCA S. BISHOP
DB 5441 PG 520
WB 470, PG 15
PARCEL #826647354400000
HOME ACRES
BLOCK 14, LOT 2
PB 8 PG 31
NO ASSESSED ACREAGE

N:3647452.618
E:11826247.650

NOTES:

- 1) PROPERTY LINES SHOWN ARE COMPILED FROM PLATS AND DEEDS OF RECORD AND FIELD SURVEY OF THE PROPERTY MONUMENTS SHOWN.
- 2) THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE REPORT AND MAY NOT DEPICT ALL EASEMENTS, ENCUMBRANCES OR OTHER MATTERS THAT AFFECT THE PROPERTIES SHOWN.



GRAPHIC SCALE

PLAT SHOWING A 10 FOOT
TEMPORARY CONSTRUCTION EASEMENT
TO BE ACQUIRED THROUGH THE PROPERTY OF
JOHN B. BISHOP AND REBECCA S. BISHOP
BERMUDA MAGISTERIAL DISTRICT,
COUNTY OF CHESTERFIELD, VIRGINIA.
SCALE: 1"=50' DATE: FEB. 12, 2018 REV:



PRECISION MEASUREMENTS, INC.
1047 TECHNOLOGY PARK DRIVE
GLEN ALLEN, VA 23059
(T)804-340-5229 (F)804-340-5228

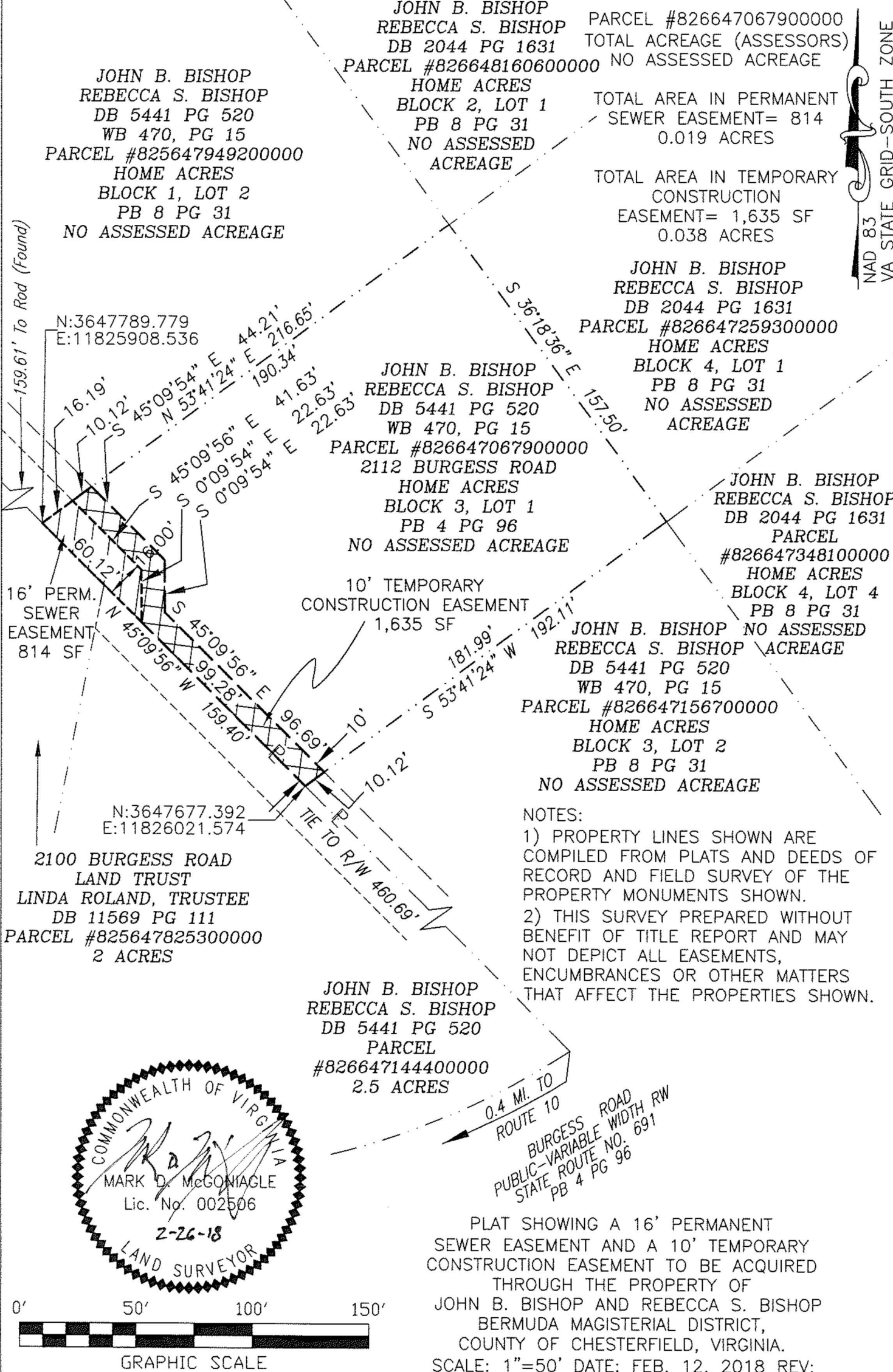
COUNTY PROJECT NO. 16-0169
PLAT NUMBER _____
SHEET 1 OF 1
RECORDED _____ DB _____ PG _____

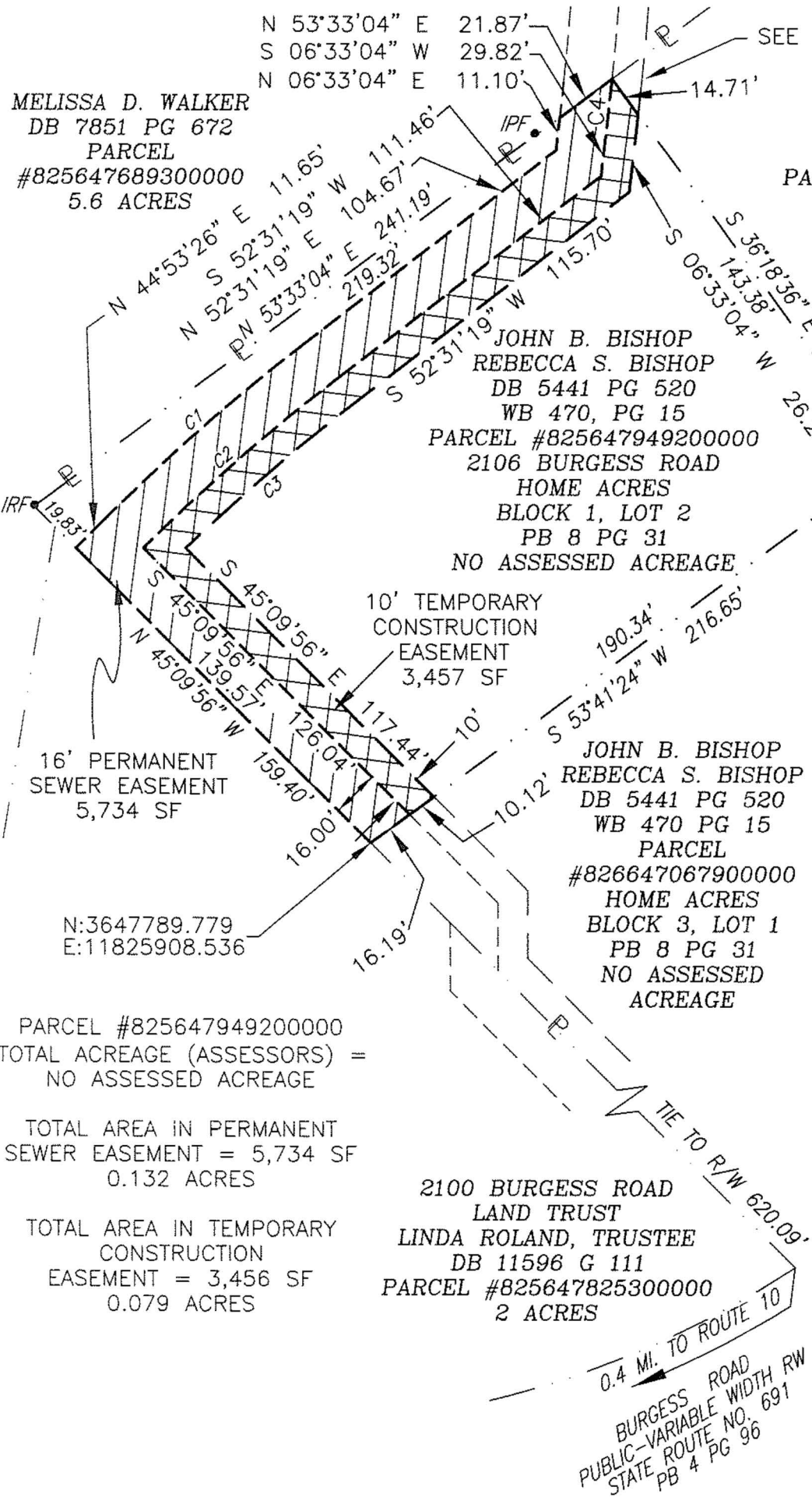
NAD 83
VA STATE GRID-SOUTH ZONE

PARCEL #826647265500000
TOTAL ACREAGE (ASSESSORS)
NO ASSESSED ACREAGE

TOTAL AREA IN TEMPORARY
CONSTRUCTION
EASEMENT= 1,594 SF
0.037 ACRES

OWNER: JOHN B. BISHOP AND REBECCA S. BISHOP
PARCEL NO. 826647067900000 DEED BOOK: 5441 PAGE: 520 WILL BOOK: 470 PAGE: 15





SEE DETAIL BELOW

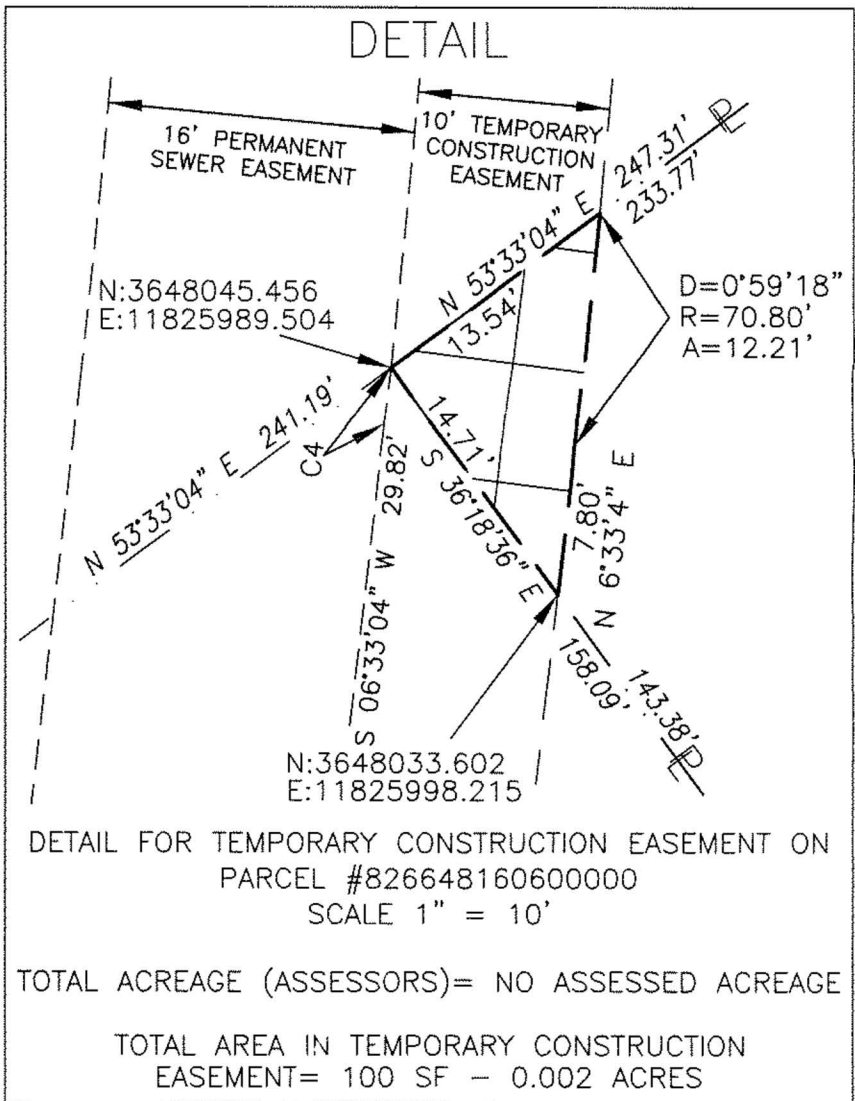
JOHN B. BISHOP
REBECCA S. BISHOP
DB 2044 PG 1631
PARCEL #826648160600000
HOME ACRES
BLOCK 2, LOT 1
PB 8 PG 31
NO ASSESSED ACREAGE

JOHN B. BISHOP
REBECCA S. BISHOP
DB 2044 PG 1631
PARCEL #826647259300000
HOME ACRES
BLOCK 4, LOT 1
PB 8 PG 31
NO ASSESSED ACREAGE

PARCEL #825647949200000
TOTAL ACREAGE (ASSESSORS) =
NO ASSESSED ACREAGE

TOTAL AREA IN PERMANENT
SEWER EASEMENT = 5,734 SF
0.132 ACRES

TOTAL AREA IN TEMPORARY
CONSTRUCTION
EASEMENT = 3,456 SF
0.079 ACRES



CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
C1	698.00'	92.97'	92.90'	N 48°42'22" E	7°37'53"
C2	682.00'	86.47'	86.42'	S 48°53'23" W	7°15'53"
C3	672.00'	75.13'	75.09'	S 49°19'09" W	6°24'21"
C4	698.00'	2.98'	2.98'	S 06°25'43" W	0°14'41"





PRECISION MEASUREMENTS, INC.
1047 TECHNOLOGY PARK DRIVE
GLEN ALLEN, VA 23059
(T)804-340-5229 (F)804-340-5228

COUNTY PROJECT NO. 16-0169
PLAT NUMBER _____
SHEET 1 OF 1
RECORDED _____ DB _____ PG _____

NOTES:
1) PROPERTY LINES SHOWN ARE COMPILED FROM PLATS AND DEEDS OF RECORD AND FIELD SURVEY OF THE PROPERTY MONUMENTS SHOWN.
2) THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE REPORT AND MAY NOT DEPICT ALL EASEMENTS, ENCUMBRANCES OR OTHER MATTERS THAT AFFECT THE PROPERTIES SHOWN.

PLAT SHOWING A 16' PERMANENT
SEWER EASEMENT TO BE ACQUIRED
THROUGH THE PROPERTY OF
JOHN B. BISHOP AND REBECCA S. BISHOP
BERMUDA MAGISTERIAL DISTRICT,
COUNTY OF CHESTERFIELD, VIRGINIA.
SCALE: 1"=60' DATE: FEB. 12, 2018 REV:

NAD 83
VA STATE GRID-SOUTH ZONE

OWNER: MELISSA D. WALKER
PARCEL NO. 825647689300000 DEED BOOK: 7851 PAGE: 672

ENON, LLC
DB 6834, PG 580
PARCEL #826648368100000
BERMUDA HUNDRED ROAD
PARCEL 3
49 ACRES (712.33' DEED/PLAT)

N:3648174.580
E:11825975.981
N 02°47'30" W 19.26'
S 02°47'30" E 19.82'
MELISSA D. WALKER
DB 7851, PG 672
PB 205, PG 64
PARCEL #825647689300000
2050 BURGESS ROAD
5.6 ACRES

16' PERMANENT
SEWER EASEMENT
2,184 SF

10' TEMPORARY
CONSTRUCTION
EASEMENT
1,270 SF

JOHN B. BISHOP
REBECCA S. BISHOP
DB 2044, PG 1631
PARCEL
#826648160600000
HOME ACRES
BLOCK 2, LOT 1
PB 4 PG 96
NO ASSESSED ACREAGE

NOTES:
1) PROPERTY LINES SHOWN ARE
COMPILED FROM PLATS AND
DEEDS OF RECORD AND FIELD
SURVEY OF THE PROPERTY
MONUMENTS SHOWN.
2) THIS SURVEY PREPARED
WITHOUT BENEFIT OF TITLE
REPORT AND MAY NOT DEPICT
ALL EASEMENTS, ENCUMBRANCES
OR OTHER MATTERS THAT
AFFECT THE PROPERTIES SHOWN.

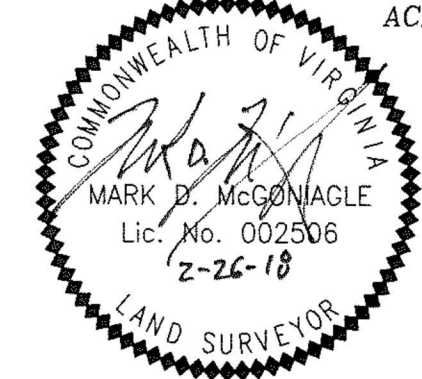
PARCEL #825647689300000
TOTAL ACREAGE = 5.6 ACRES
(ASSESSORS)

TOTAL AREA IN PERMANENT SEWER
EASEMENT= 2,184 SF - 0.050 ACRES

TOTAL AREA IN TEMPORARY CONSTRUCTION
EASEMENT= 1,270 SF - 0.029 ACRES

CURVE	RADIUS	DELTA ANGLE	ARC	CHORD	CHD. BEARING
C1	698.00'	9°05'53"	110.84'	110.72'	S 01°45'27" W
C2	682.00'	9°20'33"	111.21'	111.08'	N 01°52'47" E
C3	708.00'	8°21'15"	103.23'	103.14'	S 01°23'08" W

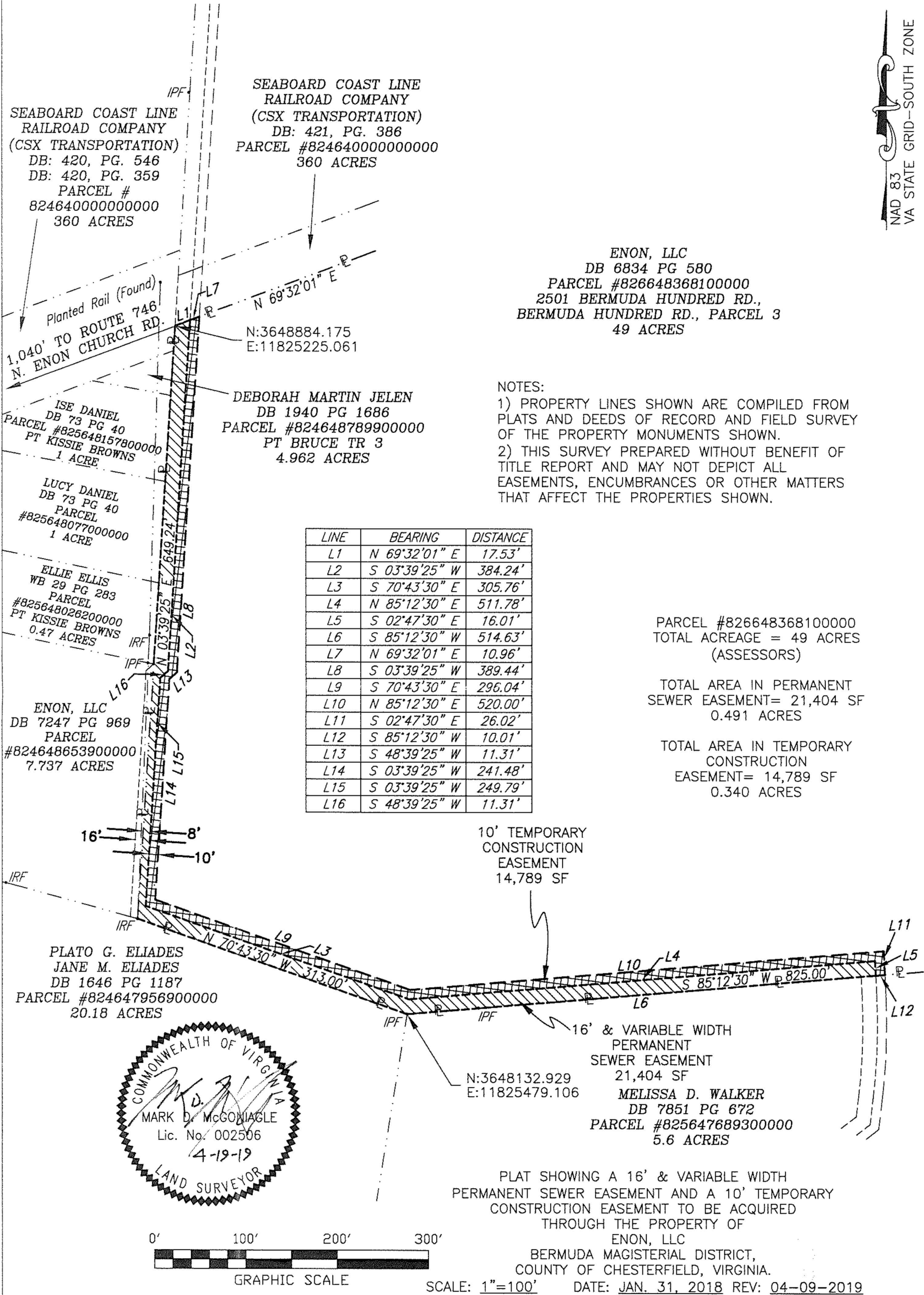
PLAT SHOWING A 16 FOOT PERMANENT
SEWER EASEMENT AND A 10 FOOT TEMPORARY
CONSTRUCTION EASEMENT TO BE ACQUIRED
THROUGH THE PROPERTY OF
MELISSA D. WALKER
BERMUDA MAGISTERIAL DISTRICT,
COUNTY OF CHESTERFIELD, VIRGINIA.
SCALE: 1"=50' DATE: JAN. 31, 2018 REV:



PRECISION MEASUREMENTS, INC.
1047 TECHNOLOGY PARK DRIVE
GLEN ALLEN, VA 23059
(T)804-340-5229 (F)804-340-5228

COUNTY FILE NO. 16-0169
PLAT NUMBER
SHEET 1 OF 1
RECORDED DB PG

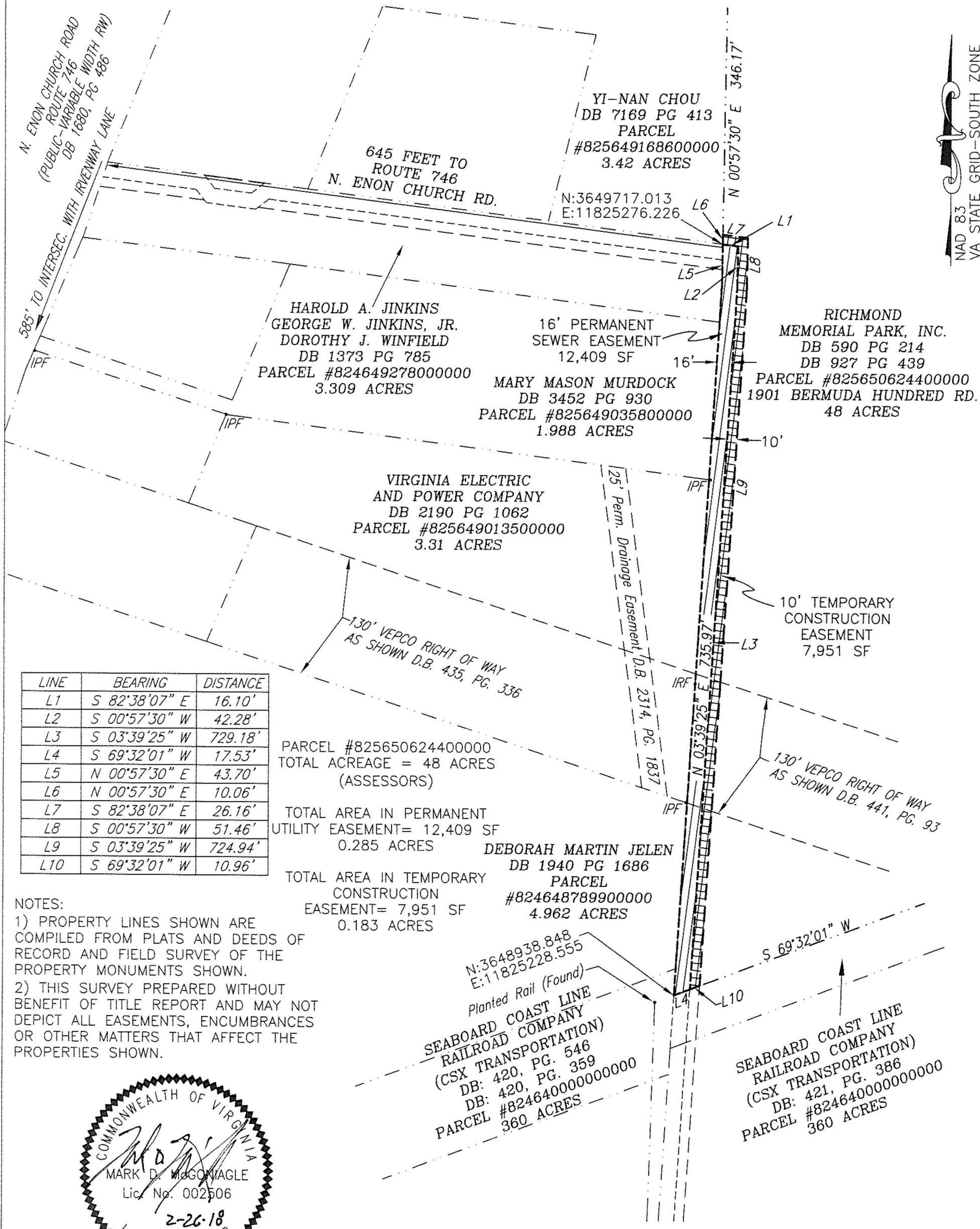
NAD 83
VA STATE GRID--SOUTH ZONE





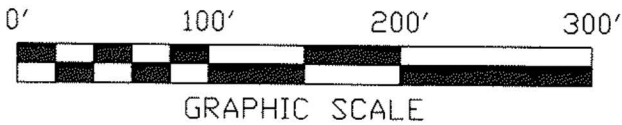
PRECISION MEASUREMENTS, INC.
1047 TECHNOLOGY PARK DRIVE
GLEN ALLEN, VA 23059
(T)804-340-5229 (F)804-340-5228

COUNTY PROJECT NO. 16-0169
PLAT NUMBER _____
SHEET 1 OF 1
RECORDED _____ DB _____ PG _____



LINE	BEARING	DISTANCE
L1	S 82°38'07" E	16.10'
L2	S 00°57'30" W	42.28'
L3	S 03°39'25" W	729.18'
L4	S 69°32'01" W	17.53'
L5	N 00°57'30" E	43.70'
L6	N 00°57'30" E	10.06'
L7	S 82°38'07" E	26.16'
L8	S 00°57'30" W	51.46'
L9	S 03°39'25" W	724.94'
L10	S 69°32'01" W	10.96'

NOTES:
1) PROPERTY LINES SHOWN ARE COMPILED FROM PLATS AND DEEDS OF RECORD AND FIELD SURVEY OF THE PROPERTY MONUMENTS SHOWN.
2) THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE REPORT AND MAY NOT DEPICT ALL EASEMENTS, ENCUMBRANCES OR OTHER MATTERS THAT AFFECT THE PROPERTIES SHOWN.



	PRECISION MEASUREMENTS, INC. 1047 TECHNOLOGY PARK DRIVE GLEN ALLEN, VA 23059 (T)804-340-5229 (F)804-340-5228	COUNTY PROJECT NO. 16-0169 PLAT NUMBER _____ SHEET 1 OF 1 RECORDED _____ DB _____ PG _____
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NOTES:

- 1) PROPERTY LINES SHOWN ARE COMPILED FROM PLATES AND DEEDS OF RECORD AND FIELD SURVEY OF THE PROPERTY MONUMENTS SHOWN.
- 2) THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE REPORT AND MAY NOT DEPICT ALL EASEMENTS, ENCUMBRANCES OR OTHER MATTERS THAT AFFECT THE PROPERTIES SHOWN.

PARCEL #824648653900000
TOTAL ACREAGE = 7.737
ACRES (ASSESSORS)

TOTAL AREA IN PERMANENT
SEWER EASEMENT= 2,192 SF
0.050 ACRES

ELLIE ELLIS
WB 29 PG 283
PARCEL
#825648026200000
PT KISSIE BROWNS
0.47 ACRES

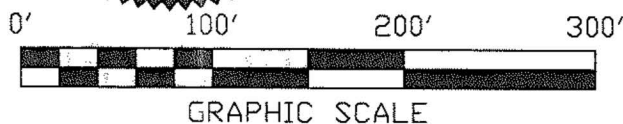
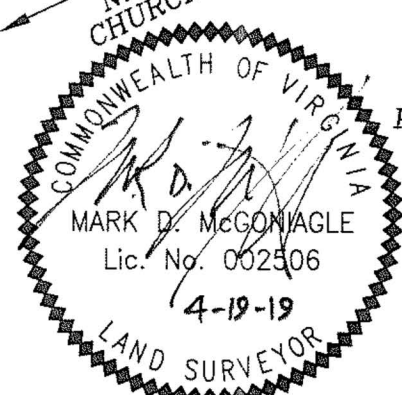
ENON, LLC
DB 7247 PG 969
PARCEL #824648653900000
13911 N. ENON CHURCH RD.
7.737 ACRES

8' WIDE PERMANENT
SEWER EASEMENT
2,192 SF

ENON, LLC
DB 6834 PG 580
PARCEL
#826648368100000
2501 BERMUDA
HUNDRED RD.
BERMUDA HUNDRED RD.
PARCEL 3
49 ACRES

PLATO G. ELIADES
JANE M. ELIADES
DB 1646 PG 1187
PARCEL #824647956900000
20.18 ACRES

PLAT SHOWING A 8' WIDE
PERMANENT SEWER EASEMENT
TO BE ACQUIRED THROUGH THE PROPERTY OF
ENON, LLC
BERMUDA MAGISTERIAL DISTRICT,
COUNTY OF CHESTERFIELD, VIRGINIA.
SCALE: 1"=100' DATE: APRIL 09, 2019 REV:



PRECISION MEASUREMENTS, INC.
1047 TECHNOLOGY PARK DRIVE
GLEN ALLEN, VA 23059
(T)804-340-5229 (F)804-340-5228

COUNTY PROJECT NO. 16-0169
PLAT NUMBER
SHEET 1 OF 1
RECORDED DB PG



ANDREW B. HOLT
ERICA G. HOLT
DB 11700, PG 524
PARCEL ID
#823650553000000
3 ACRES

JOHN GABRIEL ROBERTS
KATHERYN ROBERTS ROSS
BANK OF AMERICA, N.A., TRUSTEE
LUCY OLIVER, TRUSTEE
EDWARD C. ROBERTS, TRUSTEE
WB 143, PG 537
DB 3134, PG 461
DB 4932, PG 806
DB 9617, PG 555
DB 8080, PG 099
PARCEL ID #823650783000000
NO ASSESSED ACREAGE

JOHN GABRIEL ROBERTS
KATHERYN ROBERTS ROSS
BANK OF AMERICA, N.A., TRUSTEE
LUCY OLIVER, TRUSTEE
EDWARD C. ROBERTS, TRUSTEE
WB 143, PG 537
DB 3134, PG 461
DB 4932, PG 806
DB 9617, PG 555
DB 8080, PG 099
PARCEL ID #
823650783000000
NO ASSESSED ACREAGE

JAMES RONALD CARPENTER
PHYLLIS B. CARPENTER
DB 1699, PG 1956
PARCEL ID #823649219100000
1524 IRVENWAY LANE
1.15 ACRES

JAMES RONALD CARPENTER
PHYLLIS B. CARPENTER
DB 1582, PG 360
PARCEL ID #
823649277300000
NO ASSESSED ACREAGE

JAMES F. JORDAN
WILMA JORDAN
DB 9979, PG 637
PARCEL ID #823649697700000
0.908 ACRES

HAROLD A. JINKINS
GEORGE W. JINKINS, JR.
DOROTHY J. WINFIELD
DB: 1373, PG. 785
PARCEL #824649278000000
3.309 ACRES

MT. PLEASANT
BAPTIST CHURCH
DB 3662, PG 38
PARCEL ID #824649116500000
NO ASSESSED ACREAGE

PARCEL #8256450624400000
TOTAL ACREAGE = 1.5 ACRES
(ASSESSORS)

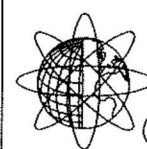
TOTAL AREA IN PERMANENT
SEWER EASEMENT= 4,519 SF
0.104 ACRES

TOTAL AREA IN TEMPORARY
CONSTRUCTION
EASEMENT= 3,076 SF
0.071 ACRES

- NOTES:
- 1) PROPERTY LINES SHOWN ARE COMPILED FROM PLATS AND DEEDS OF RECORD AND FIELD SURVEY OF THE PROPERTY MONUMENTS SHOWN.
 - 2) THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE REPORT AND MAY NOT DEPICT ALL EASEMENTS, ENCUMBRANCES OR OTHER MATTERS THAT AFFECT THE PROPERTIES SHOWN.



LINE	BEARING	DISTANCE
L1	S 82°46'20" E	283.00'
L2	S 14°39'37" W	16.14'
L3	N 82°46'20" W	281.81'
L4	N 10°25'40" E	16.02'
L5	S 14°39'37" W	10.08'
L6	N 82°46'20" W	291.08'
L7	N 10°25'40" E	26.23'
L8	S 81°42'16" E	10.01'



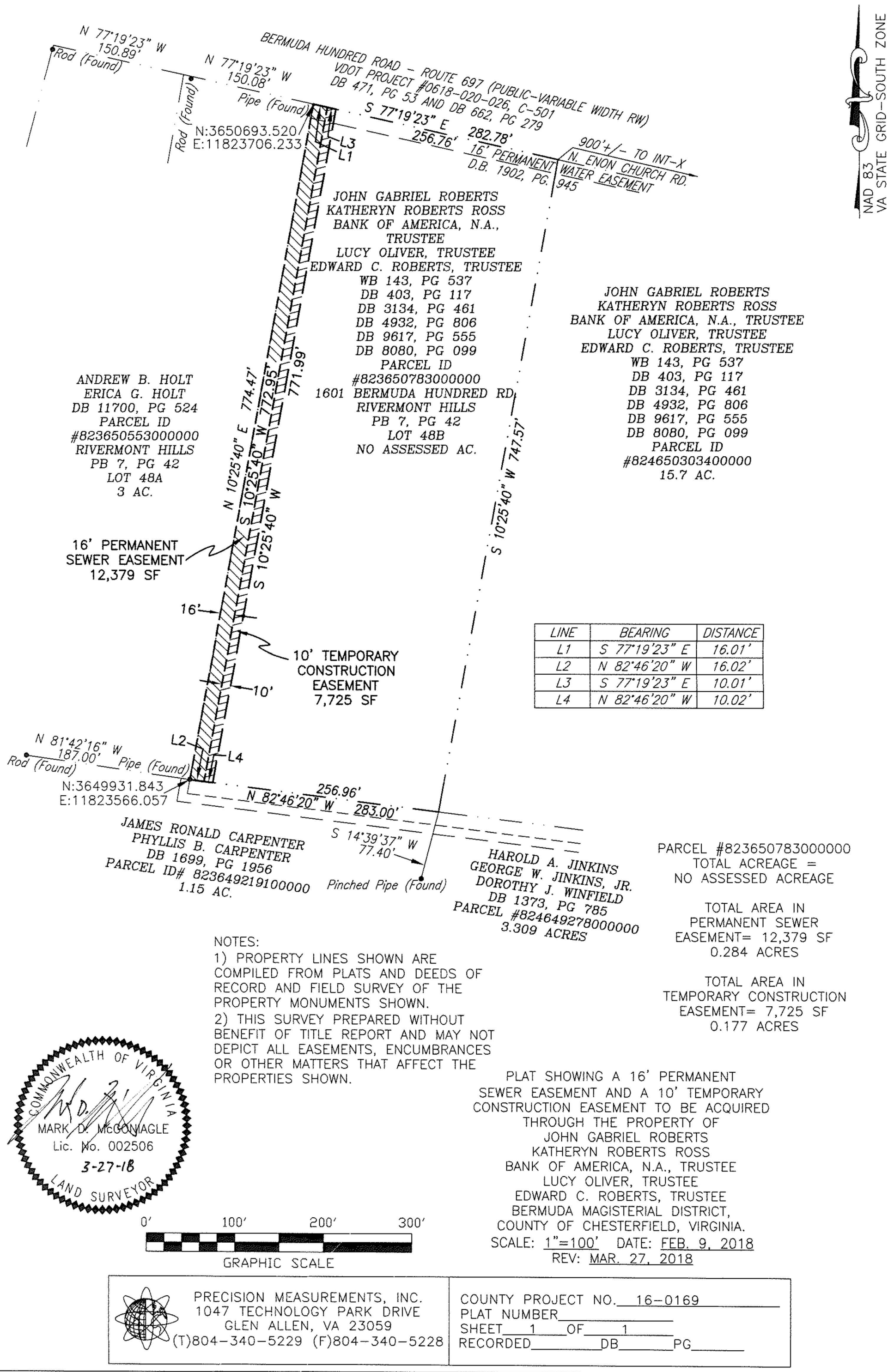
PRECISION MEASUREMENTS, INC.
1047 TECHNOLOGY PARK DRIVE
GLEN ALLEN, VA 23059
(T)804-340-5229 (F)804-340-5228

COUNTY PROJECT NO. 16-0169
PLAT NUMBER _____
SHEET 1 OF 1
RECORDED _____ DB _____ PG _____

PLAT SHOWING A 16' PERMANENT
SEWER EASEMENT AND A 10' TEMPORARY
CONSTRUCTION EASEMENT TO BE ACQUIRED
THROUGH THE PROPERTY OF
JAMES RONALD CARPENTER
PHYLLIS B. CARPENTER
BERMUDA MAGISTERIAL DISTRICT,
COUNTY OF CHESTERFIELD, VIRGINIA.
SCALE: 1"=50' DATE: FEB. 9, 2018 REV:

NAD 83
VA STATE GRID-SOUTH ZONE

OWNER: JOHN GABRIEL ROBERTS, KATHERYN ROBERTS ROSS, BANK OF AMERICA, N.A., TRUSTEE, LUCY OLIVER, TRUSTEE, EDWARD C. ROBERTS, TRUSTEE
PARCEL NO. 823650783000000 WILL BOOK: 143 PAGE: 537,
DEED BOOK: 403 PAGE: 117, DEED BOOK: 9617 PAGE: 555, DEED BOOK: 8080 PAGE: 099



OWNER: H. M. FRAZIER ESTATE
WILL BOOK: 324 PAGE: 570, DEED BOOK: 647 PAGE: 486, DEED BOOK: 729 PAGE: 482,
WILL BOOK: 255 PAGE: 19, WILL BOOK: 314 PAGE: 160, WILL BOOK: 350 PAGE: 926
PARCEL NO. 827644562500000

EDWARD B. CARRAWAY
FRANCES L. CARRAWAY
DB 10575 PG 421
PARCEL #827645810500000
POPULAR HILLS, LOT 29
PB 4, PG 222
NO ASSESSED ACREAGE

COUNTY OF
CHESTERFIELD, VIRGINIA
DB 2190 PG 1457
PARCEL #
829644268800000
196.751 ACRES

N:3644653.644
E:11827673.154
CHURCH OF CHRIST
DB 778 PG 423
PARCEL #
827644405000000
3+/- ACRES

LINE	BEARING	DISTANCE
L1	N 40°33'11" E	375.95' ±
L2	S 57°57'25" E	16.18' ±
L3	S 40°33'11" W	540.07' ±
L4	N 34°54'11" E	162.52'
L5	S 54°56'35" E	4.02' ±
L6	S 40°33'11" W	580.89' ±
L7	N 34°54'11" E	40.63'

H. M. FRAZIER ESTATE
WB 324 PG 570
DB 647 PG 486
DB 729 PG 482
WB 255 PG 19
WB 314 PG 160
WB 350 PG 926
PARCEL #827644562500000
2400 E. HUNDRED ROAD
4.426+/- ACRES

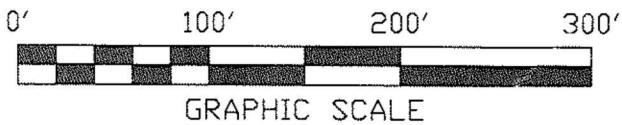
* DIMENSION TO OR ALONG
C/L OF JOHNSON CREEK ARE
THE DIMENSIONS FOR PLAT
CLOSING PURPOSES. ACTUAL
DIMENSIONS AND AREAS
EXTEND TO C/L OF CREEK.

GEORGE S. ELDER
DB 667, PG 515
PARCEL #829643152000000
219.40 ACRES

PARCEL #827644562500000
TOTAL ACREAGE = 4.426+/-
ACRES (ASSESSORS)

TOTAL AREA IN PERMANENT
WATER EASEMENT= 7,328+/- SF
0.168+/- ACRES

TOTAL AREA IN TEMPORARY
CONSTRUCTION
EASEMENT= 2,242+/- SF
0.051+/- ACRES



PLAT SHOWING A 16' PERMANENT
WATER EASEMENT AND A 4' TEMPORARY
CONSTRUCTION EASEMENT TO BE ACQUIRED
THROUGH THE PROPERTY OF
H. M. FRAZIER ESTATE
BERMUDA MAGISTERIAL DISTRICT,
COUNTY OF CHESTERFIELD, VIRGINIA.

SCALE: 1"=100' DATE: MAY 16, 2018 REV: OCTOBER 04, 2019

	PRECISION MEASUREMENTS, INC.	COUNTY PROJECT NO. 16-0169
	1047 TECHNOLOGY PARK DRIVE	PLAT NUMBER
	GLEN ALLEN, VA 23059	SHEET 1 OF 1
	(T)804-340-5229 (F)804-340-5228	RECORDED DB PG



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 17.B.

Subject:

To Consider the Conveyance of County Property at 2900 Bermuda Hundred Road to the Economic Development Authority of the County of Chesterfield

Board Action Requested:

Approve the conveyance of approximately 2.2 acres of county property at 2900 Bermuda Hundred Road to the Economic Development Authority of the County of Chesterfield and authorize the Chairman of the Board and County Administrator to execute the deed.

Summary of Information:

In an effort to improve the development potential of the industrial site located on Bermuda Hundred Road, the EDA is requesting ownership of a 2.2 acre parcel of county property. Staff recommends approval of the conveyance of this property subject to dedication of right of way for a replacement access to the Brown and Williamson conservation area. A public hearing is required to convey county property.

Approval is recommended.

District: Bermuda

Attachments:

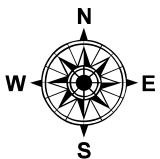
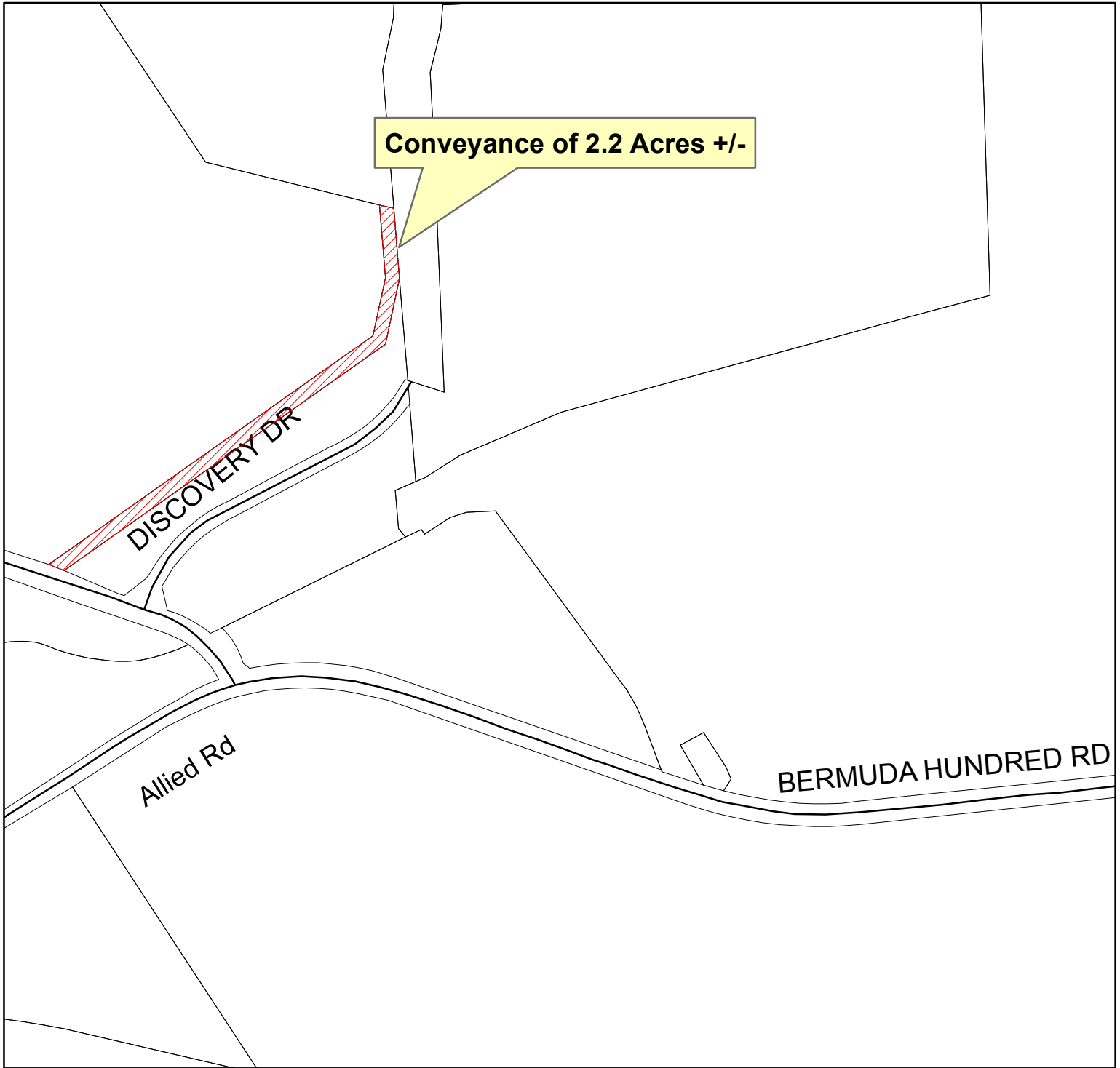
1. co to eda sketch
2. CO to EDA Plat

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

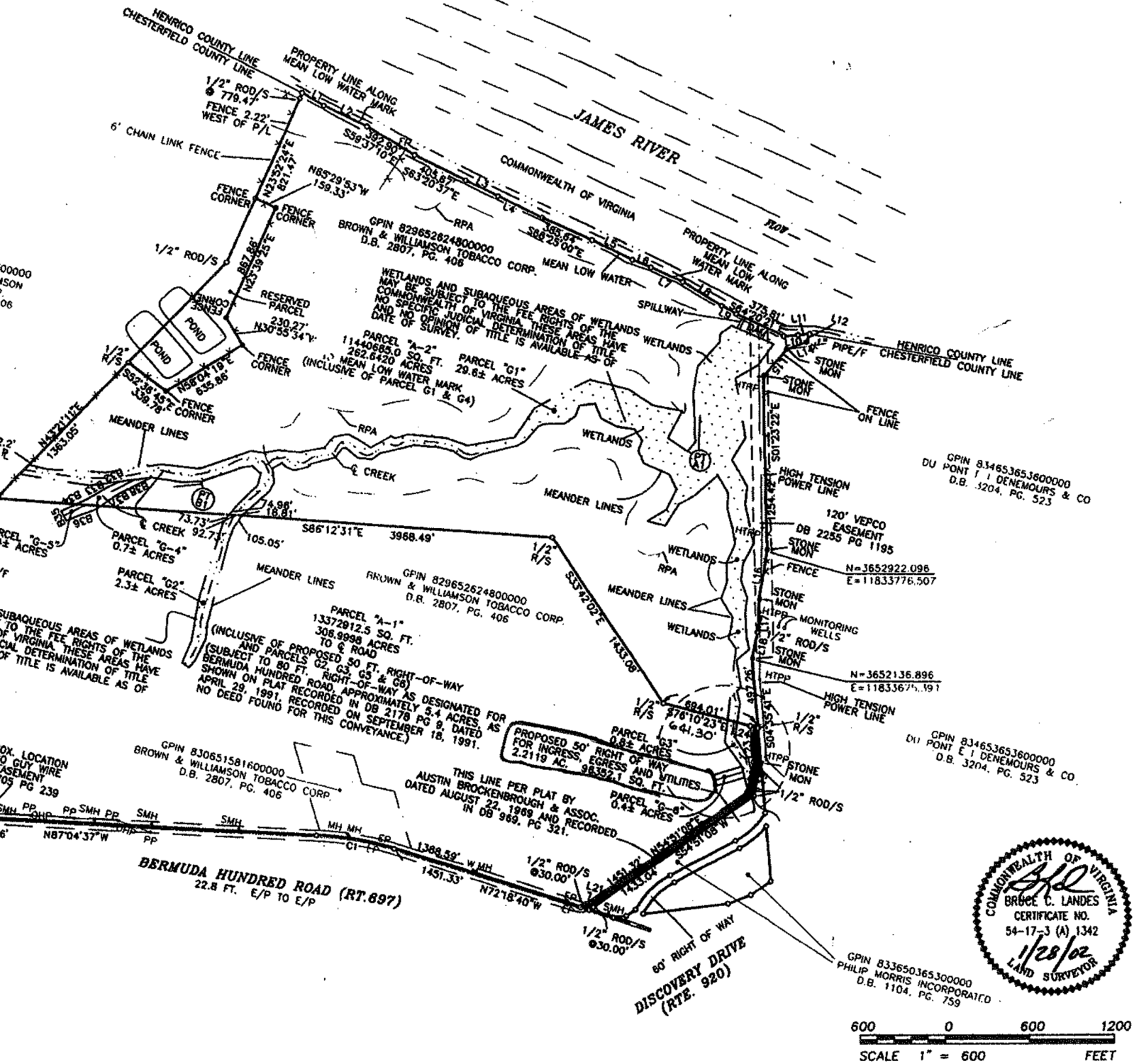
PUBLIC HEARING: To Consider the Conveyance
of County Property at 2900 Bermuda Hundred Road
to the Economic Development Authority of the County
of Chesterfield



1 inch = 500 feet



[duty] 01/09/2020]





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 17.C.

Subject:

To Consider the Exercise of Eminent Domain for the Acquisition of a Permanent Water Easement for the Cowan Road Waterline Improvements Project

Board Action Requested:

Authorize the County Attorney to proceed with eminent domain for the acquisition of a permanent water easement for the Cowan Road Waterline Improvements Project including the filing of a certificate so construction may begin prior to eminent domain proceedings.

Summary of Information:

Staff has reached an agreement for the acquisition of a permanent water easement across the property at 8025 Stiles Road; however, it is necessary to proceed with eminent domain due to the inability to obtain consent from the owners' lender.

Approval is recommended.

DISTRICT: Midlothian

Attachments:

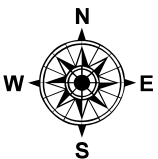
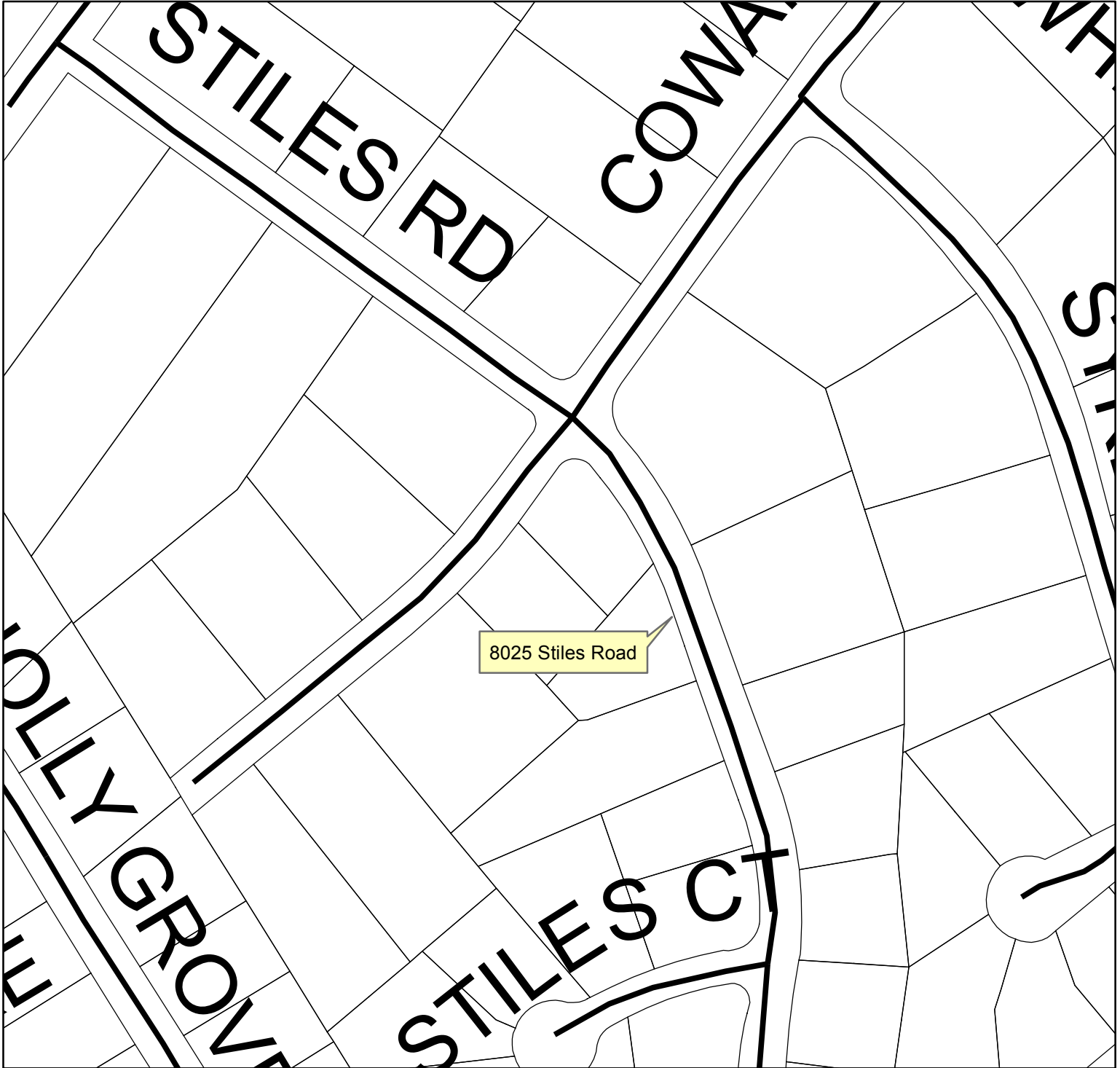
1. Vic Map - Cowan Rd Improvements Parrish
2. Plat

Preparer: John Harmon, Real Property Manager

Approved By:

VICINITY SKETCH

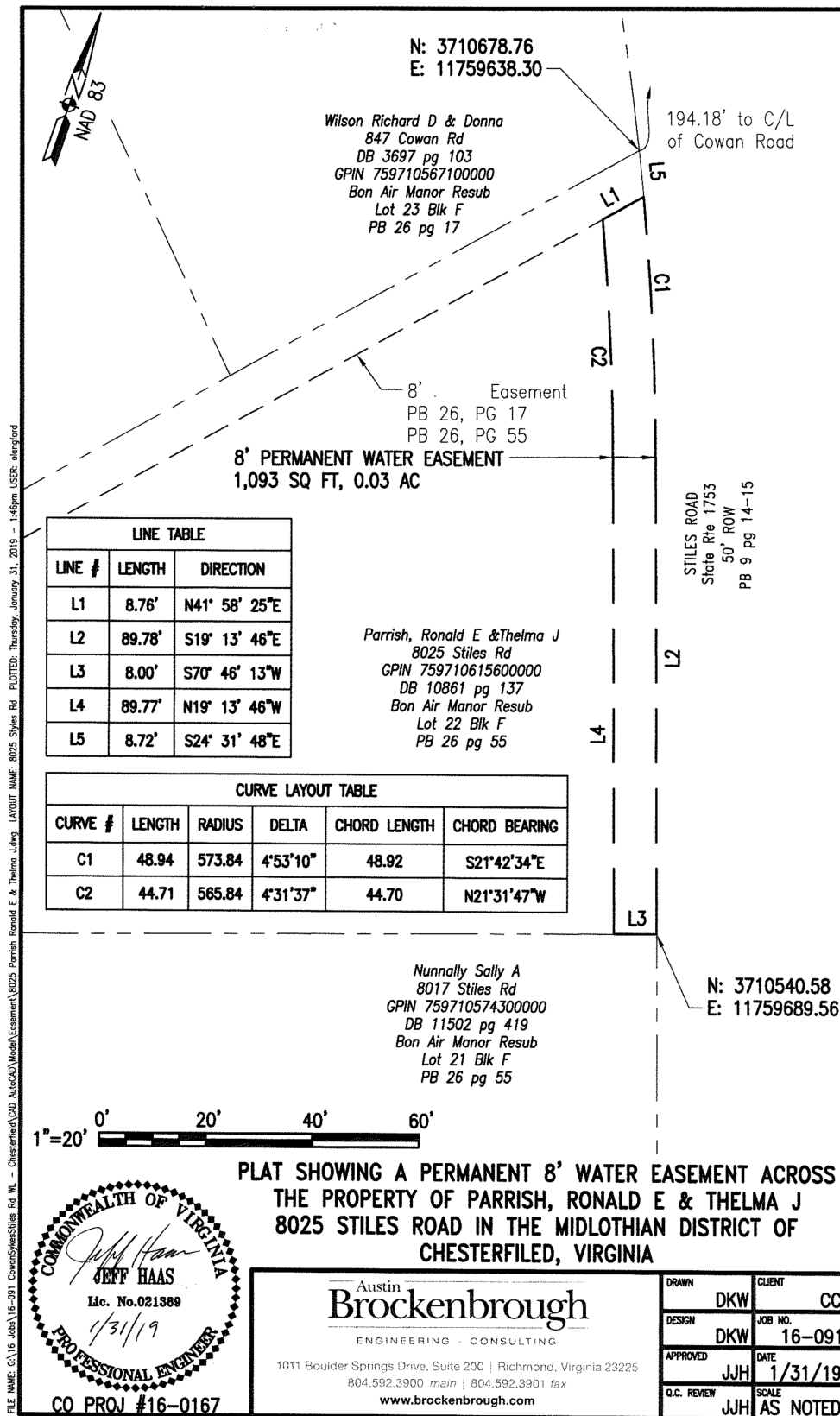
Consider the Exercise of Eminent Domain for the Acquisition of
a Permanent Water Easement for the Cowan Road Waterline
Improvements Project



1 inch = 167 feet



[SnowD 01/07/2020]





**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 17.D.

Subject:

To Consider Code Amendment Relative to Upper Swift Creek Tree Preservation

Board Action Requested:

Following a public hearing adopt attached code amendment.

Summary of Information:

The Planning Commission following a public hearing on November 19, 2019 by unanimous vote approved the attached amendment. The proposed amendment would make changes to the standards related to the mandatory tree canopy preservation in the Upper Swift Creek Watershed (USCW). The changes affect where and how such canopy is provided as well as the percentages of how much is required

In part this amendment addresses concerns related to current methods of canopy preservation within the developments and provides standards that help enhance and ensure the continued benefits of tree canopy in the water quality of the watershed. This amendment would provide that the required canopy be provided in designated areas located within open space, easements (street trees) or specified tree conservation areas if offsite. To offset potential impact of changes the amendment would permit, under certain conditions, lot size reduction of up to twenty percent for lots backing to designated canopy preservation areas or Resource Protection Areas located in open space. In addition, the amendment would require the use of street trees and permit such trees to count towards required canopy.

The authority for tree canopy preservation requirements reside in the state code and our ordinance must comply with its standards. Last year the state code was amended to provide preservation requirements for cemeteries and other changes related to planting standards. As part of this amendment the state code changes are addressed as well as existing canopy preservation provisions that the zoning ordinance did not include relative to sites zoned for commercial or industrial and residential developments of 20 units per acre or more.

Attachments:

1. Chapter 19.1 PH CBPA Tree Preservation Ordinance Amendments BOS no wm

Preparer: Andrew Gillies, Director of Planning

Approved By:



AN ORDINANCE TO AMEND THE CODE OF THE COUNTY OF CHESTERFIELD,
1997, AS AMENDED, BY AMENDING AND REENACTING SECTIONS 19.1-61, 19.1-66, 19.1-71,
19.1-76, 19.1-81, 19.1-92, 19.1-97, 19.1-246, 19.1-247, 19.1-249, 19.1-250, 19.1-252, 19.1-306 &
19.1-545 OF THE ZONING ORDINANCE RELATIVE TO UPPER SWIFT CREEK TREE
PRESERVATION

BE IT ORDAINED by the Board of Supervisors of Chesterfield County:

(1) That Sections 19.1-61, 19.1-66, 19.1-71, 19.1-76, 19.1-81, 19.1-92, 19.1-97, 19.1-246, 19.1-247, 19.1-249, 19.1-250, 19.1-252, 19.1-306 & 19.1-545 of the Code of the County of Chesterfield, 1997, as amended, are amended and re-enacted, to read as follows:

Chapter 19.1

ZONING

OOO

Sec. 19.1-61. Required Conditions R-88 District.

In addition to the other requirements of this chapter, the conditions specified in this section shall be met in an R-88 District.

A. Lot and Building Standards.

Table 19.1-61.A. Required Conditions R-88 District	
A. Lot Standards	
1. Lot area and width	
a. Area (square feet)	88,000 ^{[1][2]}
b. Width (feet)	
1) Fronting on major arterial	300
2) Fronting on other road	150
2. Lot coverage (maximum %)	20
B. Road Frontage for lots intended for dwelling purposes (feet)	
1. Family subdivision lot	15
2. Other lots ^[3]	
a. Permanent cul-de-sac	30
b. Radius of a loop street	30
c. Other roads ^[4]	50
C. Principal Building Setbacks (feet) ^[5]	
1. Front yard ^[6]	
a. Non cul-de-sac	75
b. Permanent cul-de-sac	25
2. Interior side yard	40
3. Corner side yard	
a. Through lot, lot back to back with another corner lot, or lot backing to open space or common area ^[7]	40
b. Other lot	75
4. Rear yard	
a. Non through lot	50
b. Through lot	75
D. Principal Building Heights (maximum) ^[8]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet

Notes for Table 19.1-61.A.

- [1] For lots not having direct access onto a major arterial road, lot area may be reduced to 65,340 square feet or 43,560 square feet with use of public water and wastewater. If lot area is reduced, the maximum number of lots permitted shall be based upon the calculation as shown in Figure 19.1-61.A.
- [2] Subject to the provisions of Chapter 12 relative to use of private onsite water and wastewater facilities, the area of a lot which shares a common boundary with a buffer, ~~or~~ bikeway or tree canopy preservation area may be reduced in accordance with Sec. 19.1-306.
- [3] For flag lots, road frontage may be reduced to 30 feet.
- [4] Frontage on the terminus of a stub street does not meet the requirements for road frontage unless through the preliminary plat review process it is determined that extension of the stub street is not needed to serve future development.
- [5] Setbacks may be impacted by Buffer, Setbacks --Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [6] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [7] Open space or common area shall be a minimum of 15 feet wide for the entire length of the rear property line.
- [8] Height limits are subject to Article IV, Division 2.

2. Other	Lesser of 3 stories or 40 feet
E. Accessory Building Requirements	Subject to Section 19.1-304

000

Sec. 19.1-66. Required Conditions R-40 District.

In addition to the other requirements of this chapter, the conditions specified in this section shall be met in an R-40 District.

A. Lot and Building Standards.

Table 19.1-66. A. Required Conditions R-40 District	
A. Lot Standards	
1. Lot area and width	
a. Area (square feet)	40,000 ^{[1][2]}
b. Width (feet)	150
2. Lot coverage (maximum %)	20
B. Road Frontage for lots intended for dwelling purposes (feet)^[3]	
1. Family subdivision lot	15
2. Other lots	
a. Permanent cul-de-sac	30
b. Radius of a loop street	30
c. Other roads ^[4]	50
C. Principal Building Setbacks (feet)^[5]	
1. Front yard ^[6]	
a. Non cul-de-sac	60
b. Permanent cul-de-sac	25
2. Interior side yard	20
3. Corner side yard	
a. Lots recorded on, or after, 4/1/1974	
1) Through lot, lot back to back with another corner lot, or lot backing to open space or common area ^[7]	30
2) Other lot	55
b. Lots recorded prior to 4/1/1974	30
4. Rear yard	
a. Non through lot	50
b. Through lot	60
D. Principal Building Heights (maximum)^[8]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2. Other	Lesser of 3 stories or 40 feet
E. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-66.A.

- [1] Lot area requirements may be impacted by the availability of public utilities. Refer to Chapter 12.
- [2] The area of a lot which shares a common boundary with a buffer, ~~or~~ bikeway or tree canopy preservation area may be reduced in accordance with Sec. 19.1-306.
- [3] For flag lots, road frontage may be reduced to 30 feet.
- [4] Frontage on the terminus of a stub street does not meet the requirements for road frontage unless through the preliminary plat review process it is determined that extension of the stub street is not needed to serve future development.
- [5] Setbacks may be impacted by Buffer, Setbacks -- Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [6] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [7] Open space or common area shall be a minimum of 15 feet wide for the entire length of the rear property line.
- [8] Height limits are subject to Article IV, Division 2.

OOO

Sec. 19.1-71. Required Conditions R-25 District.

In addition to the other requirements of this chapter, the conditions specified in this section shall be met in an R-25 District.

A. Lot and Building Standards.

Table 19.1-71.A. Required Conditions R-25 District	
A. Lot Standards	
1. Lot area and width	
a. Area (square feet)	25,000 ^{[1][2]}
b. Width (feet)	120
2. Lot coverage (maximum %)	25
B. Road Frontage for lots intended for dwelling purposes (feet)^[3]	
1. Family subdivision lot	15
2. Other lots	
a. Permanent cul-de-sac	30
b. Radius of a loop street	30
c. Other roads ^[4]	50
C. Principal Building Setbacks (feet)^[5]	
1. Front yard ^[6]	
a. Non cul-de-sac	50
b. Permanent cul-de-sac	25
2. Interior side yard	15
3. Corner side yard	
a. Through lot, back to back with another corner lot, or lot backing to open space or common area ^[7]	25
b. Other lot	45
4. Rear yard	
a. Non through lot	40
b. Through lot	50
D. Principal Building Heights (maximum)^[8]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2. Other	Lesser of 3 stories or 40 feet
E. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-71.A.

- [1] Lot area requirements may be impacted by the availability of public utilities. Refer to Chapter 12.
- [2] The area of a lot which shares a common boundary with a buffer, ~~or~~ bikeway or tree canopy preservation area may be reduced in accordance with Sec. 19.1-306.
- [3] For flag lots, road frontage may be reduced to 30 feet.
- [4] Frontage on the terminus of a stub street does not meet the requirements for road frontage unless through the preliminary plat review process it is determined that extension of the stub street is not needed to serve future development.
- [5] Setbacks may be impacted by Buffer, Setbacks -- Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [6] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [7] Open space or common area shall be a minimum of 15 feet wide for the entire length of the rear property line.
- [8] Height limits are subject to Article IV, Division 2.

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Sec. 19.1-76. Required Conditions R-15 District.

In addition to the other requirements of this chapter, the conditions specified in this section shall be met in an R-15 District.

A. Lot and Building Standards.

Table 19.1-76.A. Required Conditions R-15 District	
A. Lot Standards	
1. Lot area and width	
a. Area (square feet)	15,000 ^{[1][2]}
b. Width (feet)	100
2. Lot coverage (maximum %)	30
B. Road Frontage for lots intended for dwelling purposes (feet)^[3]	
1. Family subdivision lot	15
2. Other lots	
a. Permanent cul-de-sac	30
b. Radius of a loop street	30
c. Other roads ^[4]	50
C. Principal Building Setbacks (feet)^[5]	
1. Front yard ^[6]	
a. Non cul-de-sac	40
b. Permanent cul-de-sac	25
2. Interior side yard	
a. Lots recorded after 12/11/1945	15
b. Lots recorded on, or prior to, 12/11/1945	10
3. Corner side yard	
a. Lots recorded on, or after, 4/1/1974	
1) Through lot, lot back to back with another corner lot, or lot backing to open space or common area ^[7]	20
2) Other lot	35
b. Lots recorded prior to 4/1/1974	20
4. Rear yard	
a. Non through lot	25
b. Through lot	40
D. Principal Building Heights (maximum)^[8]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2.	
3. Other	Lesser of 3 stories or 40 feet
E. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-76.A.

- [1] Lot area requirements may be impacted by the availability of public utilities. Refer to Chapter 12.
- [2] The area of a lot which shares a common boundary with a buffer, ~~or~~ bikeway or tree canopy preservation area may be reduced in accordance with Sec. 19.1-306.
- [3] For flag lots, road frontage may be reduced to 30 feet.
- [4] Frontage on the terminus of a stub street does not meet the requirements for road frontage unless through the preliminary plat review process it is determined that extension of the stub street is not needed to serve future development.
- [5] Setbacks may be impacted by Buffer, Setbacks --Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [6] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [7] Open space or common area shall be a minimum of 15 feet wide for the entire length of the rear property line.
- [8] Height limits are subject to Article IV, Division 2.

Sec. 19.1-81. Required Conditions R-12 District.

In addition to the other requirements of this chapter, the conditions specified in this section shall be met in an R-12 District.

A. Lot and Building Standards.

Table 19.1-81.A. Required Conditions R-12 District	
A. Lot Standards	
1. Lot area and width	
a. Area (square feet)	12,000 ^{[1][2]}
b. Width (feet)	90
2. Lot coverage (maximum %)	30
B. Road Frontage for lots intended for dwelling purposes (feet)^[3]	
1. Family subdivision lot	15
2. Other lots	
a. Permanent cul-de-sac	30
b. Radius of a loop street	30
c. Other roads ^[4]	50
C. Principal Building Setbacks (feet)^[5]	
1. Front yard ^[6]	
a. Non cul-de-sac	35
b. Permanent cul-de-sac	25
2. Interior side yard	10
3. Corner side yard	
a. Through lot, lot back to back with another corner lot, or lot backing to open space or common area ^[7]	20
b. Other lot	30
4. Rear yard	
a. Non through lot	25
b. Through lot	30
D. Principal Building Heights (maximum)^[8]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2. Other	Lesser of 3 stories or 40 feet
E. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-81.A.

- [1] Lot area requirements may be impacted by the availability of public utilities. Refer to Chapter 12.
- [2] The area of a lot which shares a common boundary with a buffer, ~~or~~ bikeway or tree canopy preservation area may be reduced in accordance with Sec. 19.1-306.
- [3] For flag lots, road frontage may be reduced to 30 feet.
- [4] Frontage on the terminus of a stub street does not meet the requirements for road frontage unless through the preliminary plat review process it is determined that extension of the stub street is not needed to serve future development.
- [5] Setbacks may be impacted by Buffer, Setbacks --Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [6] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [7] Open space or common area shall be a minimum of 15 feet wide for the entire length of the rear property line.
- [8] Height limits are subject to Article IV, Division 2.

Sec. 19.1-92. Required Conditions R-9 District.

In addition to the other requirements of this chapter, the conditions specified in this section shall be met in an R-9 District.

A. Lot and Building Standards.

Table. 19.1-92.A. Required Conditions R-9 District	
A. Lot Standards	
1. Lot area and width	
a. Area (square feet)	9,000 ^{[1][2]}
b. Width (feet)	75
2. Lot coverage (maximum %)	30
B. Road Frontage for lots intended for dwelling purposes (feet)^[3]	
1. Family subdivision lot	15
2. Other lots	
a. Permanent cul-de-sac	30
b. Radius of a loop street	30
c. Other roads ^[4]	50
C. Principal Building Setbacks (feet)^[5]	
1. Front yard ^[6]	
a. Non cul-de-sac	30
b. Permanent cul-de-sac	25
2. Interior side yard	7.5
3. Corner side yard	
a. Through lot, lot back to back with another corner lot, or lot backing to open space or common area ^[7]	15
b. Other lot	25
4. Rear yard	
a. Non through lot	25
b. Through lot	30
D. Principal Building Heights (maximum)^[8]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2. Other	Lesser of 3 stories or 40 feet
E. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-92.A.

- [1] Lot area requirements may be impacted by the availability of public utilities. Refer to Chapter 12.
- [2] The area of a lot which shares a common boundary with a buffer, ~~or~~ bikeway or tree canopy preservation area may be reduced in accordance with Sec. 19.1-306.
- [3] For flag lots, road frontage may be reduced to 30 feet.
- [4] Frontage on the terminus of a stub street does not meet the requirements for road frontage unless through the preliminary plat review process it is determined that extension of the stub street is not needed to serve future development.
- [5] Setbacks may be impacted by Buffer, Setbacks --Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [6] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [7] Open space or common area shall be a minimum of 15 feet wide for the entire length of the rear property line.
- [8] Height limits are subject to Article IV, Division 2.

Sec. 19.1-97. Required Conditions R-7 District.

In addition to the other requirements of this chapter, the conditions specified in this section shall be met in an R-7 District.

A. Lot and Building Standards.

Table 19.1-97.A. Required Conditions R-7 District	
A. Lot Standards	
1. Lot area and width for lots recorded prior to 1/1/1989 which received tentative plat approval prior to 11/13/1985 and such plat has been properly renewed.	
a. Area (square feet)	7,000 ^[1]
b. Width (feet)	50
2. Lot area and width for lots where tentative approval is received on or after 11/13/1985	
a. Area (square feet)	9,000 ^{[1][2]}
b. Width (feet)	75
3. Lot coverage (maximum %)	30
B. Road Frontage for lots intended for dwelling purposes (feet)^[3]	
1. Family subdivision lot	15
2. Other lots	
a. Permanent cul-de-sac	30
b. Radius of a loop street	30
c. Other roads ^[4]	50
C. Principal Building Setbacks (feet)^[5]	
1. Front yard except for Ettrick Special Design District ^{[6][7]}	
a. Non cul-de-sac	30
b. Permanent cul-de-sac	25
2. Interior side yard	
a. Lots recorded after 12/11/1945	7.5
b. Lots recorded on, or prior to, 12/11/1945	5
3. Corner side yard	
a. Lots recorded on, or after, 4/1/1974	
1) Through lot, lot back to back with another corner lot, or lot backing to open space or common area ^[8]	15
2) Other lot	25
b. Lots recorded prior to 4/1/1974	15
4. Rear yard	
a. Non through lot	25
b. Through lot ^[9]	30
D. Principal Building Heights (maximum)^[10]	
1. Midlothian Core and Chester Corridor East Special Design Districts	Lesser of 2.5 stories or 30 feet
2. Other	Lesser of 3 stories or 40 feet
E. Accessory Building Requirements	Subject to Section 19.1-304

Notes for Table 19.1-97.A.

- [1] Lot area requirements may be impacted by the availability of public utilities. Refer to Chapter 12.
- [2] The area of a lot which shares a common boundary with a buffer, ~~or~~ bikeway or tree canopy preservation area may be reduced in accordance with Sec. 19.1-306.
- [3] For flag lots, road frontage may be reduced to 30 feet.
- [4] Frontage on the terminus of a stub street does not meet the requirements for road frontage unless through the preliminary plat review process it is determined that extension of the stub street is not needed to serve future development.
- [5] Setbacks may be impacted by Buffer, Setbacks--Generally, Permitted Yard Encroachments for Principal Buildings, Floodplain, Chesapeake Bay or Upper Swift Creek Watershed regulations.
- [6] For lots located in Ettrick Special Design District:
 - Between contiguous developed lots, front yard setback may be reduced to the least front yard setback of any principal building on any adjacent lot; or
 - For other developed lots, front yard setback may be reduced to the front yard setback of any principal building on the same side of the street and within 200 feet of the lot.
- [7] Minimum setbacks shall be increased where necessary to obtain the required lot width at the front building line.
- [8] Open space or common area shall be a minimum of 15 feet wide for the entire length of the rear property line.
- [9] For lots located in Ettrick Special Design District:
 - Between contiguous developed lots, through yard setback may be reduced to the least through yard setback of any principal building on any adjacent lot; or
 - For other developed lots, through yard setback may be reduced to the through yard setback of any principal building on the same side of the street and within 200 feet of the lot.
- [10] Height limits are subject to Article IV, Division 2.

Sec. 19.1-246. Landscape Plan Requirements.

Landscape plans shall be submitted to comply with the requirements of this chapter. The director of planning may allow the phasing of landscape installation at the time of plan review.

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B. Detailed Landscape Plan. ~~Unless otherwise provided, upon completion of grading or construction activity, if it is determined that the quality of remaining trees, slopes, drainage or other issues have impacted the landscaping as shown on the conceptual plan, A~~ detailed plan shall be submitted for approval prior to the release of a temporary occupancy permit or recordation of a subdivision final plat. Detailed landscape plans shall be drawn to scale and show the following information:

- ⊖1. information as required on a conceptual plan;
- ⊖2. plant species and sizes for each plant type; and
- ⊖3. details, notes and plan specific requirements.

C. Upper Swift Creek Tree Canopy Plans. Within the Upper Swift Creek Watershed, where a minimum tree canopy is required, the following shall be submitted:

1. **Master Tree Canopy Plan.** ~~Preliminary subdivision plats and any development having multiple phases or sections shall include a tree canopy master plan for review and approval with initial submittal. The tree canopy master plan shall serve as a guide to be followed for each site and construction plan, and shall be updated during the development of the overall project. In conjunction with initial subdivision plat submission, a tree canopy master plan shall be submitted to the planning department for approval for the overall development. The plan shall serve as a guide for the preparation of the required detailed plans.~~ Any revisions to the plan during the development shall be submitted to the planning department for approval. The plan shall graphically delineate areas to be set aside to satisfy tree canopy requirements and the means by which such requirements will be satisfied. For subdivision plats which received approval prior to December 11, 2013 and which required compliance with tree canopy requirements for each subdivision section, then, upon submission of a tree canopy master plan, the director of planning may grant approval to comply with tree canopy requirements on an overall subdivision basis.
2. **Detailed Tree Canopy Plan.** In conjunction with each site plan and subdivision construction plan submission, a detailed tree canopy plan shall be submitted to the planning department for approval ~~for that subdivision section.~~ Upon completion of grading or construction activity, if it is determined that the quality of remaining trees, slopes, drainage or other issues have impacted the tree canopy requirements as shown on the detailed plan, a revised detailed plan shall be submitted for approval prior to the recordation of a subdivision final plat or release of temporary occupancy permit. Such plans shall be prepared in accordance with the requirements for detailed landscape plans per 19.1-246.B..

Sec. 19.1-247. Tree Preservation.

A. Setbacks along Roads and Buffers.

1. **Preservation.** Existing trees and shrubs within required setbacks along roads and buffers shall be retained to provide continuity, improve buffering, and minimize new landscaping that requires watering. At time of plan review, removal of existing healthy vegetation may be approved to accommodate vehicular access or utilities that run generally perpendicular through the setback or buffer, or as necessary to accommodate healthy vegetative growth.
2. **Credits for Preservation.** Healthy existing vegetation may be credited toward landscaping requirements provided it is reasonably distributed throughout the setback, buffer or other required landscape area.
3. **Root Protection Zone during Construction.** Land disturbance other than for access or utilities shall be allowed in setbacks along roads provided that such disturbance is no closer to the tree than the root protection zone. The root protection zone is a one foot radius around the tree for each inch of trunk diameter measured 4.5 feet above grade. However, under no circumstances shall the root protection zone extend beyond the road setback limits.
4. **Upper Swift Creek Watershed Tree Canopy.** Tree preservation shall be required in compliance with Sec. 19.1-545 w~~Within the Upper Swift Creek Watershed, the following requirements address the preservation, planting and replacement of trees destroyed or damaged during single family lot subdivision development or redevelopment, excluding townhouse development:~~

~~a. Tree Canopy Requirements. The following tree canopy shall be achieved at 20 years of maturity:~~

- ~~• Subdivisions with densities of 10 units or less per acre shall have a tree canopy of 20 percent of the acreage; and~~
- ~~• Subdivisions with densities between 10 and 20 units per acre shall have a tree canopy of 15 percent of the acreage.~~

~~For the purposes of calculating the acreage, areas in ponds, non-wooded wetlands, reserved or dedicated school sites, playing fields and other non-wooded recreation areas, or other similar areas or facilities shall be subtracted from the overall subdivision acreage.~~

~~The minimum size standards for new trees shall be in accordance with Table 19.1 250.D. The canopy area of trees shall be determined based upon the Chesterfield County Plant Materials List. Canopy credit for trees not included on the list may be granted based on credible published documentation. Preserved trees and wooded areas may be credited toward the canopy requirements if the trees meet standards of desirability and life year expectancy, as determined by the planning department.~~

- b. ~~Exceptions. Upon written request by the developer, the planning department may approve reasonable exceptions to the Upper Swift Creek Canopy requirements to allow for the reasonable development of areas devoid of healthy or suitable woody materials, preservation of wetlands, or when the strict application would result in unnecessary or unreasonable hardship to the developer. In such instances, the planning department may allow a portion of a development's tree canopy requirement to be satisfied by a tree canopy bank, or by off-site planting or replacement of trees, all of which shall be located within the Upper Swift Creek Watershed.~~

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Sec. 19.1-249. Maintenance Requirements.

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- B. **Water Supply for Sites Requiring Site Plan Approval**. Except as specified herein, a readily available water supply shall be provided for required landscaped areas. The exceptions are as follows:

- 1. In I-1-2 and I-3 Districts, a readily available water supply shall only be required in the setback along roads which accommodate or are intended to accommodate through traffic;
- 2. Landscaped areas in stormwater management or BMP facilities;
- 3. Landscaped areas planted with drought tolerant plants listed in the Chesterfield County Plant Materials List; or
- 4. Properties that provide a continuous maintenance, watering, and replacement program for plant materials with a reputable landscape maintenance company for a minimum of 3 years.

C. **Landscape Replacement**.

1. With the exception of trees required to meet the canopy requirements within the Upper Swift Creek Watershed, required landscaping which is removed, becomes unhealthy or dies, or -is pollarded shall be replaced during the next planting season.
2. Required trees or shrubs which are removed from within required setbacks from roads or buffers without written approval from the planning department shall be replaced at a ratio of 2 trees or shrubs for each tree or shrub removed, or other treatment as may be approved by the planning department.
3. Within the Upper Swift Creek Watershed, trees required to meet the canopy requirements ~~and located in open space maintained by a homeowners' association, in a perpetual conservation easement, or on individual lots on which a certificate of occupancy has not been issued~~ which are removed without written approval from the planning department, become unhealthy or die, or are pollarded shall be replaced unless the planning department determines that the replacement is unnecessary to meet the tree canopy requirements.

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Sec. 19.1-250. Landscape Design, Installation, Quality and Size Standards.

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- C. **Quality.** At time of planting, required landscaping shall be alive and in a healthy condition. Plant materials shall conform to the standards of the most recent edition of the *American Standard for Nursery Stock*, published by the ~~American Nursery and Landscape Association~~American Hort. Native species shall be those outlined on the Chesterfield County Plant Materials List. Within the Upper Swift Creek Watershed, the planting of trees to meet tree canopy requirements shall be in accordance with either the standardized landscape specifications jointly adopted by the Virginia Nursery and Landscape Association, the Virginia Society of Landscape Designers and the Virginia Chapter of the American Society of Landscape Architects, or the road and bridge specifications of the Virginia Department of Transportation.

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Sec. 19.1-252. Street Tree Requirements.

- A. **Tree Wells.** Tree wells in a sidewalk along a road or drive shall have a minimum area of 75 square feet by 3 feet deep and contain an uncompacted soil mix favorable for healthy tree growth. If approved at time of plan review, a portion of the area may be located underneath the sidewalk. The area shall have a sub-drain tied to the storm sewer system. For properties requiring site plan approval, the tree wells shall be irrigated.

B. Street Trees Required. Street trees shall be required as follows:

1. As specified in this chapter;
2. R-TH and MH-3 subdivisions;
3. Upper Swift Creek Watershed, single-family residential subdivision receiving preliminary plat approval after {date of adoption}; and
4. Upper Swift Creek Watershed, single-family residential subdivision where lots did not receive preliminary plat approval but received construction plan approval after {date of adoption}.

C. Street Trees. ~~in R-TH and MH-3 subdivisions,~~ Unless otherwise specified in this chapter street trees shall comply with the following requirements:

1. Sstreet trees shall be installed ~~on~~ along both sides of roads and ~~any driveways private pavement~~ serving multiple units excluding alleys:-
2. Unless otherwise provided in this chapter, or as ~~required~~ permitted during plan review, street trees shall be large deciduous trees spaced generally a maximum of 40 feet on center; however, if large deciduous trees will conflict with overhead utility lines, small deciduous trees spaced ~~a maximum of~~ generally 40 feet on center shall be installed:-
3. Trees shall either be installed within the right-of-way, or a maximum of 5 feet outside of the right-of-way. In a subdivision, if the trees are planted outside of the right-of-way, they shall be located in an easement granted to the homeowners' association:-

4. Tree species shall be those species designated for use as a street tree in the Chesterfield County Plant Materials Listsuitable for growing in the county's vegetative zone and be drought tolerant; and
- B.5. Within the Upper Swift Creek Watershed eligible street trees installed within tree wells may be credited towards tree canopy requirements under 19.1-545 if designated through plan review.

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Sec. 19.1-306. Lot Area Reduction in R Districts for Bikeways, ~~and Buffers,~~ and Tree Canopy Preservation.

In R Districts required lot area may be reduced in accordance with this section. In no case shall the lot area reductions provided in this section be combined so as to have a lot area reduction of more than 20 percent.

1. **Bikeways and Buffers.** In R Districts, the required lot area may be reduced by 20 percent when the lot shares a common boundary with one of the following:

- a. a bikeway required by Sec. 19.1-208. constructed in conjunction with the development of the affected lot, and right-of-way in excess of the ultimate right-of-way is dedicated free and unrestricted, to and for Chesterfield County, to accommodate the facility;
- b. a bikeway required by Sec. 19.1-208. constructed in conjunction with the development of the affected lot, and land is dedicated fee simple, to and for Chesterfield County, to accommodate the facility; or
- c. a buffer required by Sec. 19.1-263.B.1 and the buffer is located in common area.

The length of the common boundary shall be at least the minimum lot width required for the district. Lot lines shall not be arbitrarily manipulated, as determined by the planning department, to obtain the required minimum lot width at the common boundary. In an R-88 District, the minimum lot area for the district shall be based upon requirements of Table 19.1-61.A. Note 1.

2. **Upper Swift Creek Tree Canopy Preservation.** In R districts within the Upper Swift Creek Watershed, the required lot area may be reduced by 20 percent when the lot shares a common boundary with one of the following:

- a. designated tree canopy preservation area located in a continuous unbroken open space having a minimum of 30 feet in width and 0.5 acres in area that excludes wetlands, resource protection areas or stormwater infrastructure. The preservation area shall not include easements provided that easements less than 20 feet in width which run generally perpendicular through the preservation area may be permitted at time of plan review; or

- b. designated tree canopy preservation area located in continuous unbroken open space which includes primarily Resource Protection Area.

Tree canopy preservation or replacement areas utilized for lot area credit shall be designated on the record plat and be in accordance with provisions Sec.19.1-545. The length of the common boundary shall be at least 50 contiguous feet. Lot lines shall not be arbitrarily manipulated, as determined by the planning department, to obtain the required minimum width at the common boundary. In an R-88 District, the minimum lot area for the district shall be based upon requirements of Table 19.1-61.A. Note 1. In no case shall number of lots in subdivision exceed the permitted density as determined by the comprehensive plan or condition of zoning approval.

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Sec. 19.1-545. Tree Planting, Replacement and Preservation.

The purpose of this section is to promulgate regulations for the planting and replacement of trees destroyed or damaged during the development or redevelopment process ~~for single-family residential projects,~~ pursuant to Sec. 15.2-961 of the Code of Virginia, and to provide for including the preservation of trees during within development in appropriate instances.

A. General standards.

1. All trees to be planted shall meet the specifications of the American ~~Hort~~ Nursery and Landscape Association.
2. The planting of trees shall be done in accordance with either the standardized landscape specifications jointly adopted by the Virginia Nursery and Landscape Association, the Virginia Society of Landscape Designers and the Virginia Chapter of the American Society of Landscape Architects, or the road and bridge specifications of the Virginia Department of Transportation. The county shall maintain current copies of these specifications available to the public.
3. The minimum size standards for trees shall be in accordance with Sec. 19.1-250.
4. The canopy area of planted trees shall be in accordance with the Chesterfield County Plant Materials List as maintained by the planning department. Canopy credit for trees not included on the Chesterfield County Plant Materials List may be approved by the planning department based on credible published documentation. Preserved trees and wooded areas may be credited toward the canopy requirements if the trees meet standards of desirability and life-year expectancy, as determined by the planning department in compliance with this section.

B. Canopy requirements.

1. **Site and Construction plans.** All site plans and construction plans for subdivision plats shall include detailed landscape plans prepared in accordance with Sec. 19.1-246 to provide for the preservation, planting and replacement of trees on site to the extent that, at maturity of twenty (20) years, the minimum tree canopy shall be as follows:
 - a. 10 percent tree canopy for any cemetery;

- b. 10 percent tree canopy for sites zoned for commercial or industrial;
- c. 10 percent tree canopy for sites zoned for residential, with densities 20 units or more per acre;
- d. 15 percent tree canopy for sites zoned ~~single family~~ for residential, with densities ~~between more than 10 but less than and~~ 20 units per acre; and
- e. 20 percent tree canopy for sites zoned ~~single family~~ for residential, with densities of 10 units or less per acre.

Upon written request, the director of planning may grant approval for any residential project to comply with tree canopy requirements of this section on an overall project basis. Compliance on an overall basis will require review and approval of a tree canopy master plan ~~in accordance with Sec. 19.1-545.B.2.~~

Except for street trees, in lot subdivisions tree canopy utilized to meet this section shall be located in recorded open space, common area or buffers required per 19.1-263.B.1.

2. **Tree Ceanopy Landscape Plans**~~master plan~~. Landscape plans for tree canopy shall be submitted in accordance with 19.1-246.C.~~After December 11, 2013, preliminary subdivision plats and final plats for which a preliminary plat was not submitted shall include a tree canopy master plan for review and approval. The tree canopy master plan shall serve as a guide to be followed for each construction plan, and shall be updated during the development of the overall residential project. Any revision must be submitted for review and approval by the director of planning. The plan shall show in graphic format all areas set aside to satisfy tree canopy requirements and the means by which such requirements will be satisfied.~~
3. **Exclusions.** For the purpose of calculating the area of a site for tree canopy coverage requirements, the following areas shall be excluded:
 - a. ponds and non-wooded wetlands;
 - b. properties reserved or dedicated for school sites, playing fields and other non-wooded recreation areas, and other facilities and areas of a similar nature; and
 - c. portions of a site which contain existing structures that are not the subject of a pending application.
4. **Credits for Preservation of Existing Trees.** Existing trees which are to be preserved may be included in the calculation of the canopy requirements, and may include wooded preserves, if the site or construction plans identify such trees, trees are located within designated preservation areas and the trees are determined by the director of planning to be healthy, viable for canopy provision and long term preservation.~~meet standards of desirability and life-year expectancy as established by the director of planning.~~
5. **Designated Tree Canopy Preservation Areas.** Areas which are to be preserved or replanted to meet the requirements of this section shall be designated on site plan and final record plat.

A note shall be provided which states "Removal of trees within designated tree canopy preservation areas shall not be permitted without approval from the director of planning."

- C. **Exceptions to requirements.** Upon written request of the developer, the director of planning may approve reasonable exceptions to, or deviations from, the requirements of this section in order to allow for the reasonable development of farmland or other areas devoid of healthy or suitable woody materials, for the preservation of wetlands, or when the strict application of requirements would result in unnecessary or unreasonable hardship to the developer. In such instances, the director of planning may approve satisfaction of a portion of a development's tree canopy requirement through use of a tree canopy bank or off-site planting or replacement of trees provided that the canopy thereby substituted is located within the Upper Swift Creek Watershed.
- D. **Enforcement.** Penalties for violations of the requirements of this section shall be the same as those applicable to other violations of this chapter as set forth in Sec. 19.1-6. ~~Notwithstanding the foregoing, this section shall apply only to tree canopy areas that have been included in open space maintained by a homeowners' association, are subject to a perpetual conservation easement, or are included on individual lots which have not received a certificate of occupancy.~~

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That this ordinance shall become effective immediately after adoption.

1928:115976.1



**CHESTERFIELD COUNTY
BOARD OF SUPERVISORS
AGENDA**

Meeting Date: January 22, 2020

Item Number: 20.A.

Subject:

Adjournment and Notice of Next Scheduled Meeting of the Board of Supervisors

Board Action Requested:

Summary of Information:

Motion of adjournment and notice of the Board of Supervisors meeting to be held on February 19, 2020 at 1:00 p.m. in Room 502 of the Administration Building.

Attachments:

None

Preparer: Sara Hall, Clerk to the Board of Supervisors

Approved By:
